

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
OCTOBER 29, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the October 15, 2024 Planning and Zoning Commission meeting.

(3) **P2024-025 (ANGELICA GUEVARA)**

Consider a request by Billy Self on behalf of Janet Self for the approval of a Final Plat for Lot 1, Block A, Pro Soap Addition being a 3.946-acre tract of land identified as Lot 2 of the DBK Addition and Tract 9-02 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1830 E. IH-30, and take any action necessary.

(4) **P2024-033 (HENRY LEE)**

Consider a request by Will Winkelmann of Winkelmann & Associates, Inc. on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Preliminary Plat for Lot 2-13, Block B & Lot 2, Block C, Rockwall Commercial Addition being a 67.475-acre tract of land identified as Lot 1, Block B and Lot 1R, Block C, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 102 (PD-102) for Commercial (C) District land uses, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

(5) **P2024-035 (HENRY LEE)**

Consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Replat for Lots 19-21, Block A, Creekside Commons being a 13.286-acre tract of land identified as Lots 15-18, Block A, Creekside Commons, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.

(6) **P2024-036 (BETHANY ROSS)**

Consider a request by Bill Bricker of Rockwall Property Corporation for the approval of a Final Plat for Lots 1-3, Block A, Boardwalk Development Addition being a 9.14-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(7) **SP2024-035 (HENRY LEE)**

Discuss and consider a request by Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of the Kroger Co. for the approval of an Amended Site Plan for *Incidental Display* in conjunction with an existing *General Retail Store (i.e. Kroger)* being an 8.724-acre parcel of land identified as Lot 24, Block A, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2935 Ridge Road [FM-740], and take any action necessary.

(8) **SP2024-036 (HENRY LEE)**

Discuss and consider a request by Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of the Kroger Co. for the approval of an Amended Site Plan for *Incidental Display* in conjunction with an existing *General Retail Store (i.e. Kroger)* being an 11.236-acre parcel of land identified as Lot 1, Block A, Kroger 205 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1980 N. Goliad Street [SH-205], and take any action necessary.

(9) **SP2024-041 (HENRY LEE)**

Discuss and consider a request by Will Winkelmann of Winkelmann & Associates, Inc. on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Site Plan for General Retail Store and Restaurant (i.e. IKEA) on a 18.663-acre tract of land identified as a portion of Lot 1, Block B and Lot 1R, Block C, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 102 (PD-102) for Commercial (C) District land uses, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

(10) **SP2024-045 (HENRY LEE)**

Discuss and consider a request by Chris Lewis of Kimley-Horn and Associates, Inc. on behalf of Matthew Bateman of Westcore Bravo Rockwall, LLC for the approval of an Amended Site Plan for *outside storage* in conjunction with an existing *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, address as 1351 Corporate Crossing, and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is November 12, 2024.

(11) **Z2024-049 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and take any action necessary.

(12) **Z2024-050 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a 0.1340-acre parcel of land identified as Lot 5A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

(13) **Z2024-051 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a 0.1340-acre parcel of land identified as Lot 6A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

(14) **Z2024-052 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Chad and Cindy Shirley for the approval of a *Specific Use Permit (SUP)* for a *Private Sports Court with Standalone or Dedicated Lighting* on a 0.3444-acre parcel of land identified as Lot 6, Block 2, Gideon Grove Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1313 Gideon Way, and take any action necessary.

(15) **SP2024-042 (ANGELICA GUEVARA)**

Discuss and consider a request by Joanne Vuckovic on behalf of the Pregnancy Resource Center of Lake Ray Hubbard for the approval of an *Amended Site Plan* for an existing *Medical Office Building* on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

(16) **SP2024-043 (BETHANY ROSS)**

Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brockette of Vue Real Estate for the approval of a *Site Plan* for a *Medical Office Building* on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

(17) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- Z2024-035: Zoning Change (C to PD) for Rockwall Heights (**2ND READING; APPROVED**)
- Z2024-041: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 324 Valiant Drive (**1ST READING; APPROVED**)
- Z2024-042: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 515 S. Clark Street (**1ST READING; APPROVED**)
- Z2024-043: Specific Use Permit (SUP) for *Accessory Buildings* at 1202 Gideon Way (**1ST READING; APPROVED**)
- Z2024-044: Specific Use Permit (SUP) for a *Short-Term Rental* at 806 Austin Street (**1ST READING; TABLED TO NOVEMBER 4, 2024**)
- Z2024-046: Specific Use Permit (SUP) for a *Short-Term Rental* at 108 Reliance Court (**1ST READING; APPROVED**)
- Z2024-048: Zoning Change (AG to PD for SF-10 & GR) for the Juniper Subdivision (**1ST READING; DENIED WITHOUT PREJUDICE**)
- MIS2024-001: Impact Fee Update (**2ND READING; APPROVED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on October 25, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
OCTOBER 15, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:**[1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM
5 ON THE CITY'S WEBSITE.
6

7 I. CALL TO ORDER

8
9 **Chairman Deckard called the meeting to order at 6:01PM. Commissioners present were Vice-Chairman John Womble, Dr. Jean Conway, Ross
10 Hustings, Kyle Thompson and John Hagaman. Commissioners absent were Jay Odom. Staff members present were Director of Planning and Zoning
11 Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala,
12 Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn price. Absent from the meeting was City Engineer Amy Williams.**
13

14 II. APPOINTMENTS

15
16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
17 the agenda requiring architectural review.
18

19 **Director of Planning and Zoning Ryan Miller advised that the case manager would go over the case when they present it.**
20

21 III. OPEN FORUM

22
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the
24 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN
25 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings
26 Act.*
27

28 **Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being
29 no one indicating such, Chairman Deckard closed the open forum.**
30

31 IV. CONSENT AGENDA

32
33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)
34 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
35

36 2. Approval of Minutes for the September 24, 2024, Planning and Zoning Commission meeting.
37

38 **Commissioner Conway made a motion to approve the Consent Agenda. Vice-Chairman Womble seconded the motion which passed by a vote of 6-
39 0 with Commissioner Odom absent.**
40

41 V. PUBLIC HEARING ITEMS

42
43 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please
44 submit a [Request to Address the Planning and Zoning Commission](#) (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning
45 Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments
46 to three (3) minutes out of respect for the time of other citizens.*
47

48 3. Z2024-041 (ANGELICA GUEVARA)

49 Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a Specific Use Permit (SUP) for Residential
50 Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall
51 County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.
52

53 **Planning Technician Angelica Guevara provided a summary regarding the applicant's request. The applicant was requesting a Specific Use Permit
54 (SUP) for the purpose of constructing a single-family home. It appears to conform to most of the density and dimensional requirements as permitted
55 by Planned Development District 8 (PD-8) and the Unified Development Code with the exception of the garage orientation. Garages should be located
56 at least 20 feet from the front façade of the home. In this case, the garage is situated evenly in the front façade of the home. The proposed building
57 elevations indicate that the home appears to be consistent with the adjacent housing. This being a zoning case notices were sent out to property
58 owners and occupants within 500 feet of the subject property. Staff had received two (2) notices in opposition of the applicant's request.**
59

60 **Chairman Deckard opened the public hearing and asked if anyone who wished to speak to do so at this time. There being no one indicating such,
61 Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.**
62

63 **Vice-Chairman Womble made a motion to approve Z2024-041. Commissioner Conway seconded the motion which passed by a vote of 6-0.**
64

65 4. **Z2024-042 (ANGELICA GUEVARA)**

66 Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established
67 Subdivision on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District,
68 addressed as 515 S. Clark Street, and take any action necessary.
69

70 Planning Technician Angelica Guevara provided a summary regarding the applicant's request. The applicant is requesting approval of a specific use
71 permit (SUP) for the purpose of also constructing a single-family home. The applicant has submitted a residential plot plan and building elevations
72 of the proposed home which indicates that it meets most of the requirements, with the exception of one (1) deviation in the district development
73 standards. According to the unified development code (UDC) the Two-Family (2F) District requires a two (2) car garage and two (2) off street parking
74 spaces plus one (1) garage space parking space for each dwelling unit. In this case the proposed home does not incorporate a garage which will
75 require a variance from the Planning and Zoning Commission. In addition, staff has added two (2) other conditions of approval which are all structures
76 and paving must be constructed outside of the erosion hazard set back and the 10-foot-wide single car driveway along the side of the house must
77 be changed to be at least 12 feet wide. This is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning
78 Commission. Notices were sent out to property owners and occupants within 500 feet for this case as well. Staff had received one (1) notice back in
79 opposition of the applicant's request.
80

81 Anthony Ramos
82 7968 CR 2412
83 Quinlan, TX 75474
84

85 Vice-Chairman Womble asked what the reason was regarding not having a garage.

86
87 Chairman Deckard asked if they were adding an accessory structure.

88
89 Mr. Ramos mentioned that they will be adding a storage area at some point, but as of now there will not be adding an accessory structure.

90
91 Commissioner Conway asked if they were adding a carport.

92
93 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to do so at this time.
94

95 David Lecour
96 507 S. Clark Street
97 Rockwall, TX 75087
98

99 Mr. Lecour came forward and expressed that Mr. Ramos was correct. Majority of the older houses in the street do not have driveways.

100
101 Chairman Deckard asked if anyone else who wished to speak to do so at this time. There being no one indicating such, Chairman Deckard closed
102 the public hearing and brought the item back to the Commission for discussion or action.
103

104 Commissioner Conway made a motion to approve Z2024-042. Vice-Chairman Womble seconded the motion which passed by a vote of 6-0.
105

106 5. **Z2024-043 (BETHANY ROSS)**

107 Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow more than the
108 permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall
109 County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any
110 action necessary.
111

112 Planner Bethany Ross provided a brief summary in regards to the applicant's request. The applicant is requesting a specific use permit (SUP) to
113 allow more than the permitted number of accessory structures and an accessory structure larger than the permitted square footage. The proposed
114 covered porch will be 25 feet by 18 feet and a total square footage of 450SF. The property currently has two unpermitted structures of 198SF
115 accessory building 54SF over the limit and a 200 SF covered porch. The applicant has paid the non-compliant structure fee and the SUP includes a
116 condition requiring permits for all three structures. When reviewing an SUP, the Planning and Zoning Commission should consider whether
117 structures were built without permits, the size compared to other accessory structures and the compatibility of materials and design with the primary
118 structure. The proposed structures don't seem to negatively impact the neighboring properties, but they could set a precedent in the area where
119 many unpermitted structures exist in this neighborhood. Staff identified seven (7) similar accessory structures in the subdivision and only two (2) of
120 which were permitted. An SUP is a discretionary decision for the City Council pending recommendation from the Planning and Zoning Commission.
121 Staff mailed out 60 notices to property owners and occupants within the 500-foot buffer of the subject property and staff also notified the HOA of
122 Stoney hollow. Currently staff has received six (6) notices back in favor of the applicant's request.
123

124 Kim Dignam
125 1202 Gideon Way
126 Rockwall, TX 75087
127

128 Mrs. Dignam came forward and provided additional details in regard to the request.

129
130 Chairman Deckard asked if there will be any more structures in the future.
131

132 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to do so at this time. There being no one indicating such,
133 Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.
134

135 Commissioner Hustings made a motion to approve Z2024-043. Commissioner Thompson seconded the motion which passed by a vote of 6-0.
136

137 6. **Z2024-044 (BETHANY ROSS)**

138 Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a Specific Use Permit (SUP) for a *Short-Term Rental* on a 0.1950-
139 acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as
140 806 Austin Street, and take any action necessary.
141

142 Planner Bethany Ross provided a summary regarding the applicant's request. The applicant is requesting a specific use permit (SUP) for a proposed
143 non-owner-occupied short-term rental located next to an existing and permitted non-owner-occupied short-term rental. Also, within 1000 feet of three
144 others. Although this 1000-foot proximity requirement is intended to limit the proliferation of these types of uses within a small area in the city.
145 Exceptions can be made by the City Council pending recommendation from the Planning and Zoning commission through an SUP process. This
146 process allows the neighborhood to voice support or opposition. Staff sent out 114 notices to nearby property owners and to the Preserve and
147 Hillcrest at the Shores HOA's. As of now three (3) responses were provided back in favor of the request and six (6) in opposition.
148

149 Trenton Austin
150 1340 Meandering Way
151 Rockwall, TX 75087
152

153 Mr. Austin came forward and provided additional details regarding the request.
154

155 Director of Planning and Zoning Ryan Miller asked if he was renting out the property.
156

157 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to do so at this time.
158

159 Melba Jeffus
160 2606 Cypress Drive
161 Rockwall, TX 75087
162

163 Mrs. Jeffus came forward and expressed her concerns regarding the applicant's request.
164

165 Chairman Deckard asked if anyone else who wished to speak to do so at this time. There being no one indicating such, Chairman Deckard closed
166 the public hearing and brought the item back to the Commission for discussion or action.
167

168 Director of Planning and Zoning Ryan Miller provided a summary in regard to the STR ordinance.
169

170 Commissioner Hustings asked about the STR and asked if the five that are there were grandfathered in.
171

172 Vice-Chairman Womble made a motion to deny Z2024-044. Commissioner Conway seconded the motion to deny which was denied by a vote of 6-0.
173

174 7. **Z2024-045 (ANGELICA GUEVARA) [APPLICANT IS REQUESTING TO WITHDRAW THE CASE]**

175 Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a Specific Use Permit (SUP) for
176 *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall,
177 Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any action
178 necessary.
179

180 Planning Technician Angelica Guevara explained that the applicant has requested to withdraw the case.
181

182 Chairman Deckard made a motion to allow Z2024-045 to withdraw the case. Vice-Chairman Womble seconded the motion which passed by a vote of
183 6-0 to allow the case to be withdrawn.
184

185 8. **Z2024-046 (HENRY LEE)**

186 Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a *Short-Term Rental*
187 on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned
188 Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.
189

190 Senior Planner Henry Lee provided a brief summary in regard to the applicant's request. The applicant is requesting approval of a non-owner-
191 occupied short-term rental that is within 1000ft of another non-owner-occupied short-term rental. Its roughly about 950 feet away from the other
192 short-term rental from property line to property line. In this case there was some conversation before about whether these the ones you guys have
193 looked at whether they're existing coming in and requesting or new ones coming in. In this case this is a new short-term rental that has not been up
194 previously that the applicant is requesting. The specific use permit (SUP) process is in place for this with 1000-foot buffer as Ryan indicated
195 previously the 1000-foot requirement is to look at whether a proliferation of uses is occurring, and the specific use permit is to look at that. Secondly
196 the SUP process allows the neighborhood to come and voice their support or opposition of a short-term rental. Staff mailed out notices to property
197 owners within 500 feet and we also notified several HOA's. There are twenty-one (21) notices in opposition and two (2) in favor.
198
199

200 Wendy Peterson
201 108 Reliance Court
202 Rockwall, TX 75087

203
204 Mrs. Peterson came forward and provided additional details in regard to the request.

205
206 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to do so at this time.

207
208 Adan Tovar
209 107 Reliance Court
210 Rockwall, TX 75087

211
212 Mr. Tovar came forward and expressed his concerns in regards to the request.

213
214 Chairman Deckard asked if anyone else who wished to speak to do so at this time. There being no one indicating such, Chairman Deckard closed
215 the public hearing and brought the item back to the Commission for discussion or action.

216
217 Commissioners Hustings asked if the house was outside of the buffer if it would be required to go to the process.

218
219 Commissioner Thompson asked if it was an edge to edge regarding the property line.

220
221 Commissioner Conway made a motion to approve Z2024-046. Commissioner Hustings seconded the motion which passed by a vote of 6-0.
222

223 9. Z2024-047 (BETHANY ROSS) **[APPLICANT IS REQUESTING TO WITHDRAW THE CASE]**

224 Hold a public hearing to discuss and consider a request by Eric Heideloff of Enterprise Rental Car for the approval of a Specific Use Permit (SUP) for Automobile
225 Rental on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)
226 District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street, and take any action necessary.

227
228 Planner Bethany Ross explained that the applicant has withdrawn the case.

229
230 Chairman Deckard made a motion to allow Z2024-047 to withdraw the case. Vice- Chairman Womble seconded the motion which passed by a vote of
231 6-0 to allow the case to be withdrawn.
232

233 10. Z2024-048 (RYAN MILLER)

234 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change
235 from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 536.4297-acre
236 tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25
237 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural
238 (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side
239 of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.
240

241 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. July of this year the applicant submitted
242 a zoning application for the subject property proposing a planned development district that consisted of 41 acres of general retail district and a 960-
243 lot subdivision that had lot sizes that range between 52 x100 feet and through 185 x 200 feet. After reviewing this the Planning and Zoning Commission
244 ultimately made a recommendation to approve the case but the City Council made a motion to deny the case without prejudice in August of 2024
245 allowing the applicant to address some issues and come back. Since this denial the applicant has resubmitted a plan that looks to address some of
246 the issues from the previous case and under the applicant's new plan the applicant is proposing to entitle the property for a Planned Development
247 district that consists of 41 acres of general retail and 885 lots of single family. The lot sizes the applicant is proposing will be 12/1- and 1/2-acre lots
248 13 one-acre lots 18 three quarter of an acre lots 66 12 ,000square foot lots 168 9600 square foot lots 339 eighty 8640 square foot lots 269 7440 square
249 foot all of this translates to a gross density of 1.65 dwelling units per acre as calculated by the requirements of the unified development code. The
250 proposed plan development district has home sizes that will range in size from 2750 square feet to 3500 square feet and that's air-conditioned space
251 does not include the garage area. The planned development district will require a minimum of 100% masonry with provisions that would allow up to
252 80% cementitious materials to allow the traditional neighborhood design sometimes called gingerbread product similar to the to the homes in the
253 Somerset park subdivision. In addition to the proposed subdivision the applicant is also proposing to incorporate 65.78 acres of private open space
254 6.40 acres for two amenity centers a 1.97-acre site for a future water tower and 33 acres for two public parks. this couple with the 79.85 acres of flood
255 point translates to 187 acres of open space or amenity area or 27.42% open space as calculated by the unified development and this of course is in
256 surplus of the open space required by the code which is 20% it's in surplus by 7.42%. In regards to the infrastructure requirements that the applicant
257 will have to provide to this sufficiently serve the subject property basically meaning there are no infrastructure issues for water, sewer or roadway
258 for this project. The applicant will be required to provide updates to the existing systems. Looking at the comprehensive plan the subject property
259 is situated within both the South Central and southwest residential districts and is primarily designated for low density residential land uses.
260 According to the future land use plan low density residential land uses are identified as being 2 units per gross acre up to 2 1/2 units per gross acre
261 where increased amenity is provided. In this case the applicant is proposing 1.65 dwelling units per acre which is in conformance with the
262 comprehensive plan. Staff should note that the applicants plan does propose to change the future land use map. In regard to the areas designated
263 for commercial retail basically reducing these areas by 37.40 acres and while this is a nominal change is a discretionary decision for the City Council
264 pending a recommendation from the Planning and Zoning Commission. Staff has summarized how the applicant's proposal is in conformance with
265 the comprehensive plan and considering this analysis the applicants plan does appear to align with the goals, policies and strategies of the Our
266 Hometown Vision 2040 Comprehensive Plan. However, this case being a request for zoning it does remain a discretionary decision for the City
267 Council pending a recommendation from the Planning and Zoning Commission. This being a zoning case staff did send out notices to property

268 owners and occupants within 500 feet of the subject property. As of now staff had received four (4) notices from four property owners inside the 500-
269 foot buffer in favor of the applicants request. Fifteen (15) properties have submitted notices inside that are opposed. Looking outside of the 500-foot
270 buffer we've received one (1) notice from a property owner outside in favor and seventy-one (71) property owners submitted numerous notices
271 outside that were opposed. In addition, we also notified all HOA's within 1500 feet this included the Hickory Ridge Hickory Ridge East. Lofland Farms,
272 Fontana Ranch and Oaks of Buffalo way homeowners' associations which were the only HOA's participating in the HOA notification program.
273

274 Ryan Joyce
275 767 Justin Road
276 Rockwall, TX 75087
277

278 Mr. Joyce came forward and provided additional details in regards to the applicants request.
279

280 Mr. Joyce came forward and went through the community engagement the changes in number, plan changes by phase went through community
281 suggestion lists and answered questions in regards to the list. In may they were at 1.83 units per acre and went down to 1.65. Open space has gone
282 up. Lots sizes have changed and been reduced. Reduced number of lots from original submittal.
283

284 Commissioner Hagaman asked if he can run through the list and explain what was done and what was not done.
285

286 Commissioner Conway mentioned if they can add curves or linear streets to the bigger size lots.
287

288 Chairman Deckard asked when each phase will start happening.
289

290 Ryan Joyce explained that the start time will be April or May of 2025. Completing in the fall of 2026 for phase 1 and homeowners moving in sometime
291 in May of 2027. All 6 phases completed sometime around 2039.
292

293 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to do so at this time.
294

295 Bob Wacker
296 309 Featherstone Dr.
297 Rockwall, TX 75087
298

299 Mr. Wacker came forward and explained that this development is something we haven't seen before and density being in question. Recommend that
300 City Council should be the one to decide in approval.
301

302 Richard Henson
303 2424 FM 549
304 Rockwall, TX 75032
305

306 Mr. Henson came forward and explained that he does not see where he reduced the 62 lots. Explained that the density had not changed.
307

308 Melba Jeffus
309 2606 Cypress Drive
310 Rockwall, TX 75032
311

312 Mrs. Jeffus came forward and explained that she was opposed to the project.
313

314 Stan Jeffus
315 2606 Cypress Drive
316 Rockwall, TX 75032
317

318 Mr. Jeffus mentioned that there will be more traffic and the general retail portion should be estate lots.
319

320 Dr William Bearer
321 2050 Silver Hawk Ct
322 Rockwall, TX 75032
323

324 Mr. Bearer came forward and expressed his concerns in regards to the density and explained that it would also be great for Rockwall.
325

326 Terrance Tippet
327 2060 Broken Lance Lane
328 Rockwall, TX 75032
329

330 Mr. Tippet came forward and expressed his concerns in regards to the project. Explained that the only reason they are getting anything to change is
331 from coming to the meetings.
332

333 Robert Lyon
334 1900 Broken Lance Lane
335 Rockwall, TX 75032

336
337
338
339
340
341
342
343
344
345
346
347
348
349
350
351
352
353
354
355
356
357
358
359
360
361
362
363
364
365
366
367
368
369
370
371
372
373
374
375
376
377
378
379
380
381
382
383
384
385
386
387
388
389
390
391
392
393
394
395
396
397
398
399
400
401
402
403

Mr. Lyon came forward and expressed his concerns in regards to density. Explained what the hurry was to get the project done.

Director of Planning and Zoning Ryan Miller explained that a moratorium would have to be tied to infrastructure it has to be tied to a very specific plan. There has to be findings and you can put it in place for 90 days or 120 days. What they have found is they are not effective in preventing growth.

Joe Ward
4920 Bear Claw Lane
Rockwall, TX 75032

Mr. Ward came forward and expressed his concerns. Explained that not all the requests were made.

Randy Heinrich
4945 Bear claw Lane
Rockwall, TX 75032

Mr. Heinrich came forward and expressed his concerns in regards to the lots.

Sergio Bento
2002 S. Lakeshore Drive
Rockwall, TX 75087

Mr. Sergio came forward and explained his concerns in regards to the request and mentioned that the infrastructure, sewage and electricity would also be an issue.

Chairman Deckard asked if anyone who wished to speak to do so at this time. There being no one indicating such, Chairman Deckard closed the public hearing and brought the item back to the Commission for discussion or action.

Vice-Chairman Womble asked about the commercial properties.

Director of Planning and Zoning Ryan Miller explained that the area is not yet sewerred therefore the lots would have to be an acre in a half or greater or sewer brought to the property.

Vice-Chairman Womble made a motion to approve Z2024-048. Chairman Deckard seconded the motion which passed by a vote of 5-1 with Commissioner Hagaman dissenting.

VI. ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

11. SP2024-040 (HENRY LEE)

Discuss and consider a request by Mckenzie Joseck of BGE, Inc. on behalf of Shawn Valk of Saro Partners, LLC for the approval of a Site Plan for two (2) Office Buildings on a 2.72-acre tract of land identified as Tract 26-4 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 5543 Horizon Road [FM-3097], and take any action necessary.

Senior Planner Henry Lee provided a summary regarding the applicant's request. The applicant is requesting approval of a site plan to construct a building for a gym and then an office building with the gym being the least on the planned South there on the left closer to 397 and then the office building at the rear. In this case it does meet most of the density and dimensional requirements and the requirements within the unified development code (UDC) the applicant is only requesting 2 variances to the UDC. One to the articulation standards and the second to the residential adjacency standards. On the northwest side of the property that property while being zoned commercial is being residentially used which does require the residential adjacency standards which can either be the six-foot masonry wall with the canopy trees on 20-foot centers or at the Planning and Zoning Commission discretion it can be the three-tiered landscaping with the wrought iron fence. In this case the applicant is doing the three-tier landscaping method however, they are requesting to not do the wrought iron fence. They would like to preserve the existing tree line however looking at that there's not very many trees along that property division and on top of that from their tree scape plan only one of those trees was deemed worthy of mitigation. In lieu of planning of doing the fence they're saving one mitigation worthy tree. The Architecture Review Board did look at this, and they did make a motion of approval with the condition that the building the banded painted element they wanted to make it more symmetrical like the other side just to bright a little more symmetry with the building. These canopies on the first story of the gym building they'd like them to be reduced in size and be more similar to the office building in the back they felt these were just oversized and they just felt lopsided looking at the two buildings. Lastly, they wanted the windows almost those transoms style windows and the second floor to be brought down away from the roof light so it's not right up against that roofline element.

Commissioner Hustings asked if it was two lots or one lot.

Commissioner Hagaman asked if it was ever residential.

Mckenzie Joseck
6605 Fairfield Drive

404 Rowlett, TX 75089

405
406 Mrs. Joseck came forward and provided additional details regarding the request.

407
408 Director of Planning and Zoning Ryan Miller mentioned that they will need to do a shared parking agreement at the time of the Plat.

409
410 Chairman Deckard asked if there were issues with ARB comments.

411
412 Chairman Deckard made a motion to approve SP2024-040. Commissioner Hustings seconded the motion which passed by a vote of 6-0.

413
414 VII. DISCUSSION ITEMS

415
416 12. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 417
- 418 • P2024-030: Replat for Lot 1, Block B, Lake Rockwall Estates East Addition (APPROVED)
- 419 • P2024-032: Replat for Lots 12 & 13, Block B Fit Sport Life Addition (APPROVED)
- 420 • Z2024-035: Zoning Change (C to PD) for Rockwall Heights (1st READING; APPROVED)
- 421 • MIS2024-001: Impact Fee Update (1st READING; APPROVED)

422
423 Director of Planning and Zoning Ryan Miller provided a brief update about the outcomes of the above referenced cases at the City Council meeting.

424
425 VIII.ADJOURNMENT

426
427 Chairman Deckard adjourned the meeting at 8:53PM

428
429 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
430 _____, 2024.

431
432
433 _____
434 Derek Deckard, Chairman

435 Attest:
436 _____
437 Melanie Zavala, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 29, 2024
APPLICANT: Billy Self
CASE NUMBER: P2024-025; *Final Plat for Lot 1, Block A, Pro Soap Addition*

SUMMARY

Consider a request by Billy Self on behalf of Janet Self for the approval of a Final Plat for Lot 1, Block A, Pro Soap Addition being a 3.946-acre tract of land identified as Lot 2 of the DBK Addition and Tract 9-02 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1830 E. IH-30, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Final Plat for a 3.964-acre tract of land (*i.e. Lot 2 of the DBK Addition and Tract 9-02 of the J. Lockhart Survey, Abstract No. 134*) for the purpose of creating one (1) lot (*i.e. Lot 1, Block A, Pro Soap Addition*) on the subject property.
- Background. The subject property was annexed into the City of Rockwall on December 3, 1985 by *Ordinance No. 85-69 [i.e. Case No. A1985-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property was rezoned from Agricultural (AG) District to Light Industrial (LI) District on February 4, 1991 by *Ordinance No. 91-08*. In 1994, the Board of Adjustments granted a variance to allow the construction of a 14-unit storage building on the subject property. On February 17, 2014, the City Council approved a site plan (*i.e. Case No. SP2014-002*) to allow the development of a 19,500 SF distribution center on the subject property; however, this structure was never constructed.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for Lot 1, Block A, Pro Soap Addition staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Final Plat; and,
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: P2024-025
PROJECT NAME: Replat for Lot 2 of DBK Addition
SITE ADDRESS/LOCATIONS: 1830 E INTERSTATE 30

CASE CAPTION: Consider a request by Billy Self on behalf of Janet Self for the approval of a Final Plat for Lot 1, Block A, Pro Soap Addition being a 3.946-acre tract of land identified as Lot 2 of the DBK Addition and Tract 9-02 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1830 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	10/24/2024	Approved w/ Comments

10/24/2024: P2024-025: Final Plat for Lot 1, Block A, Pro Soap Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 1, Block A, Pro Soap Addition being a 3.964-acre tract of land identified as Lot 2 of the DBK Addition and Tract 9-02 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1830 E. IH-30.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2024-025) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

FINAL PLAT
LOT 1, BLOCK A
PRO SOAP ADDITION
BEING
ONE (1) LOT
3.964-ACRES OR 172,672 SF
SITUATED IN THE
JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please correctly label the building line adjacent to IH-30 (i.e. 25-foot BL as opposed to 75-foot BL). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please label all existing and proposed easements relative to the site and include the type, width, and purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please label the right-of-way width and street centerline for the street adjacent to the development. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Provide the correct format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.9 Please provide the following Surveyor's/Registered Engineer Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

SURVEYOR SIGNATURE [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR NO. [OR]
PROFESSIONAL ENGINEER NO.

M.10 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

I.13 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved w/ Comments

- 07/24/2024: 1. Subdivision name.
 2. Existing easement so label the recording information.
 3. All easements need to show bearing and distance information.
 4. Show and label the proposed detention pond easement. List the 100yr WSEL of the pond.
 5. Existing easement so label the recording information.
 6. Remove all site features from plat. Show as an easement line type.
 7. Utility easement needed for water meter.
 8. Label width of easement.
 9. Call out legal Description of adjacent properties.
 10. Verify there is not an easement along frontage. If there is not an existing easement, 10' utility easement required.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved

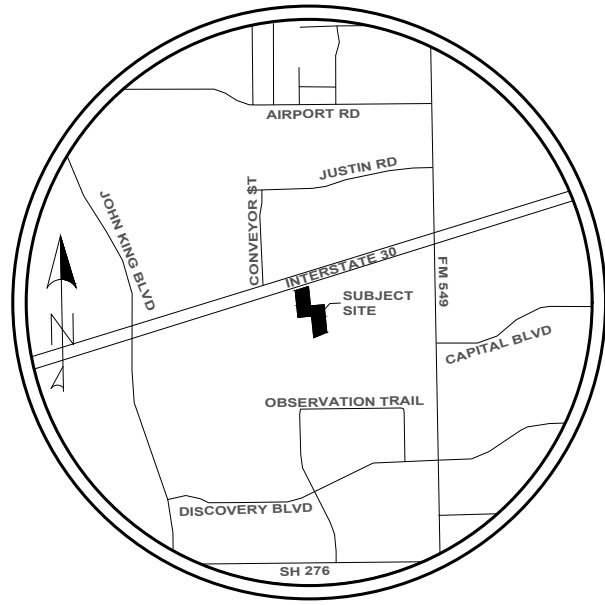
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/15/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/22/2024	Approved

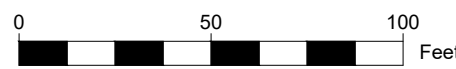
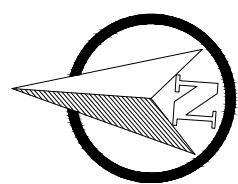
No Comments



VICINITY MAP
NOT TO SCALE

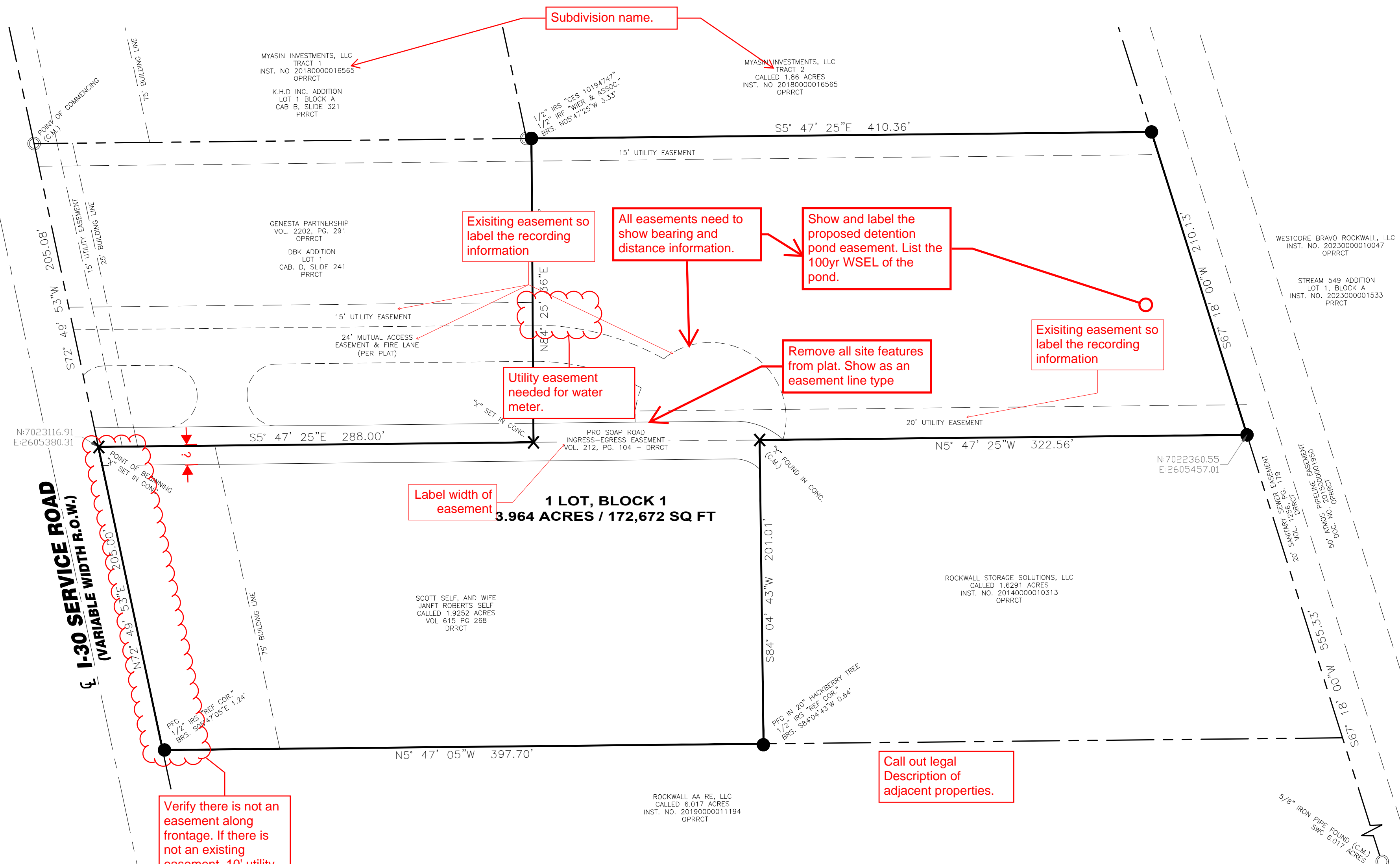
LEGEND

- 1/2" IRON REBAR FOUND UNLESS OTHERWISE NOTED
- IRON ROD SET WITH CAP STAMPED "CES 10194747"
- ✕ "X" IN CONCRETE
- OPRRCT OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TX
- PRRCT PLAT RECORDS OF ROCKWALL COUNTY, TX
- DRRCT DEED RECORDS OF ROCKWALL COUNTY, TEXAS
- (C.M.) CONTROLLING MONUMENT



GENERAL NOTES

1. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY WITHHOLDING UTILITIES AND BUILDING PERMITS.
2. IT SHALL BE THE POLICY OF THE CITY TO WITHHOLD ISSUING BUILDINGS PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED, OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY.
3. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
4. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
5. ALL DECORATIVE SIGNAGE, POSTS, OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE OWNER.
6. THE BEARINGS AND COORDINATES SHOWN HEREON ARE GRID VALUES OF THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL (4202), NORTH AMERICAN DATUM OF 1983 (2011).
7. ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48397C0045L DATED 09-26-2008 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR THE CITY OF ROCKWALL, TEXAS, PANEL NO. 480547, THIS PROPERTY IS WITHIN ZONE "X". THIS FLOOD STATEMENT SHALL NOT INCUR ANY LIABILITY UPON THE PART OF THE SURVEYOR.



1 LOT, BLOCK 1
3.964 ACRES / 172,672 SQ FT

FINAL PLAT
LOT 1, BLOCK 1
PRO SOAP ADDITION

BEING A REPLAT OF
LOT 2 OF THE
DBK ADDITION
BEING
1 LOT
3.964 ACRES / 172,672 SQ FT
SITUATED IN THE
JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SURVEYOR/ENGINEER:
JACOB N. HOLMES (SURVEYOR)
JASON LENAMOND (ENGINEER)
CORNERSTONE ENGINEERING & SURVEYING
P.O. BOX 1439
MANSFIELD, TX 76063
(817) 940-6027
OWNER / DEVELOPER:
SCOTT SELF & JANET SELF
WAREHOUSE - PRO
2020 INDUSTRIAL BLVD.
ROCKWALL, TX 75087

CORNERSTONE - ENGINEERING & SURVEYING
SURVEY FIRM NO. 10194747
ENG FIRM NO. 24969
P.O. BOX 1439
MANSFIELD, TX 76063
OFFICE (817)940-6027

DATE PREPARED: 7/5/2024



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1830 I-30 Frontage Road, Rockwall, TX 75087

SUBDIVISION Current - DBK Addition Lot 2; Proposed Pro Soap Addition LOT 1 BLOCK 1

GENERAL LOCATION E I-30 Frontage Road approximatly 1/2 mile east of the intersection of I-30 and John King Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	LI	CURRENT USE	
PROPOSED ZONING	LI	PROPOSED USE	
ACREAGE	3.964	LOTS [CURRENT]	2
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Scott Self & Janet Self	<input checked="" type="checkbox"/> APPLICANT	Billy Self
CONTACT PERSON		CONTACT PERSON	Surveyor - Jacob Holmes jh@cesinbox.com
ADDRESS	319 Harborview Drive	ADDRESS	321 Harborview Drive
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Rockwall, TX 75032
PHONE	214-543-8332	PHONE	214-769-3774
E-MAIL	Janrself@gmail.com	E-MAIL	billy@warehouse-pro.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Self [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF July, 2024

OWNER'S SIGNATURE

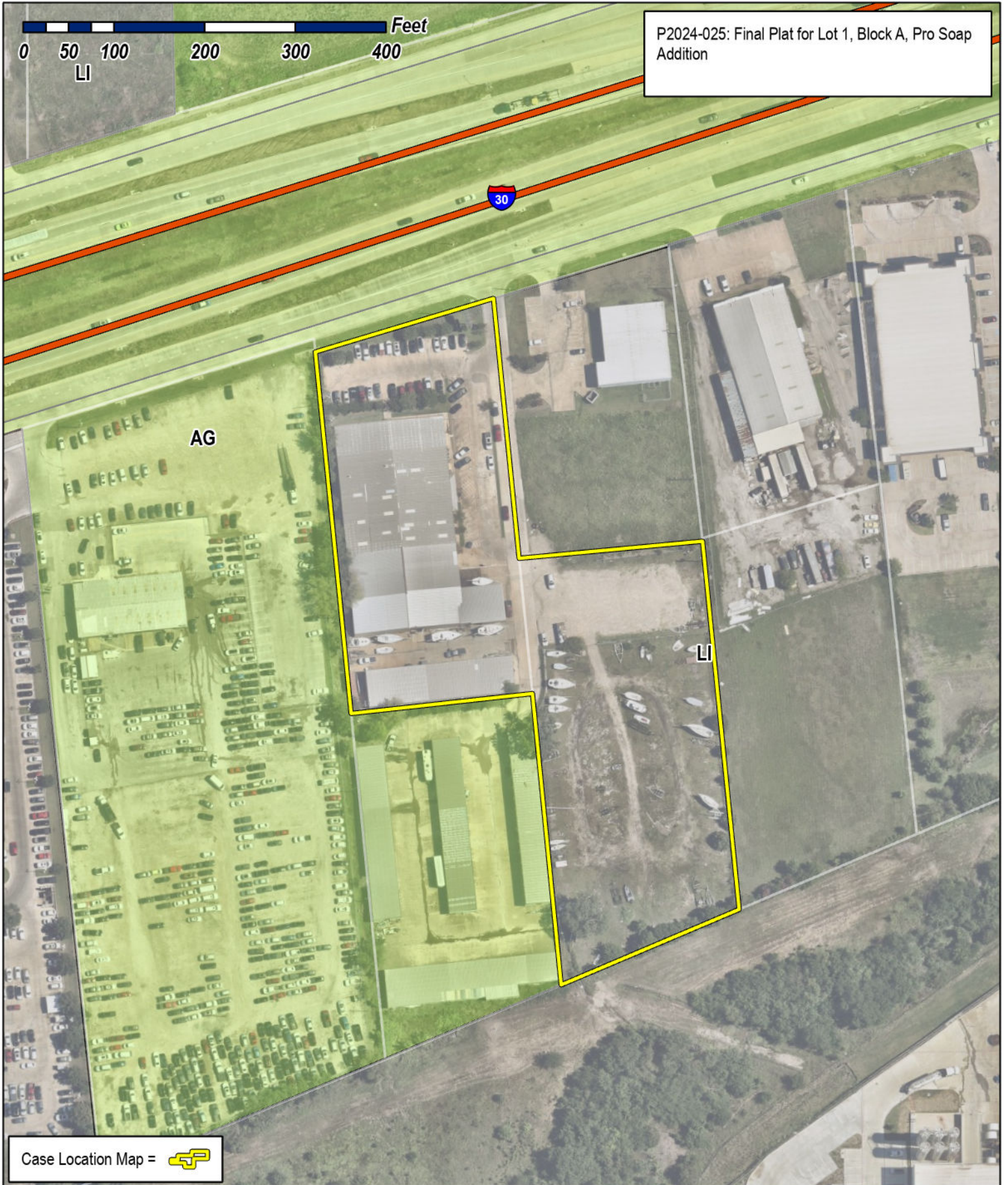
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

William Self
Clara Pigg





P2024-025: Final Plat for Lot 1, Block A, Pro Soap Addition



Case Location Map = 

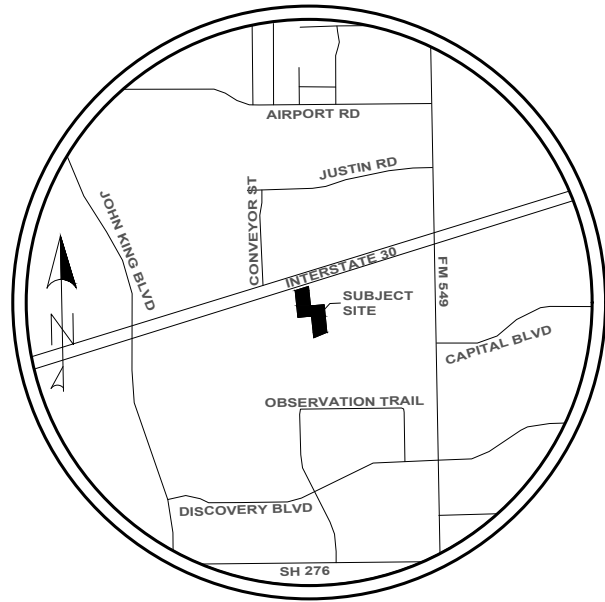


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

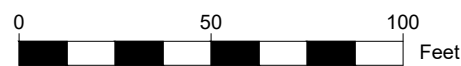
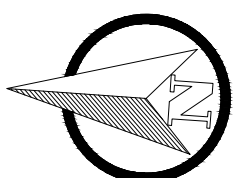




VICINITY MAP
NOT TO SCALE

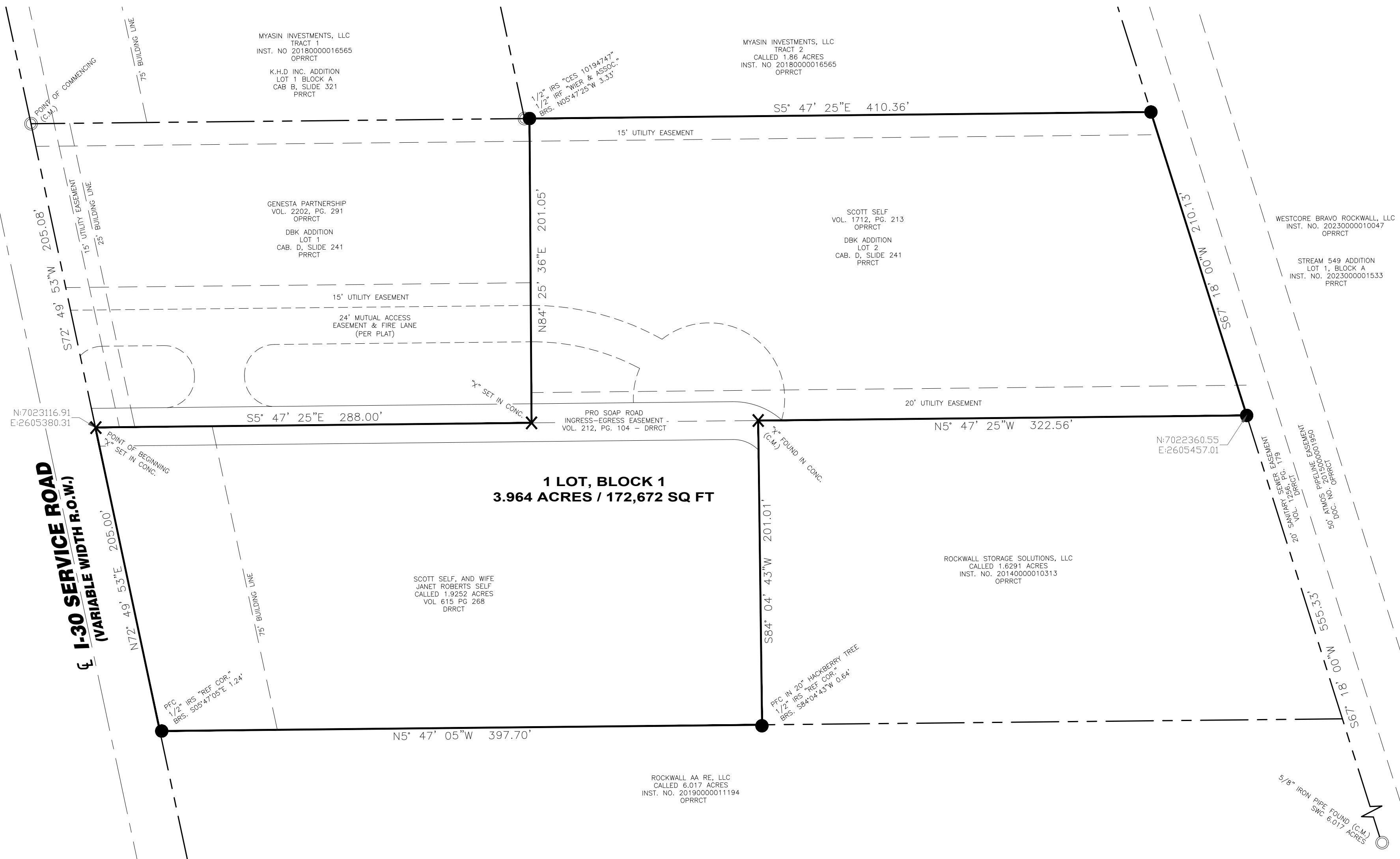
LEGEND

- 1/2" IRON REBAR FOUND UNLESS OTHERWISE NOTED
- IRON ROD SET WITH CAP STAMPED "CES 10194747"
- ✕ "X" IN CONCRETE
- OPRRCT OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TX
- PRRCT PLAT RECORDS OF ROCKWALL COUNTY, TX
- DRRCT DEED RECORDS OF ROCKWALL COUNTY, TEXAS
- (C.M.) CONTROLLING MONUMENT



GENERAL NOTES

1. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY WITHHOLDING UTILITIES AND BUILDING PERMITS.
2. IT SHALL BE THE POLICY OF THE CITY TO WITHHOLD ISSUING BUILDINGS PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED, OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY.
3. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
4. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
5. ALL DECORATIVE SIGNAGE, POSTS, OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE OWNER.
6. THE BEARINGS AND COORDINATES SHOWN HEREON ARE GRID VALUES OF THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL (4202), NORTH AMERICAN DATUM OF 1983 (2011).
7. ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48397C0045L DATED 09-26-2008 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR THE CITY OF ROCKWALL, TEXAS, PANEL NO. 480547, THIS PROPERTY IS WITHIN ZONE "X". THIS FLOOD STATEMENT SHALL NOT INCUR ANY LIABILITY UPON THE PART OF THE SURVEYOR.



SURVEYOR/ENGINEER:
JACOB N. HOLMES (SURVEYOR)
JASON LENAMOND (ENGINEER)
CORNERSTONE ENGINEERING & SURVEYING
P.O. BOX 1439
MANSFIELD, TX 76063
(817) 940-6027
OWNER / DEVELOPER:
SCOTT SELF & JANET SELF
WAREHOUSE - PRO
2020 INDUSTRIAL BLVD.
ROCKWALL, TX 75087

FINAL PLAT
LOT 1, BLOCK 1
PRO SOAP ADDITION
BEING A REPLAT OF
LOT 2 OF THE
DBK ADDITION
BEING
1 LOT
3.964 ACRES / 172,672 SQ FT
SITUATED IN THE
JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

<p>CORNERSTONE - ENGINEERING & SURVEYING SURVEY FIRM NO. 10194747 ENG FIRM NO. 24969 P.O. BOX 1439 MANSFIELD, TX 76063 OFFICE (817)940-6027</p>	
---	--

DATE PREPARED: 7/5/2024

**OWNERS CERTIFICATE
STATE OF TEXAS
COUNTY OF ROCKWALL**

WHEREAS SCOTT SELF AND JANET SELF are the owners of a called 1.9252 acre tract described in a deed to Scott Self and wife, Janet Roberts Self, recorded in Volume 615, Page 268 of the Deed Records of Rockwall County, Texas, and Lot 2 of the DBK ADDITION, an addition to the City of Rockwall, Texas as it appears upon the plat recorded in Cabinet D, Slide 241 of the Plat Records of Rockwall County, Texas, and being the same tract described in a deed to Scott Self, recorded in Volume 1712, Page 213 of the Official Public Records of Rockwall County, Texas, situated in the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, Rockwall County, Texas, and being further described by metes and bounds as follows:

COMMENCING at a 1/2" iron rebar found in the south line of I-30 for the northeast corner of Lot 1 of said DBK ADDITION, same being the northwest corner of Lot 1, Block A of the K.H.D. INC ADDITION, an addition to the City of Rockwall, as it appears upon the plat recorded in Cabinet B, Slide 321 of said Plat Records of Rockwall County, Texas; then run South 72°49'53" West, along said south line of I-30 common with the north line of said Lot 1, DBK ADDITION, 250.08 feet to an "X" cut in concrete set for the northwest corner of said Lot 1, DBK ADDITION, the northeast corner of said 1.9252 acre tract, and the northeast corner and place of BEGINNING of the tract herein described;

THENCE South 5°47'25" East, along the east line of said 1.9252 acre tract, common with the west line of said Lot 1, DBK ADDITION, 288.00 feet to an "X" cut in concrete set for the southwest corner of said Lot 1, DBK ADDITION, same being the northwest corner of said Lot 2, DBK ADDITION;

THENCE North 84°25'36" East, along the common line of said Lot 1 and Lot 2, DBK ADDITION, 201.05 feet to a 1/2" iron rebar with a cap stamped "CES 10194747" set for the common east corner of same, in the west line of a called 1.86 acres, described as Tract 2 in a deed to Myasin Investments, LLC., recorded in Instrument No. 2018000016565 of said Official Public Records of Rockwall County, Texas, whence a 1/2" iron rebar found with a cap stamped "WIER & ASSOC." for the northwest corner of said Tract 2, common with the southwest corner of said Lot 1, Block A, K.H.D. INC ADDITION bears North 5°47'25" West, 3.33 feet;

THENCE South 5°47'25" East, along the east line of Lot 2, DBK ADDITION common with the west line of said Tract 2, a distance of 410.36 feet to a 1/2" iron rebar with a cap stamped "CES 10194747" set for the common south corner of same, in the north line of Lot 1, Block A of the STREAM 549 ADDITION, an addition to the City of Rockwall, as it appears upon the plat recorded in Instrument No. 202300001533 of the Plat Records of Rockwall County, Texas;

THENCE South 67°18'00" West, along the south line of said Lot 2, DBK ADDITION common with the north line of said Lot 1, Block A, STREAM 549 ADDITION, 210.13 feet to a 1/2" iron rebar with a cap stamped "CES 10194747" set for the southwest corner of said Lot 2, DBK ADDITION, same being the southeast corner of a called 1.6291 acre tract described in a deed to Rockwall Storage Solutions, LLC., recorded in Instrument No. 2014000010313 of said Official Public Records of Rockwall County, Texas, whence a 5/8" iron pipe found for the southwest corner of a called 6.017 acre tract, described in a deed to Rockwall AA RE, LLC., recorded in Instrument No. 2019000011194 of said Official Public Records of Rockwall County, Texas, bears South 67°18'00" West, 555.33 feet;

THENCE North 5°47'25" West, along the west line of said Lot 2, DBK ADDITION common with the east line of said 1.6291 acre tract, 322.56 feet to an "X" cut in concrete found for the southeast corner of said 1.9252 acre tract, same being the northeast corner of said 1.6291 acre tract;

THENCE South 84°04'43" West, along the south line of said 1.9252 acre tract common with the north line of said 1.6291 acre tract, 201.01 feet to a point in a 20 inch Hackberry Tree for the common west corner of same, and in the east line of said 6.017 acre tract, whence a 1/2" iron rebar with a cap stamped "REF. COR." set for reference bears South 84°04'43" West, 0.64 feet;

THENCE North 5°47'05" West, along the west line of said 1.9252 acre tract common with the east line of said 6.017 acre tract, 397.70 feet to a point for the common north corner of same in said south line of I-30, whence a 1/2" iron rebar with a cap stamped "REF. COR." set for reference bears South 5°47'05" East, 1.24 feet;

THENCE North 72°49'53" East, along said south line of I-30 common with the north line of said 1.9252 acre tract, 205.00 feet to the place of BEGINNING and containing 3.964 acres, as surveyed.

SURVEYORS CERTIFICATE

I, Jacob N. Holmes, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I have prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown hereon were found and/or properly placed under supervision.

Dated this the ____ day of _____, 2024



PRELIMINARY FOR REVIEW ONLY 7-5-24

Jacob N. Holmes
Texas Registered Professional Land Surveyor # 6482

Chairman
Planning & Zoning Commission

APPROVED:

I hereby certify that the above and foregoing plat of PRO SOAP ADDITION, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval

WITNESS, our hands, this the ____ day of _____, 2024.

Mayor, City of Rockwall

City Secretary, City of Rockwall

City Engineer

**OWNERS DEDICATION
STATE OF TEXAS
COUNTY OF ROCKWALL**

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, SCOTT SELF and JANET SELF, the undersigned owner of the land shown on this plat, and designated herein as PRO SOAP ADDITION, an addition to the City of Rockwall Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the PRO SOAP ADDITION, have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

SCOTT SELF AND JANET SELF

Witness our hands on ____ day of _____, 2024.

By: Scott Self

By: Janet Self

State of Texas

County of _____

Before me, the undersigned authority, on this day personally appeared Scott Self, known to me to be there person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

GIVEN MY HAND AND SEAL OF OFFICE this the ____ day of _____ 2024.

Notary Public in and for the State of Texas

My commission expires _____

State of Texas

County of _____

Before me, the undersigned authority, on this day personally appeared Janet Self, known to me to be there person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purpose and consideration therein stated.

GIVEN MY HAND AND SEAL OF OFFICE this the ____ day of _____ 2024.

Notary Public in and for the State of Texas

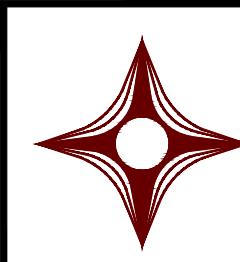
My commission expires _____

**SURVEYOR/ENGINEER:
JACOB N. HOLMES (SURVEYOR)
JASON LENAMOND (ENGINEER)
CORNERSTONE ENGINEERING &
SURVEYING
P.O. BOX 1439
MANSFIELD, TX 76063
(817) 940-6027
OWNER / DEVELOPER:
SCOTT SELF & JANET SELF
WAREHOUSE - PRO
2020 INDUSTRIAL BLVD.
ROCKWALL, TX 75087**

DATE PREPARED: 7/5/2024

**FINAL PLAT
LOT 1, BLOCK 1
PRO SOAP ADDITION
BEING A REPLAT OF
LOT 2 OF THE
DBK ADDITION
BEING
1 LOT
3.964 ACRES / 172,672 SQ FT
SITUATED IN THE
JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**CORNERSTONE - ENGINEERING &
SURVEYING**
SURVEY FIRM NO. 10194747
ENG FIRM NO. 24969
P.O BOX 1439
MANSFIELD, TX 76063
OFFICE (817)940-6027





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 29, 2024
APPLICANT: Will Winkelmann; *Winkelmann & Associates, Inc.*
CASE NUMBER: P2024-033; *Preliminary Plat for Rockwall Heights*

SUMMARY

Consider a request by Will Winkelmann of Winkelmann & Associates, Inc. on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Preliminary Plat for Lot 2-13, Block B & Lot 2, Block C, Rockwall Commercial Addition being a 67.475-acre tract of land identified as Lot 1, Block B and Lot 1R, Block C, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 102 (PD-102) for Commercial (C) District land uses, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

PLAT INFORMATION

- Purpose. The purpose of the applicant's request is to Preliminary Plat a 67.475-acre tract of land (i.e. *Lot 1, Block B and Lot 1R, Block C, Rockwall Commercial Addition*) to show the future establishment of a 13-parcel regional mixed-use development (i.e. *Lots 2-13, Block B; Lot 2, Block C, Rockwall Commercial Subdivision*). The proposed Preliminary Plat also lays out the necessary easements (e.g. *fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the subdivision. Concurrently with this Preliminary Plat, the applicant has submitted a Site Plan [Case No. SP2024-033] for a *Large Format Retailer* (i.e. *IKEA*).
- Background. The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69* [Case No. *A1985-002*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the December 7, 1993 *Zoning Map*, a portion of the subject property was zoned Highway Commercial (HC) District at some point between annexation and December 6, 1993. This designation was later changed to a Light Industrial (LI) District between December 8, 1993 and April 5, 2005 according to the City's *Historic Zoning Maps*. On January 6, 2020, the City Council approved Case No. *P2019-048* (filed on April 9, 2021) establishing the subject property as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition. On October 2, 2023, the City Council adopted *Ordinance No. 23-56* [Case No. *Z2023-041*] changing the zoning of the subject property from an Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District. On October 21, 2024, the City Council approved a zoning change [Case No. *Z2024-035*; *Ordinance No. 24-42*] that establish the subject property as Planned Development District 102 (PD-102) for limited Commercial (C) District land uses. The subject property has remained vacant since annexation.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for the Rockwall Commercial Subdivision staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/25/2024

PROJECT NUMBER: P2024-033
PROJECT NAME: Preliminary Plat for IKEA
SITE ADDRESS/LOCATIONS: Northwest Corner of FM 3549 & I-30

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	10/25/2024	Needs Review

10/25/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for a Regional Mixed Use Development on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2024-033) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Preliminary Plat
Lots 1-12, Block B; Lot 1, Block C
Rockwall Commercial
Being
13 Lots
67.476 Acres or 2,939,242 SF
Situated in the
E. M. Elliot Survey, Abstract No. 77; and,
J. Lockhart Survey, Abstract No. 134
City of Rockwall, Rockwall County, Texas

M.5 Please correct the lot and block callouts on the plat to match the Title Block. Lots are number sequentially and consist of only numbers. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please include the building setbacks adjacent to a public road. In this case, Lot 1, Block C, the setback adjacent to the I-30 Frontage Road is 25-feet; Lot 1, Block B, the setback adjacent to Justin Road is 15-feet; Lot 2, Block B, the setback adjacent to Justin Road is 10-feet; Lots 3-12, Block B, the setback adjacent to Justin Road, Stodghill Road, and the I-30 Frontage Road is 25-feet. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances; PD Ordinance)

M.7 The portion of the sidewalk along IH-30 -- as indicated on the site plan -- that is on the subject property must be within a pedestrian easement (Engineering Standards of Design and Construction)

M.8 Please include the City Limit line on Sheets 1 and 5. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Please include the zoning information. In this case, the zoning will be Planned Development District 102 (PD-102). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please identify the dimensions, names, and descriptions of all proposed open spaces. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.11 Please indicate the water source and sewage disposal method. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.12 The Surveyor does not need a notary, as their seal serves this purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.13 Please update the City Signature Block to match the Preliminary Plat Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.14 The projected meeting dates for this case are as follows:

Planning and Zoning Public Hearing: October 29, 2024
City Council: November 4, 2024

I.15 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/14/2024	Approved w/ Comments

10/14/2024: 1. This area must be detained for. Detention ponds/systems must be detentions easement. Proposed easements must be shown.

2. A 10' utility easement is required along all street frontages.

3. You will need to dedicate a 10' landscape & pedestrian easement along the I-30 frontage.

4. A 10' utility easement is required along all street frontages.

5. You will need to dedicate a 10' landscape & pedestrian easement along the I-30 frontage.

6. The detention pond will require a detention easement located at the freeboard elevation.

7. You will need to show the Fire Access & Utility Easement (Fire Lanes) and all Water Easements (for hydrants, meters, etc).

8. A min. 20' water easement will be required, centered on the existing water line.

9. Show all proposed utility easements from the site plan including all proposed utility easements.

10. All proposed driveway approaches off of state roadways are subject to TXDOT approval and subject to change.

11. Drainage calculations will be reviewed at the time of engineering.

12. Pavement must be extended to edge.

13. 20' water easement required.

14. 10' utility easement required along Justin

15. Extend sewer all the way across your property line.

16. No signage, lighting, berms, or retaining walls are allowed within easements.

All lots must be detained for. All drainage leaving the site may not be increased from existing conditions.

FYI, offsite sewer oversize will need to be installed prior to any condominium development.

17. Why are you proposing 2 sewer services?

18. Must be within a drainage easement.

19. This existing 12" water main dead ends around this area. You will need to extend it south and tap into the existing 16" water main along I-30.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines will need to be placed underground.
- A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
- An Infrastructure study is required. Review fees apply. Improvements identified within the infrastructure must be constructed at a minimum.
- City driveway spacing requirements must be met along Justin. TXDOT driveway spacing requirements must be met along I-30 frontage and FM 3549 (Stodghill).
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
- Existing flow patterns must be maintained.
- Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- An emergency spillway is required for the detention pond.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.
- For drainage areas over 20 acres, the drainage design and study is sent to 3rd party consultant for review. Review fees apply.
- Must comply with the results of the drainage study, once completed.

Property drains in multiple directions. Multiple detention systems may be required depending on proposed drainage patterns. Drainage may not increase flowing off site from any basin.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Any utility connects across existing roadways must be completed by dry bore.
- Any utility work in TXDOT ROW will require TxDOT permit.

- Must install 12" water mains per City master plans. Dedicate easements. - Must continue 12" sewer main along Justin Road.
- Must comply with the results of the Water/Sewer Infrastructure study, once completed.
- Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
- Water to be 10' separated from storm and sewer lines.
- Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.

Roadway Paving Items:

- All new paving to be steel reinforced concrete.
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking allowed without a city approved turn around. - Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
- Sidewalk required along public and TXDOT roadways.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Must build the second half of Justin Road per the City master thoroughfare plans, along with street lights, irrigation sleeve, and sidewalks
- No median cuts will be allowed in FM 3549 (N. Stodghill Road) due to driveway spacing requirements.
- TXDOT spacing requirements along I-30 for 40MPH posted speed limit is 305 ft and you may not have a driveway in the ramp gore area. Driveway spacing from gore must meet TxDOT standards.
- TxDOT permit will be submitted by the City.
- Must comply with the results of the TIA, once completed.
- Must construct the remaining width (35' B-B) of Conveyor
- All median (including median nose) construction must meet City requirements

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/14/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/10/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved w/ Comments
10/21/2024: Tie two corners to the State Plane Coordinate System (NAD83 North Central Texas 2276, Grid)			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/09/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved
No Comments			

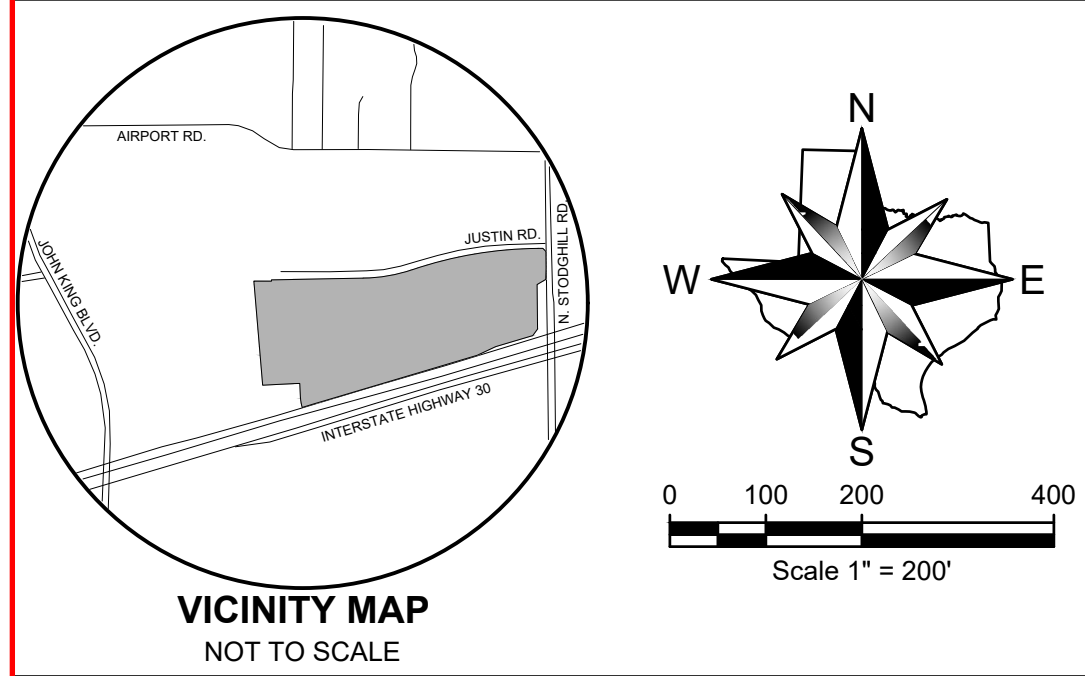
- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - No signage is allowed within easements or ROW.
 - Required 10' utility easement along all street frontages.
 - All utilities must be underground. Existing overhead utility lines will need to be placed underground.
 - A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
 - An Infrastructure study is required. Review fees apply. Improvements identified within the infrastructure must be constructed at a minimum.
 - City driveway spacing requirements must be met along Justin. TXDOT driveway spacing requirements must be met along I-30 frontage and FM 3549 (Stodghill).
 - Additional comments may be provided at time of Engineering.

- Drainage Items:**
- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
 - Existing flow patterns must be maintained.
 - Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
 - No vertical walls allowed in detention easement. Max 4:1 side slopes.
 - No public water or sewer allowed within the detention easement.
 - An emergency spillway is required for the detention pond.
 - The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
 - No grate inlets allowed
 - 100-year WSEL must be called out for detention ponds.
 - FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
 - All dumpster areas shall drain to an oil/water spectator and then into the storm system.
 - For drainage areas over 20 acres, the drainage design and study is sent to 3rd party consultant for review. Review fees apply.
 - Must comply with the results of the drainage study, once completed.
- Property drains in multiple directions. Multiple detention systems may be required depending on proposed drainage patterns. Drainage may not increase flowing off site from any basin.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Public sewer to be 8" minimum.
 - Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
 - Any utility connects across existing roadways must be completed by dry bore.
 - Any utility work in TXDOT ROW will require TxDOT permit.
 - Must install 12" water mains per City master plans. Dedicate easements. - Must continue 12" sewer main along Justin Road.
 - Must comply with the results of the Water/Sewer Infrastructure study, once completed.
 - Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
 - Water to be 10' separated from storm and sewer lines.
 - Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.

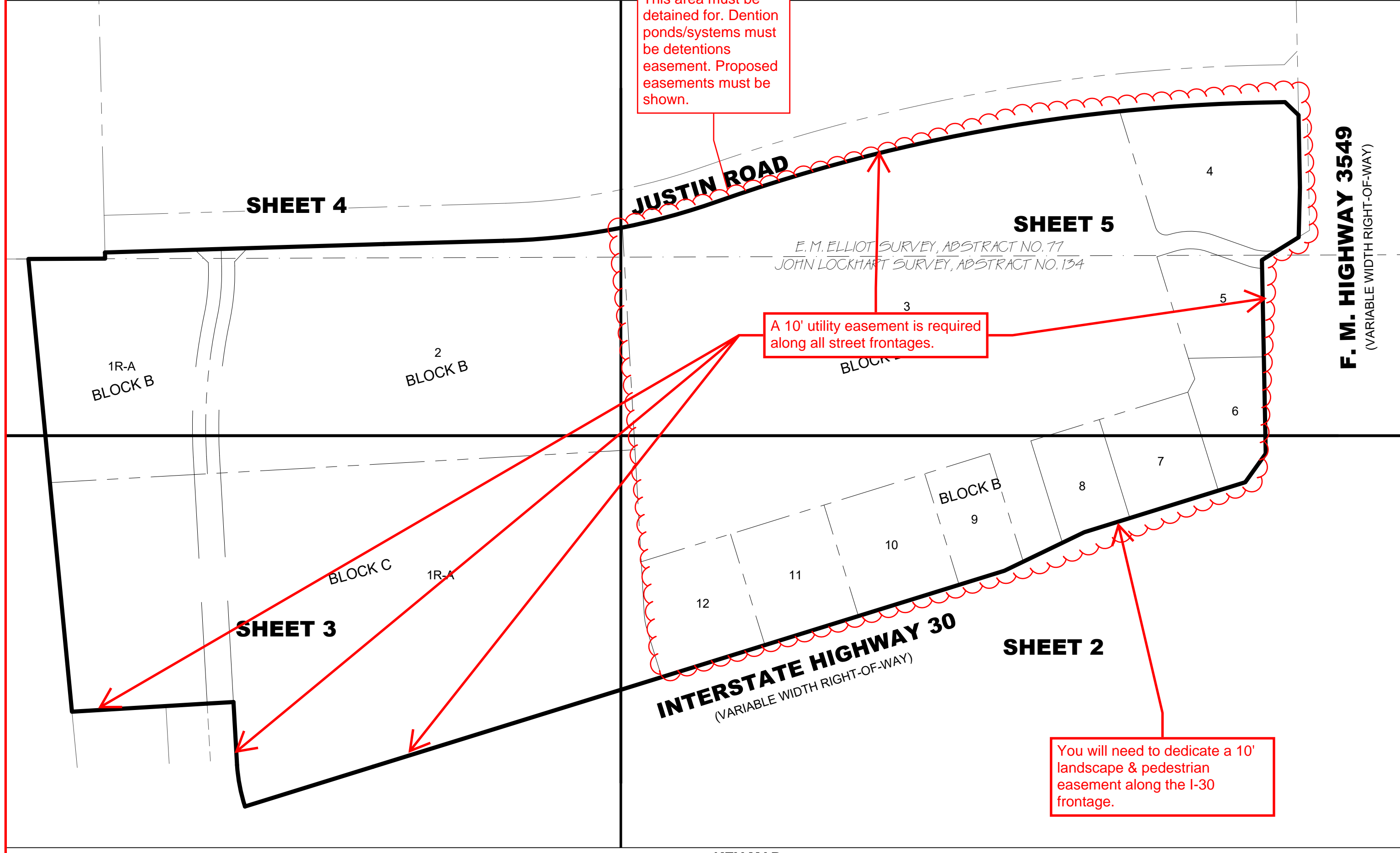
- Roadway Paving Items:**
- All new paving to be steel reinforced concrete.
 - Fire lane to be 24' wide and in a platted easement.
 - No dead-end parking allowed without a city approved turn around.
 - Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
 - Sidewalk required along public and TXDOT roadways.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Must build the second half of Justin Road per the City master thoroughfare plans, along with street lights, irrigation sleeve, and sidewalks
 - No median cuts will be allowed in FM 3549 (N. Stodghill Road) due to driveway spacing requirements.
 - TXDOT spacing requirements along I-30 for 40MPH posted speed limit is 305 ft and you may not have a driveway in the ramp gore area. Driveway spacing from gore must meet TxDOT standards.
 - TxDOT permit will be submitted by the City.
 - Must comply with the results of the TIA, once completed.
 - Must construct the remaining width (35' B-B) of Conveyor
 - All median (including median nose) construction must meet City requirements

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



GENERAL NOTES:

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).



ENGINEER/SURVEYOR
Winkelmann & Assoc.
6750 Hillcrest Plaza Drive
Suite 215
Dallas, Texas 75230
(972) 490-7090

OWNERS
Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
8750 N. Central Expressway,
Suite 1735
Dallas, Texas 75231
(214) 532-3924
James (Jim) Melino

DEVELOPER
IKEA PROPERTY INC.
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19228
(512) 492-2536
Jeannie De Fazio

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A,
BLOCK C
BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 2021000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
ROCKWALL, ROCKWALL COUNTY, TEXAS
67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY PROJECT NO. _____

This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

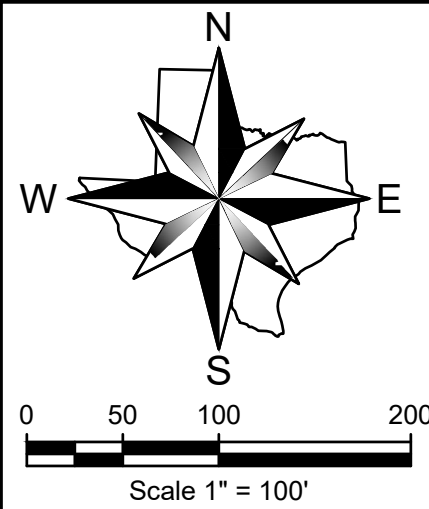
Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS & SURVEYORS
6750 HILLCREST PLAZA DRIVE, SUITE 215
DALLAS, TEXAS 75230
(972) 490-7090
(972) 490-7098 FAX
Texas Engineers Registration No. 89 (9/20/24)
Texas Surveyors Registration No. 10224
COPYRIGHT © 2024, Winkelmann & Associates, Inc.

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
ROCKWALL COUNTY, TEXAS
IKEA PROPERTY INC.
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
67.476 ACRES

Date : 09.11.24
Scale : 1" = 200'
File : 63406.00-PPLT
Project No. : 63406.00

SHEET 1 OF 6



ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line
(R)	Red

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75230
 (972) 490-7090
 (972) 490-7099 FAX
 Texas Engineers Registration No. 89
 00000004
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.

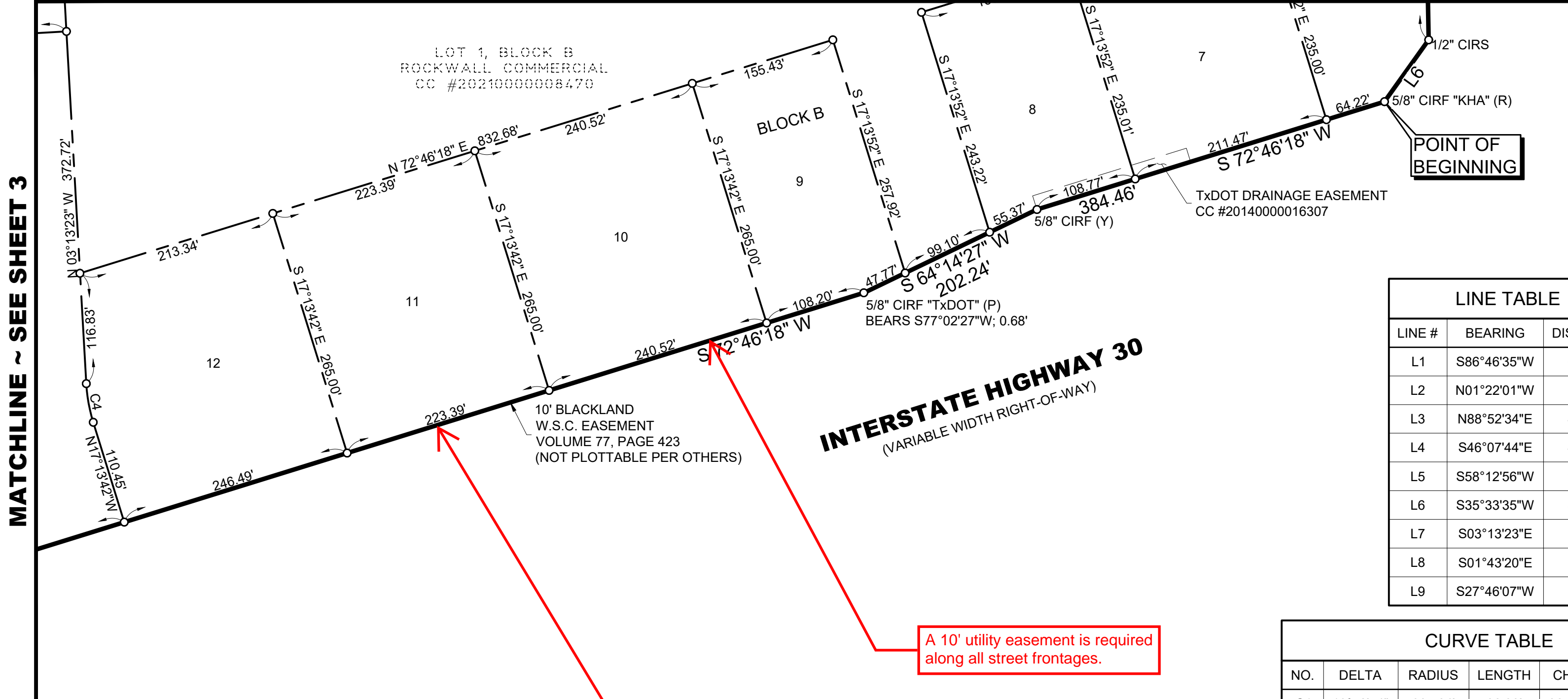
E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 ROCKWALL COUNTY, TEXAS
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 67.476 ACRES

Date : 09.11.24
 Scale : 1" = 100'
 File : 63406.00-PPLT
 Project No. : 63406.00

SHEET
2
OF
6

MATCHLINE ~ SEE SHEET 5



LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S86°46'35"W	60.17'
L2	N01°22'01"W	14.03'
L3	N88°52'34"E	49.83'
L4	S46°07'44"E	42.83'
L5	S58°12'56"W	98.69'
L6	S35°33'35"W	80.25'
L7	S03°13'23"E	39.51'
L8	S01°43'20"E	39.59'
L9	S27°46'07"W	33.94'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C1	13°52'54"	397.84'	96.39'	96.15'	S10°51'14"E
C2	15°08'20"	1,199.92'	317.05'	316.12'	S04°20'47"W
C3	13°38'17"	500.00'	119.01'	118.73'	N05°05'49"E
C4	14°00'30"	170.00'	41.56'	41.46'	S10°13'37"E
C8	22°56'19"	130.00'	52.05'	51.70'	S88°46'59"E
C9	36°58'01"	160.00'	103.23'	101.45'	N89°05'33"W
C10	90°20'41"	25.00'	39.42'	35.46'	S62°24'13"E
C11	9°17'14"	170.00'	27.56'	27.53'	S81°06'54"E
C12	36°37'20"	120.00'	76.70'	75.40'	N88°55'13"W

You will need to dedicate a 10' landscape & pedestrian easement along the I-30 frontage.

A 10' utility easement is required along all street frontages.

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

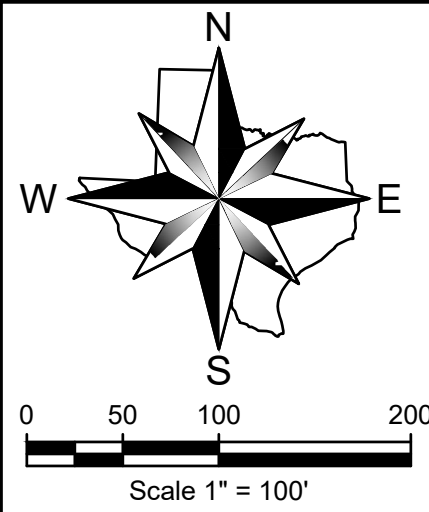
This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
 Winkelmann & Assoc.
 6750 Hillcrest Plaza Drive
 Suite 215
 Dallas, Texas 75230
 (972) 490-7090

OWNERS
 Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
 8750 N. Central Expressway,
 Suite 1735
 Dallas, Texas 75231
 (214) 532-3924
 James (Jim) Melino

DEVELOPER
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228
 (512) 492-2536
 Jeannie De Fazio

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 20210000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY PROJECT NO. _____



ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line
(R)	Red

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75230
 (972) 480-7090
 (972) 480-7099 FAX
 Texas Engineers Registration No. 89 00204
 Texas Surveyors Registration No. 10024
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.

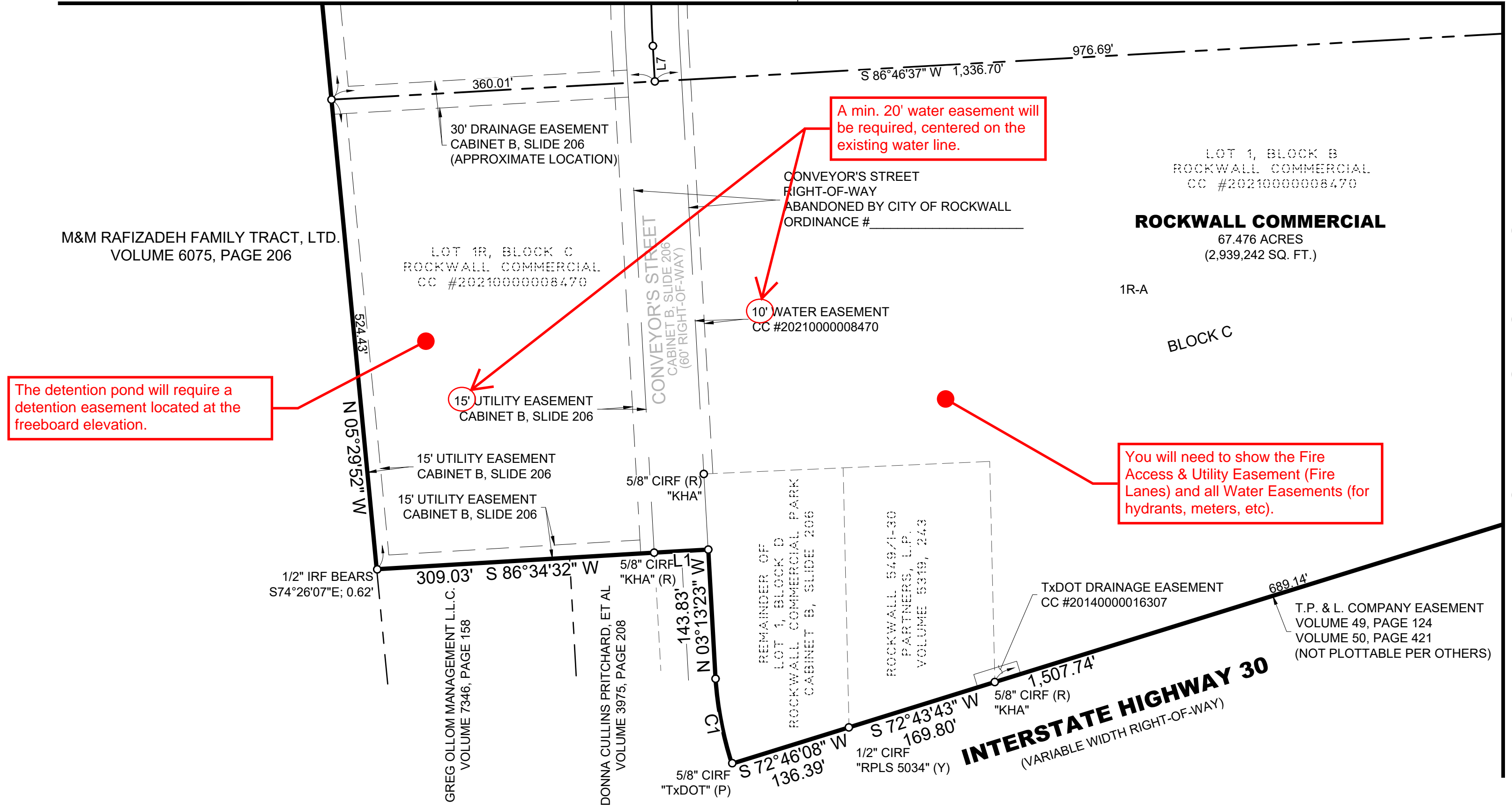
E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 ROCKWALL COUNTY, TEXAS
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 67.476 ACRES

Date : 09.11.24
 Scale : 1" = 100'
 File : 63406.00-PPLT
 Project No. : 63406.00

SHEET
3
OF
6

MATCHLINE ~ SEE SHEET 4



MATCHLINE ~ SEE SHEET 2

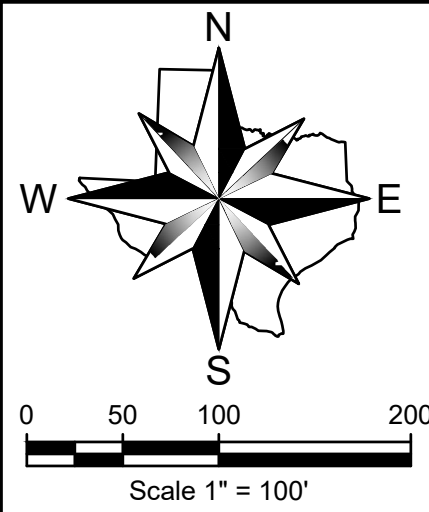
According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.
 Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
 This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
 Winkelmann & Assoc.
 6750 Hillcrest Plaza Drive
 Suite 215
 Dallas, Texas 75230
 (972) 490-7090

OWNERS
 Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
 8750 N. Central Expressway,
 Suite 1735
 Dallas, Texas 75231
 (214) 532-3924
 James (Jim) Melino

DEVELOPER
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228
 (512) 492-2536
 Jeannie De Fazio

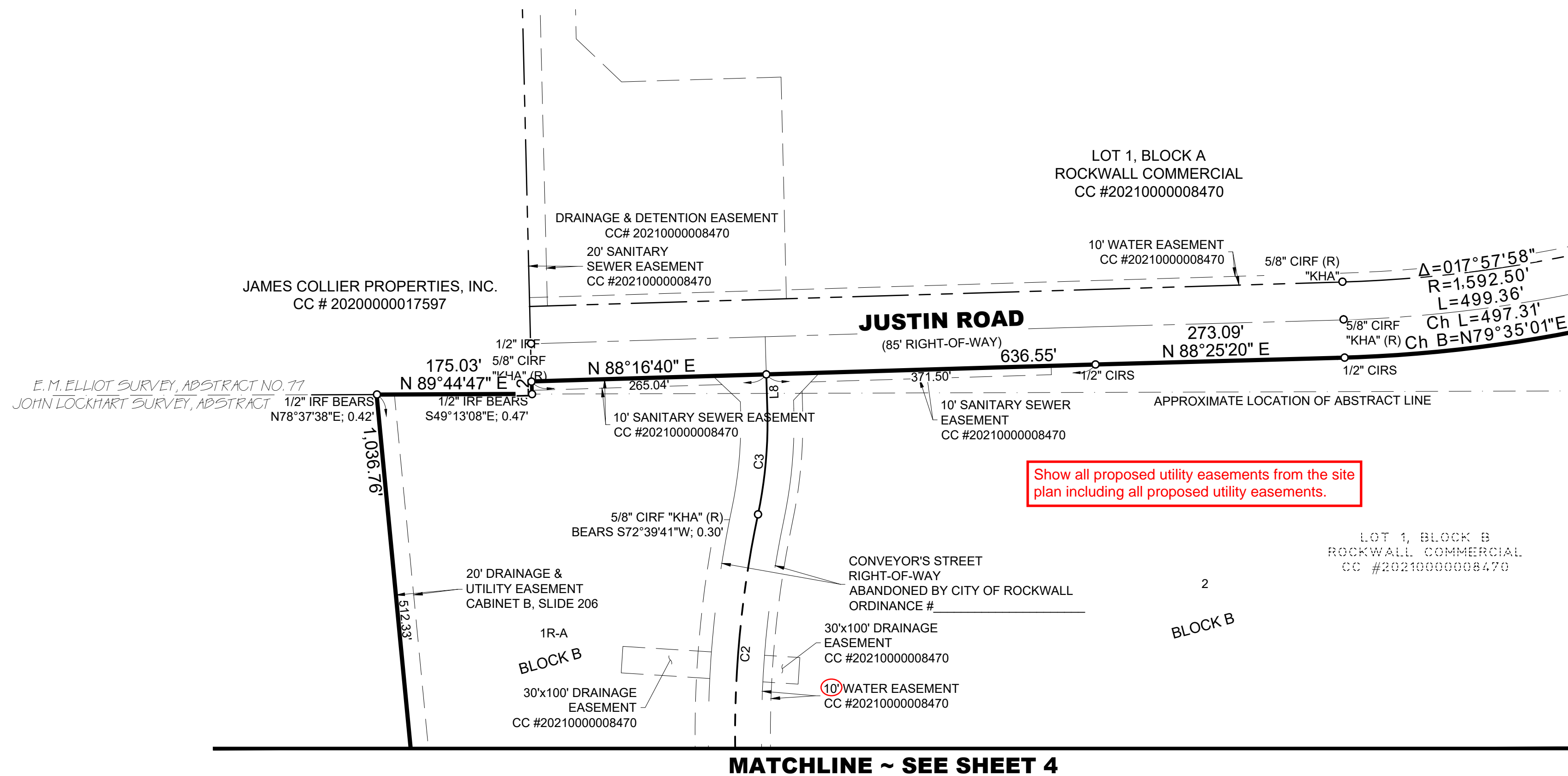
PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 20210000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY PROJECT NO. _____



ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line
(R)	Red

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75230
 (972) 490-7090
 (972) 490-7099 FAX
 Texas Engineers Registration No. 89 00000004
 Texas Surveyors Registration No. 1000000004
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.



MATCHLINE ~ SEE SHEET 5

MATCHLINE ~ SEE SHEET 4

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 ROCKWALL COUNTY, TEXAS
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 67.476 ACRES

Date : 09.11.24
 Scale : 1" = 100'
 File : 63406.00-PPLT
 Project No. : 63406.00

SHEET 4 OF 6

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

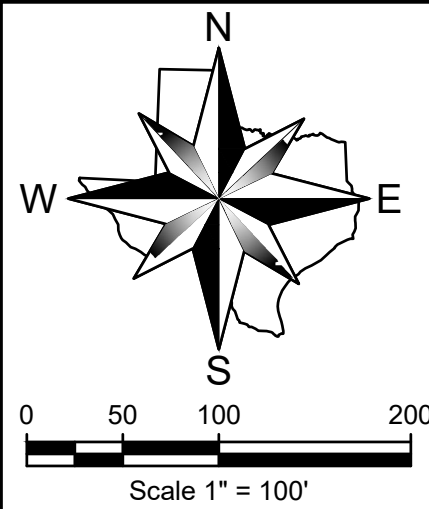
This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
 Winkelmann & Assoc.
 6750 Hillcrest Plaza Drive
 Suite 215
 Dallas, Texas 75230
 (972) 490-7090

OWNERS
 Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
 8750 N. Central Expressway,
 Suite 1735
 Dallas, Texas 75231
 (214) 532-3924
 James (Jim) Melino

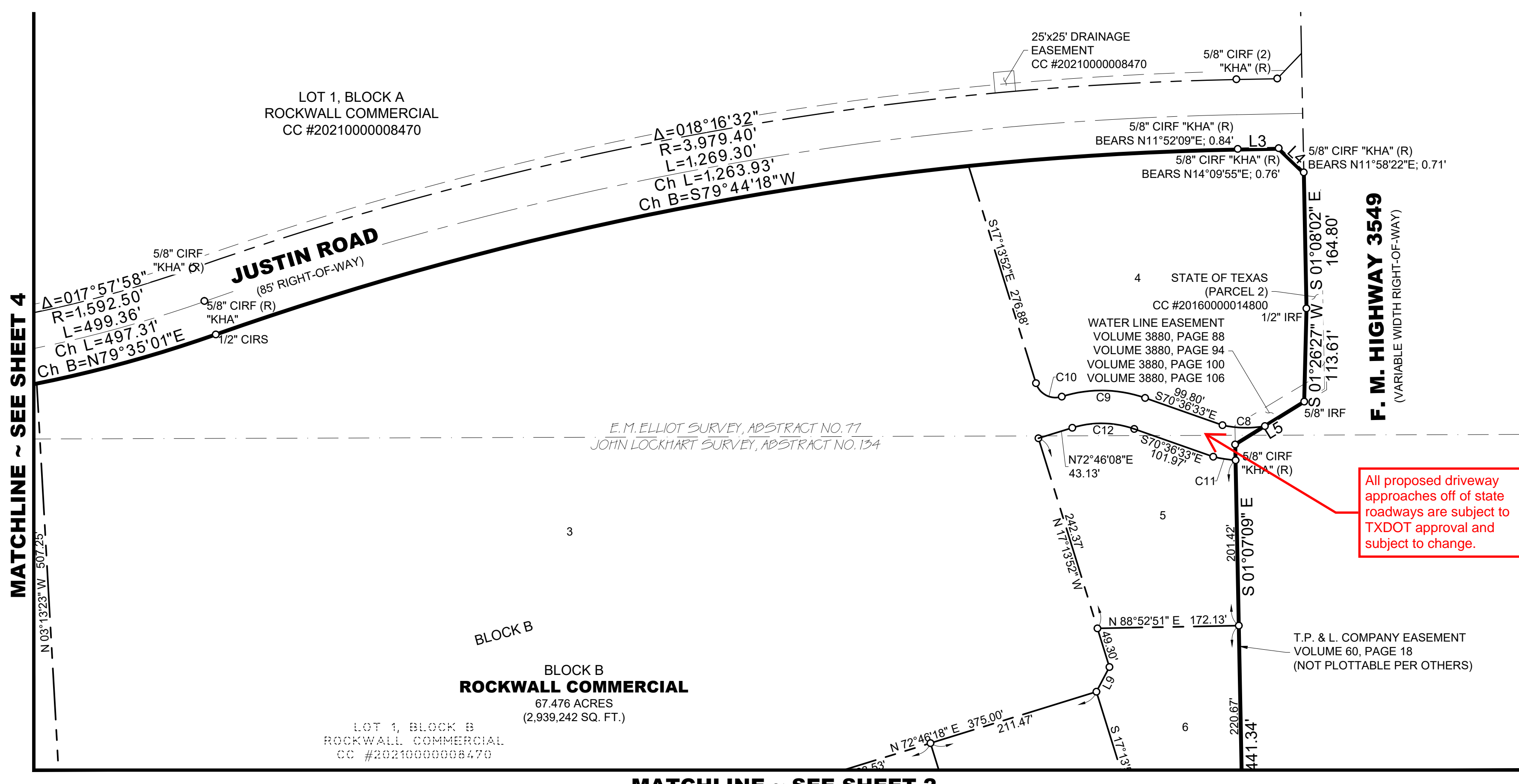
DEVELOPER
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228
 (512) 492-2536
 Jeannie De Fazio

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A,
 BLOCK C
 BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 20210000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY PROJECT NO. _____



ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line
(R)	Red



All proposed driveway approaches off of state roadways are subject to TXDOT approval and subject to change.

MATCHLINE ~ SEE SHEET 4

MATCHLINE ~ SEE SHEET 2

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS & SURVEYORS
6750 HILLCREST PLAZA DRIVE, SUITE 215
DALLAS, TEXAS 75230
TELEPHONE: (972) 490-7090
FAX: (972) 490-7099
Texas Engineers Registration No. 89 000204
Copyright © 2024, Winkelmann & Associates, Inc.

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
ROCKWALL COUNTY, TEXAS
IKEA PROPERTY INC.
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
67.476 ACRES

Date : 09.11.24
Scale : 1" = 100'
File : 63406.00-PPLT
Project No. : 63406.00

SHEET
5
6

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
Winkelmann & Assoc.
6750 Hillcrest Plaza Drive
Suite 215
Dallas, Texas 75230
(972) 490-7090

OWNERS
Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
8750 N. Central Expressway,
Suite 1735
Dallas, Texas 75231
(214) 532-3924
James (Jim) Melino

DEVELOPER
IKEA PROPERTY INC.
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19228
(512) 492-2536
Jeannie De Fazio

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A,
BLOCK C
BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B,
ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S
INSTRUMENT NO. 2021000008470, AND A PORTION OF LOT 1,
BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN
CABINET B, SLIDE 206
ROCKWALL, ROCKWALL COUNTY, TEXAS
67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT
SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY,
ABSTRACT NO. 134
CITY PROJECT NO. _____

DETENTION POND 1

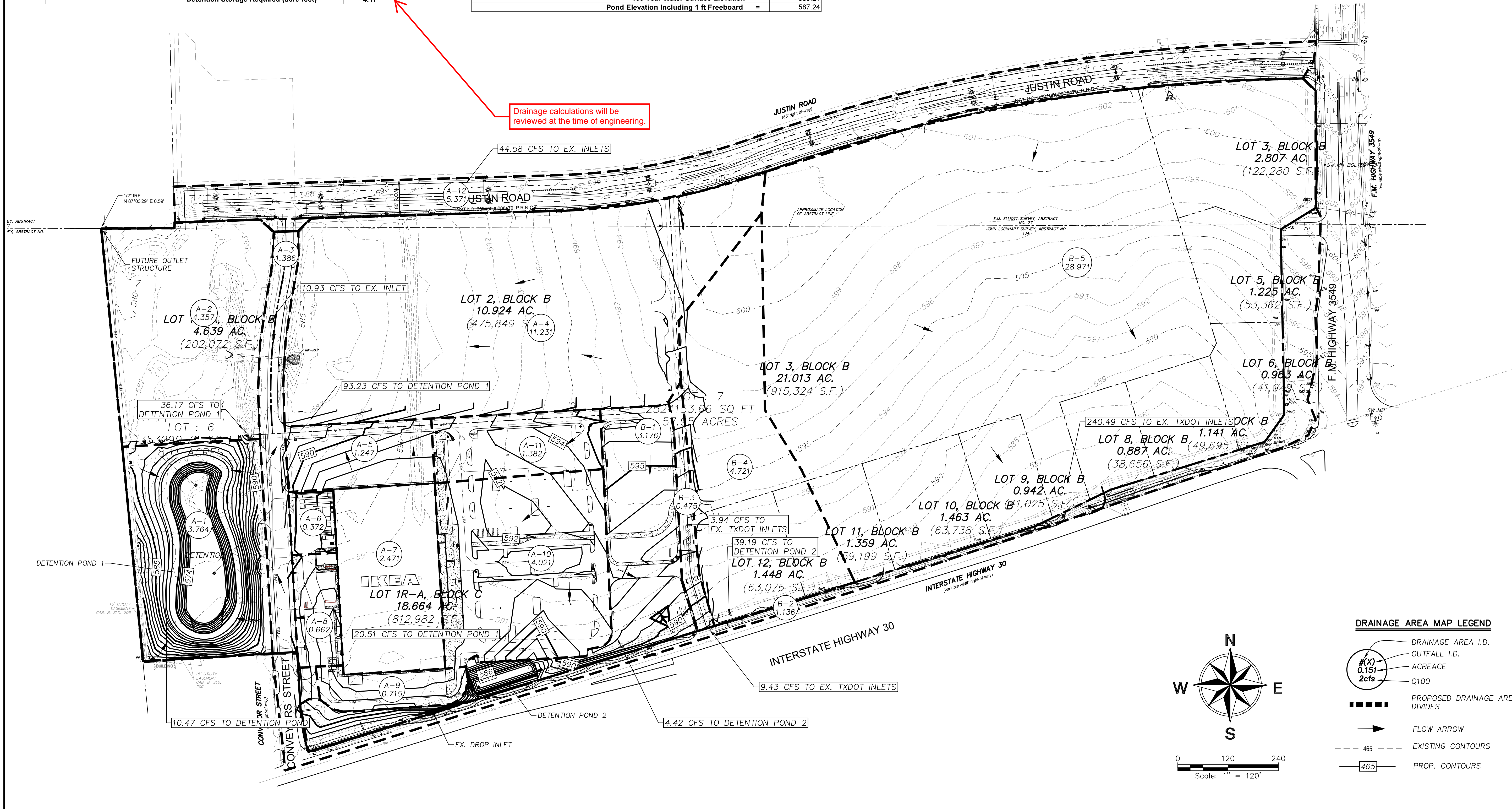
DETENTION POND CALCULATIONS Table 1				Storm Event	Existing Flow Rate	ISWM Rainfall Data	
MIN	I-100YR	C*	TOTAL AREA (ac)	100 Year	71.15 cfs	e	0.75652
				TOTAL CFS	TOTAL FLOW	b	98.870
				TOTAL CFS	TOTAL FLOW	d	13
5	11.10	0.83	28.83	265.14	79543	21344	58199
10	9.22	0.83	28.83	220.26	132159	42687	89472
15	7.95	0.83	28.83	189.81	170827	53359	117468
20	7.02	0.83	28.83	167.62	201147	64031	137117
30	5.75	0.83	28.83	137.20	246967	85374	161593
40	4.90	0.83	28.83	117.13	281113	106718	174395
50	4.30	0.83	28.83	102.77	308321	128061	180260
60	3.85	0.83	28.83	91.93	330963	149405	181559
120	2.45	0.83	28.83	58.40	420450	277466	142985
180	1.84	0.83	28.83	44.06	475853	405527	70326
360	1.12	0.83	28.83	26.77	578127	789710	-211583
720	0.67	0.83	28.83	16.05	693576	1558076	-864500
1440	0.40	0.83	28.83	9.57	826637	3094808	-2288170
				Detention Storage Required (cubic feet)	=	181,559	
				Detention Storage Required (acre feet)	=	4.17	

DETENTION POND 2

DETENTION POND CALCULATIONS Table 1				Storm Event	Existing Flow Rate	ISWM Rainfall Data	
MIN	I-100YR	C*	TOTAL AREA (ac)	100 Year	23 cfs	e	0.75652
				TOTAL CFS	TOTAL FLOW	b	98.870
				TOTAL CFS	TOTAL FLOW	d	13
5	11.10	0.76	4.81	40.62	12187	6900	5287
10	9.22	0.76	4.81	33.75	20249	13800	6449
15	7.95	0.76	4.81	29.08	26174	17250	8924
20	7.02	0.76	4.81	25.68	30820	20700	10120
30	5.75	0.76	4.81	21.02	37840	27600	10240
40	4.90	0.76	4.81	17.95	43072	34500	8572
50	4.30	0.76	4.81	15.75	47241	41400	5841
60	3.85	0.76	4.81	14.09	50710	48300	2410
120	2.45	0.76	4.81	8.95	64421	89700	-25279
180	1.84	0.76	4.81	6.75	72910	131100	-58190
360	1.12	0.76	4.81	4.10	88580	255300	-166720
720	0.67	0.76	4.81	2.46	106269	503700	-397431
1440	0.40	0.76	4.81	1.47	126657	1000500	-873843
				Detention Storage Required (cubic feet)	=	10,240	
				Detention Storage Required (acre feet)	=	0.24	
				100 Year Water Surface Elevation	=	586.24	
				Pond Elevation Including 1 ft Freeboard	=	587.24	

I.D. NO.	AREA (AC.)	Tc (MIN)	PROPOSED DRAINAGE FLOW CALCULATIONS												COMMENTS
			5-YEAR				25-YEAR				100-YEAR				
			C	Cf	I (IN/HR)	Q (CFS)	C	Cf	I (IN/HR)	Q (CFS)	C	Cf	I (IN/HR)	Q (CFS)	
A-1	3.764	15.0	0.35	1.00	4.97	6.55	0.35	1.00	6.51	8.57	0.35	1.00	7.95	10.47	DETENTION POND 1
A-2	4.357	10.0	0.90	1.00	5.85	22.96	0.90	1.00	7.59	29.74	0.90	1.00	9.22	36.17	INLET A-2
A-3	1.386	10.0	0.90	1.00	5.85	7.30	0.90	1.00	7.59	9.46	0.90	1.00	9.22	11.51	EX. INLET
A-4	11.231	10.0	0.90	1.00	5.85	59.17	0.90	1.00	7.59	76.67	0.90	1.00	9.22	93.23	INLET A-4
A-5	1.247	10.0	0.90	1.00	5.85	6.57	0.90	1.00	7.59	8.51	0.90	1.00	9.22	10.35	INLET A-5
A-6	0.372	10.0	0.90	1.00	5.85	1.96	0.90	1.00	7.59	2.54	0.90	1.00	9.22	3.09	INLET A-6
A-7	2.471	15.0	0.35	1.00	4.97	4.30	0.35	1.00	6.51	5.63	0.35	1.00	7.95	6.87	ROOF DRAINS
A-8	0.662	10.0	0.90	1.00	5.85	3.49	0.90	1.00	7.59	4.52	0.90	1.00	9.22	5.50	INLET A-8
A-9	0.715	10.0	0.90	1.00	5.85	3.77	0.90	1.00	7.59	4.88	0.90	1.00	9.22	5.94	INLET A-9
A-10	4.021	10.0	0.90	1.00	5.85	21.19	0.90	1.00	7.59	27.45	0.90	1.00	9.22	33.38	INLET A-10
A-11	1.382	10.0	0.90	1.00	5.85	7.28	0.90	1.00	7.59	9.43	0.90	1.00	9.22	11.47	INLET A-11
A-12	5.371	10.0	0.90	1.00	5.85	28.30	0.90	1.00	7.59	36.67	0.90	1.00	9.22	44.58	TO EX. INLETS
Total	36.979					172.825			224.077			272.552	CFS		

Drainage calculations will be reviewed at the time of engineering.



Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 ROCKWALL, TEXAS 75087
 (972) 460-7090
 Texas Engineer Registration No. 89
 Texas Surveyor Registration No. 100866-00
 Copyright © 2024, Winkelmann & Associates, Inc.

PROPOSED DRAINAGE AREA MAP
 I-30 FRONTAGE RD & FM 3549
 ROCKWALL, TX

C-06.01

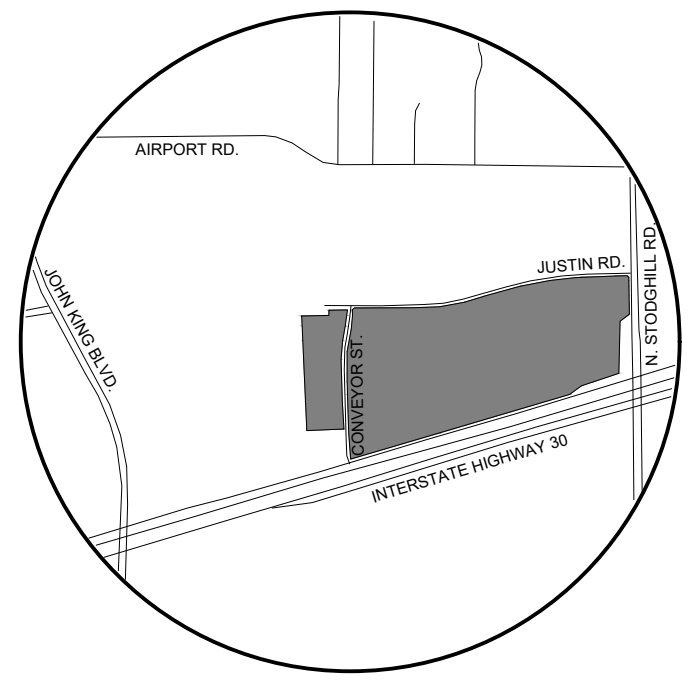
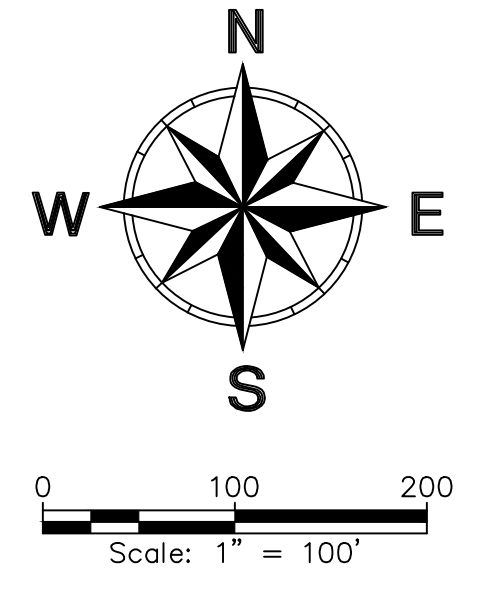
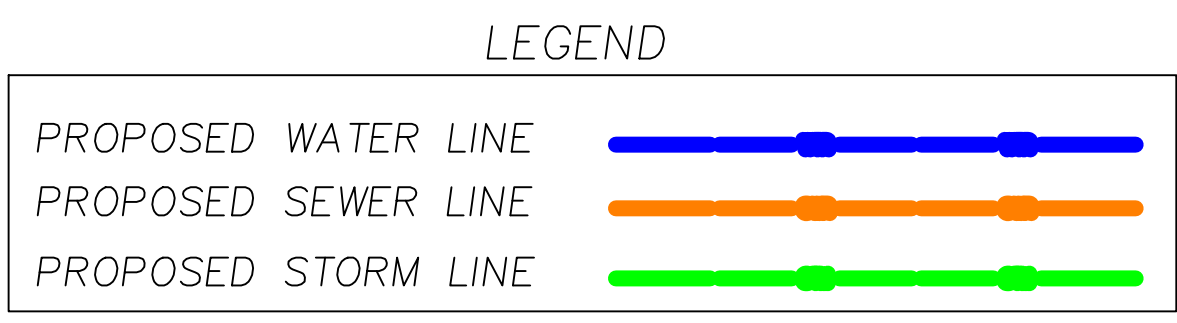
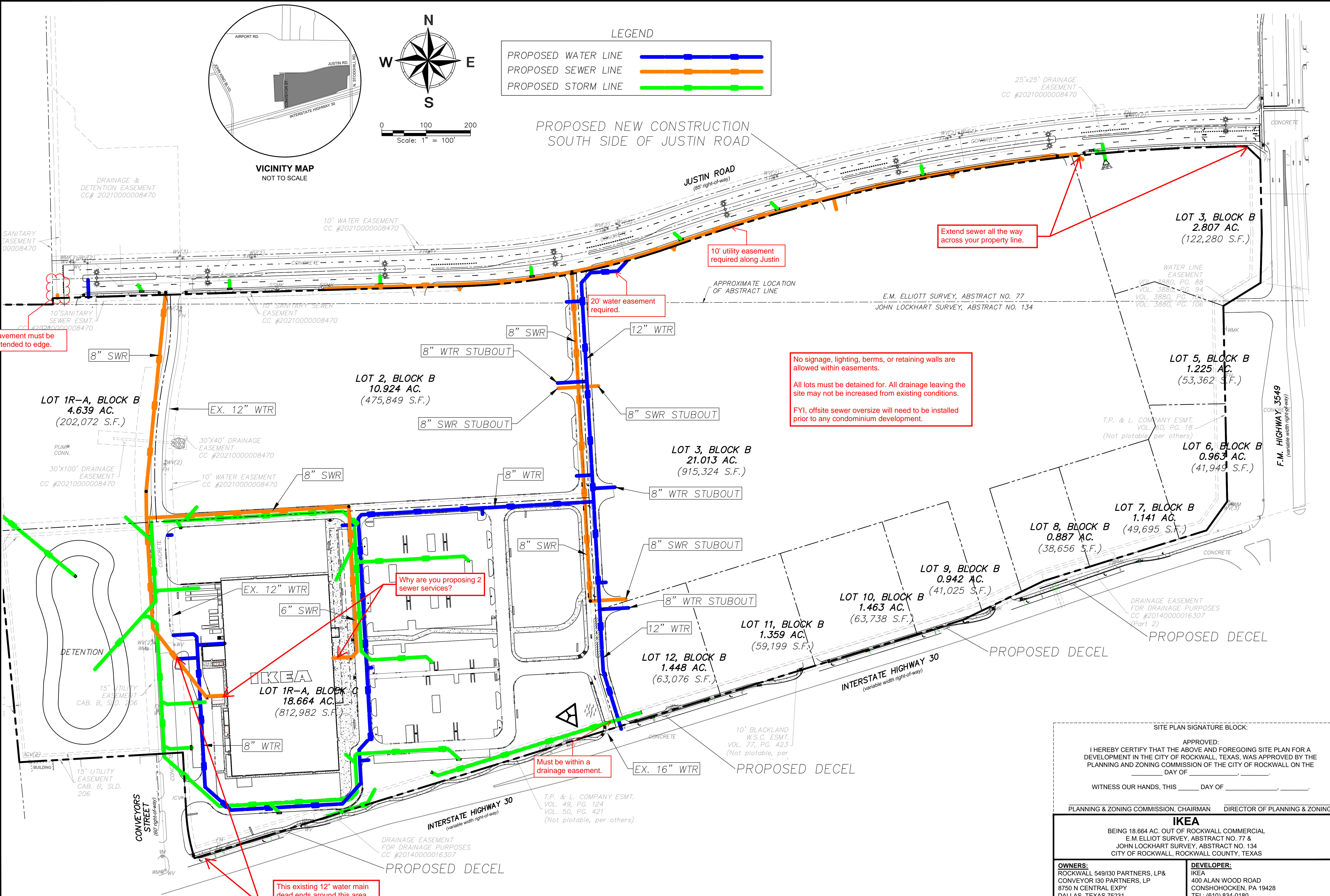
No.	DATE	REVISION	APPROVED
6.			
5.			
4.			
3.			
2.			
1.			

10-08-2024

6-24-08

© 2024 W&A ENGINEERING/Construction Plans\63406-DAM.dwg

LAST SAVED BY: CDUG054, October 2, 2024



PROPOSED NEW CONSTRUCTION SOUTH SIDE OF JUSTIN ROAD

JUSTIN ROAD (65' right-of-way)

LOT 1R-A, BLOCK B 4.639 AC. (202,072 S.F.)

LOT 2, BLOCK B 10.924 AC. (475,849 S.F.)

LOT 3, BLOCK B 2.807 AC. (122,280 S.F.)

LOT 5, BLOCK B 1.225 AC. (53,362 S.F.)

LOT 6, BLOCK B 0.963 AC. (41,949 S.F.)

LOT 7, BLOCK B 1.141 AC. (49,695 S.F.)

LOT 8, BLOCK B 0.887 AC. (38,656 S.F.)

LOT 9, BLOCK B 0.942 AC. (41,025 S.F.)

LOT 10, BLOCK B 1.463 AC. (63,738 S.F.)

LOT 11, BLOCK B 1.359 AC. (59,199 S.F.)

LOT 12, BLOCK B 1.448 AC. (63,076 S.F.)

LOT 1R-A, BLOCK C 18.664 AC. (812,982 S.F.)

8" SWR, 8" WTR, 12" WTR, 6" SWR, 12" WTR, 8" WTR STUBOUT, 12" WTR, 8" WTR STUBOUT, EX. 12" WTR, EX. 16" WTR, EX. 12" WTR, 10' WATER EASEMENT CC #2021000008470, 30'X40' DRAINAGE EASEMENT CC #2021000008470, 30'X100' DRAINAGE EASEMENT CC #2021000008470, 15' UTILITY EASEMENT CAB. B, SLD. 206, 10' SANITARY SEWER ESMT. CC #2021000008470, 10' SANITARY SEWER EASEMENT CC #2021000008470, 25'X25' DRAINAGE EASEMENT CC #2021000008470, 10' UTILITY EASEMENT CC #2021000008470, 30'X100' DRAINAGE EASEMENT CC #2021000008470, 15' UTILITY EASEMENT CAB. B, SLD. 206, 10' BLACKLAND W.S.C. ESMT. VOL. 77, PG. 423 (Not plotable, per others), T.P. & L. COMPANY ESMT. VOL. 49, PG. 124 VOL. 50, PG. 421 (Not plotable, per others), T.P. & L. COMPANY ESMT. VOL. 90, PG. 18 (Not plotable per others), DRAINAGE EASEMENT FOR DRAINAGE PURPOSES CC #20140000016307 (Part 2)

Pavement must be extended to edge.

Extend sewer all the way across your property line.

10' utility easement required along Justin

20' water easement required.

No signage, lighting, berms, or retaining walls are allowed within easements. All lots must be detained for. All drainage leaving the site may not be increased from existing conditions. FYI, offsite sewer oversize will need to be installed prior to any condominium development.

Why are you proposing 2 sewer services?

Must be within a drainage easement.

This existing 12" water main dead ends around this area. You will need to extend it south and tap into the existing 16" water main along I-30.

PROPOSED DECEL

CONCRETE

INTERSTATE HIGHWAY 30 (variable width right-of-way)

F.M. HIGHWAY 3549 (variable width right-of-way)

CONVEYOR STREET (60' right-of-way)

DETENTION

PUMP CONN.

APPROXIMATE LOCATION OF ABSTRACT LINE

E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 JOHN LOCKHART SURVEY, ABSTRACT NO. 134

15' UTILITY EASEMENT CAB. B, SLD. 206

10' BLACKLAND W.S.C. ESMT. VOL. 77, PG. 423 (Not plotable, per others)

T.P. & L. COMPANY ESMT. VOL. 49, PG. 124 VOL. 50, PG. 421 (Not plotable, per others)

T.P. & L. COMPANY ESMT. VOL. 90, PG. 18 (Not plotable per others)

DRAINAGE EASEMENT FOR DRAINAGE PURPOSES CC #20140000016307 (Part 2)

No.	DATE	REVISION	APPROV
6.			
5.			
4.			
3.			
2.			
1.			

CIVIL ENGINEER: **Winkelmann & Associates, Inc.**

CONSULTING CIVIL ENGINEERS ■ SURVEYORS

6750 HILLCREST PLAZA DRIVE, SUITE 215 (972) 490-7090
 Texas Engineers Registration No. 89 (972) 490-7090 FAX
 Texas Surveyors Registration No. 100866-00
 Conforms to § 552c, Amendment 8, Professional Seal

10-01-2024

PRELIMINARY UTILITY PLAN
 NWC OF I-30 & STODGILL RD.
 ROCKWALL, TEXAS 75087

SITE PLAN SIGNATURE BLOCK:

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____

WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

IKEA
 BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL
 E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 &
 JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP &
 CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

DEVELOPER:
 IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

1

CASE NUMBER:



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northwest corner of FM 3549 & I-30

SUBDIVISION Rockwall Commercial LOT 1, 1R, 1 BLOCK A,B,C

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE Vacant

PROPOSED ZONING Planned Development

PROPOSED USE Mixed-Use

ACREAGE 67.475 LOTS [CURRENT] 3 LOTS [PROPOSED] 13 total

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall 549/I-30 PARTNERS LP / CONVEYOR I-30 PARTNERS LP

APPLICANT Winkelmann & Associates, Inc.

CONTACT PERSON JAMES J. MELINO

CONTACT PERSON Will Winkelmann

ADDRESS 8750 N. CENTRAL EXPRESSWAY SUITE 1735

ADDRESS 6750 Hillcrest Plaza Dr. Suite 215

CITY, STATE & ZIP DALLAS, TX 75231

CITY, STATE & ZIP Dallas, TX 75230

PHONE 214-532-3924

PHONE 214-549-7296

E-MAIL jim@CAMBRIDGE COS. COM

E-MAIL will@winkelmann.com

NOTARY VERIFICATION [REQUIRED]

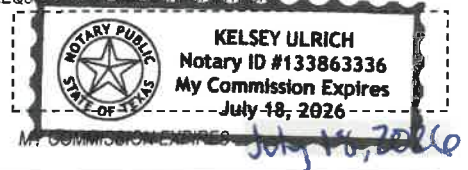
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James J. Melino, Authorized Representative of [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: Rockwall 549/I-30 Partners, L.P. and Conveyor/I-30 Partners, L.P.

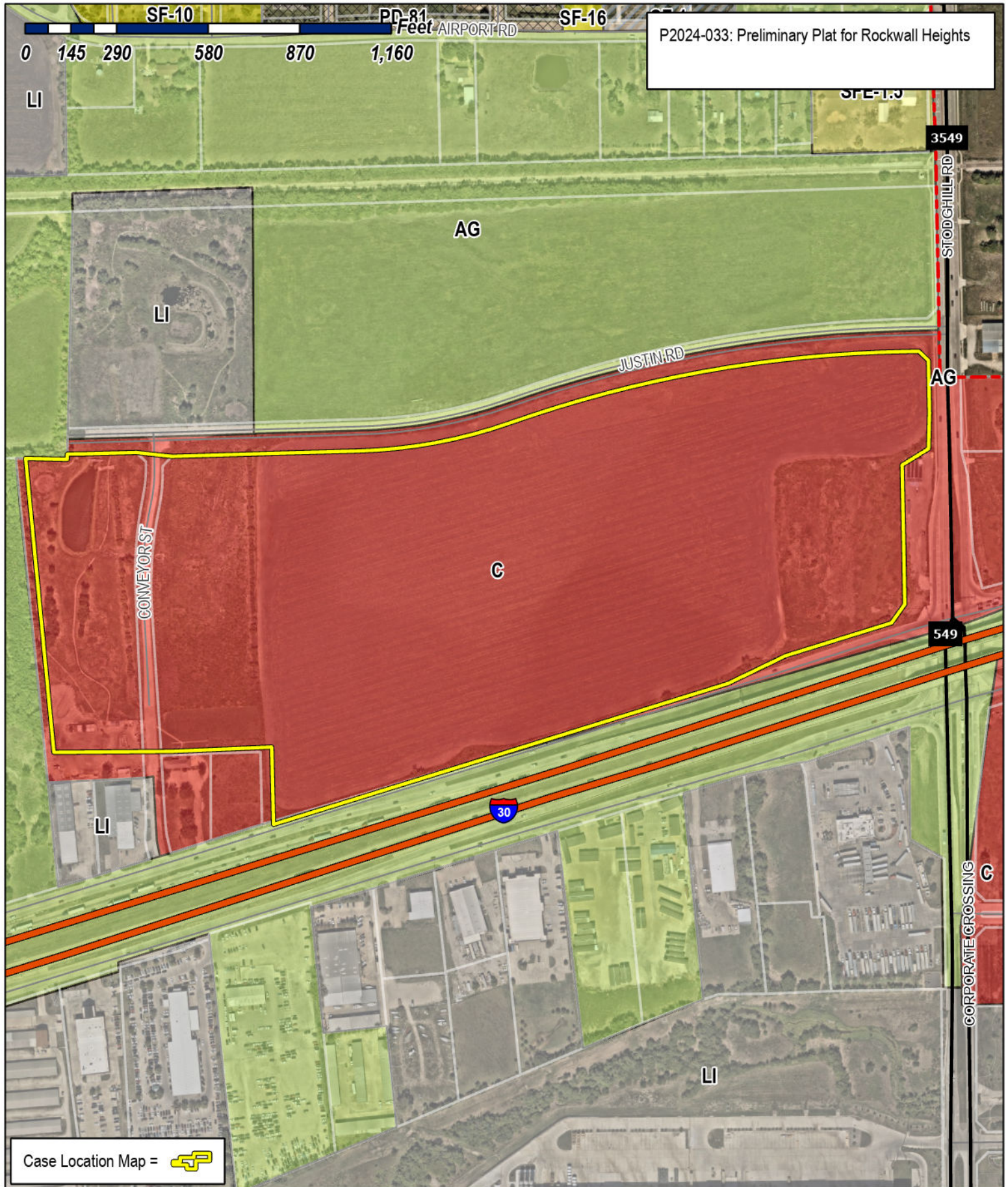
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 4th DAY OF September, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024.


OWNER'S SIGNATURE *James J. Melino*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS *Kelsey Ulrich*





P2024-033: Preliminary Plat for Rockwall Heights

Case Location Map = 



City of Rockwall

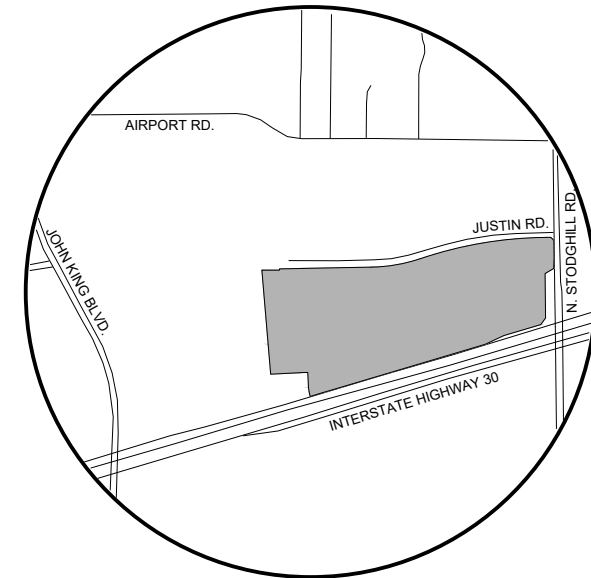
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

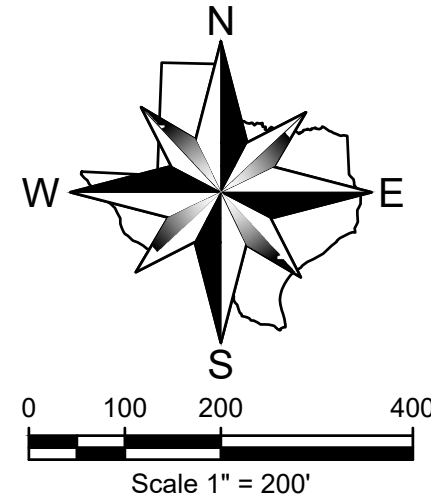


ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line



VICINITY MAP
NOT TO SCALE



GENERAL NOTES:

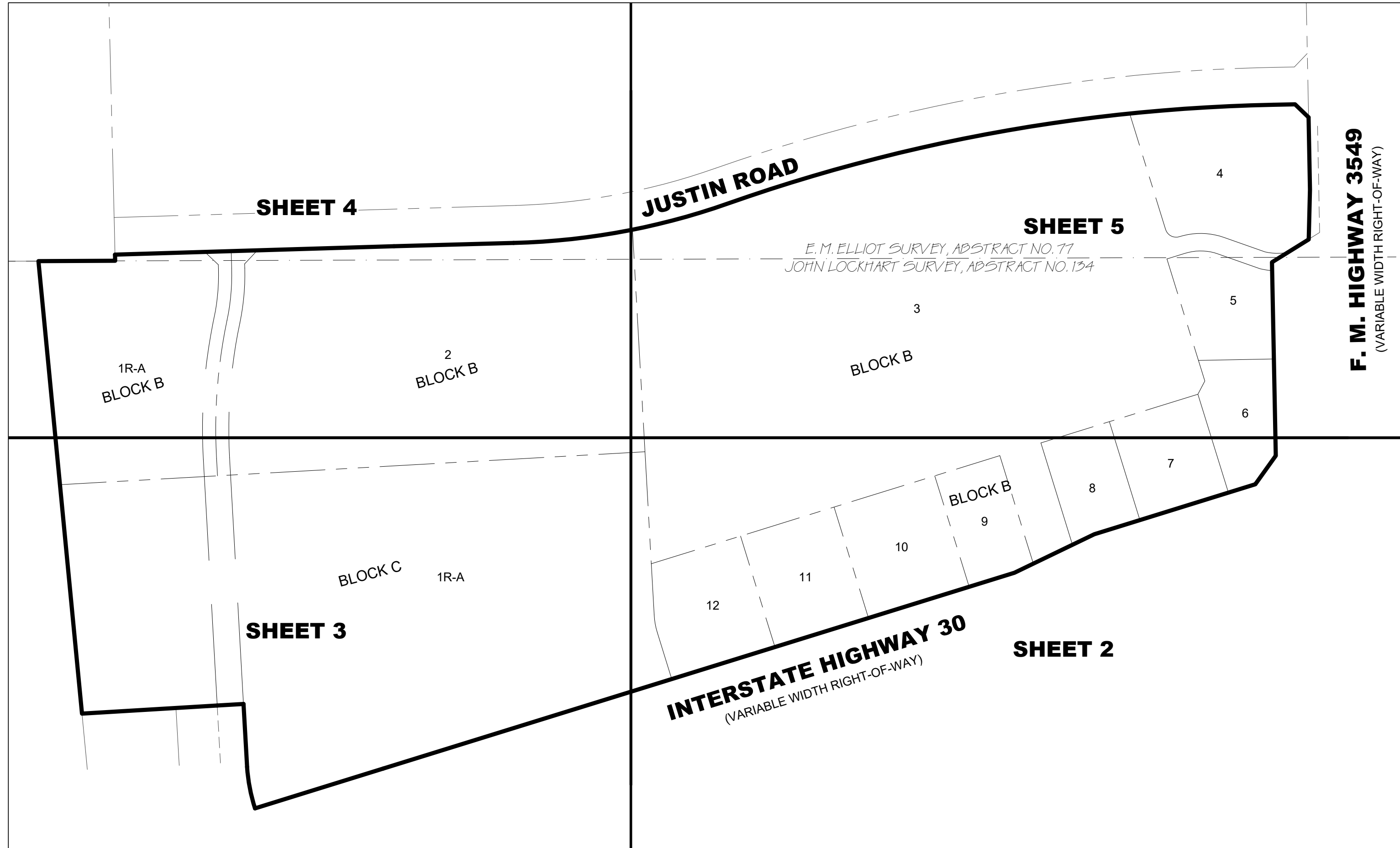
- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

AREA TABLE (Block C)

LOT	BLOCK	SQ. FT.	ACRES
1R-A	C	812,984	18.664

AREA TABLE (Block B)

LOT	BLOCK	SQ. FT.	ACRES
1R-A	B	202,072	4.639
2	B	475,849	10.924
3	B	931,170	21.377
4	B	112,195	2.576
5	B	47,623	1.093
6	B	41,949	0.963
7	B	49,695	1.141
8	B	38,656	0.887
9	B	41,025	0.942
10	B	63,738	1.463
11	B	59,199	1.359
12	B	63,076	1.448



KEY MAP
Scale 1" = 200'

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
Winkelmann & Assoc.
6750 Hillcrest Plaza Drive
Suite 215
Dallas, Texas 75230
(972) 490-7090

OWNERS
Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
8750 N. Central Expressway,
Suite 1735
Dallas, Texas 75231
(214) 532-3924
James (Jim) Melino

DEVELOPER
IKEA PROPERTY INC.
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19228
(512) 492-2536
Jeannie De Fazio

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 2021000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
ROCKWALL, ROCKWALL COUNTY, TEXAS
67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY PROJECT NO. _____

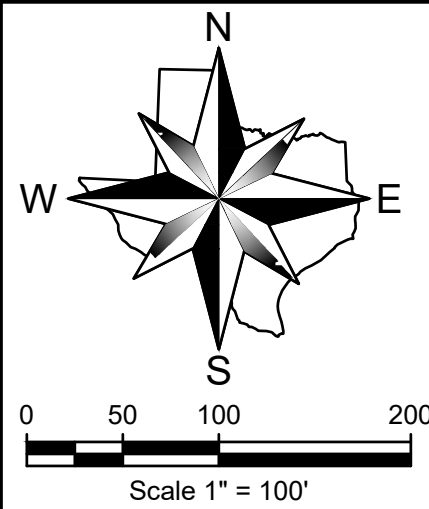
Date : 09.11.24
Scale : 1" = 200'
File : 63406.00-PPLT
Project No : 63406.00

SHEET
1
OF
6

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
67.476 ACRES

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
ROCKWALL COUNTY, TEXAS
IKEA PROPERTY INC.
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19228

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS & SURVEYORS
6750 HILLCREST PLAZA DRIVE, SUITE 215
DALLAS, TEXAS 75230
(972) 490-7090
(972) 490-7099 FAX
Texas Engineers Registration No. 89 09024
Texas Surveyors Registration No. 100000004
COPYRIGHT © 2024, Winkelmann & Associates, Inc.

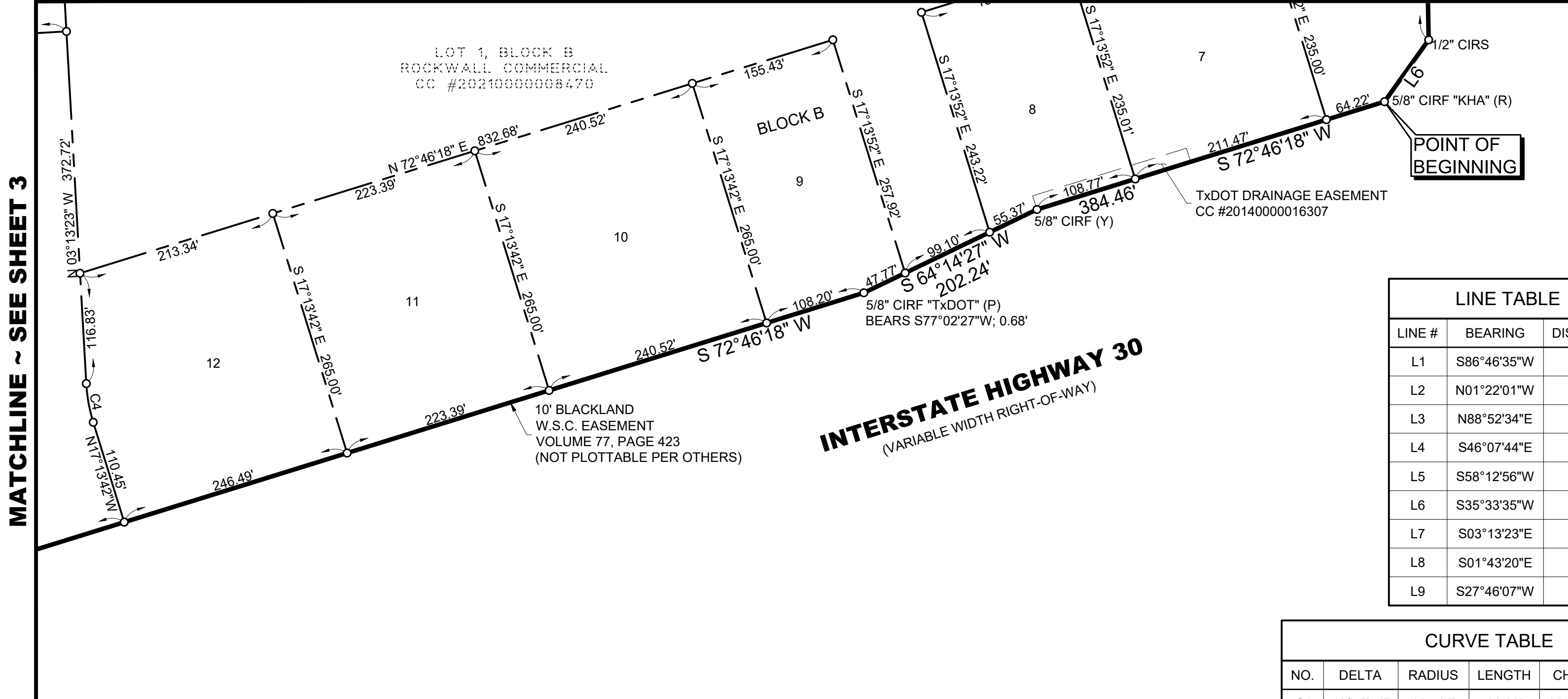


ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line
(R)	Red

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75230
 (972) 490-7090
 (972) 490-7099 FAX
 Texas Engineers Registration No. 89 000024
 Texas Surveyors Registration No. 00000004
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.

MATCHLINE ~ SEE SHEET 5



LINE TABLE

LINE #	BEARING	DISTANCE
L1	S86°46'35"W	60.17'
L2	N01°22'01"W	14.03'
L3	N88°52'34"E	49.83'
L4	S46°07'44"E	42.83'
L5	S58°12'56"W	98.69'
L6	S35°33'35"W	80.25'
L7	S03°13'23"E	39.51'
L8	S01°43'20"E	39.59'
L9	S27°46'07"W	33.94'

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C1	13°52'54"	397.84'	96.39'	96.15'	S10°51'14"E
C2	15°08'20"	1,199.92'	317.05'	316.12'	S04°20'47"W
C3	13°38'17"	500.00'	119.01'	118.73'	N05°05'49"E
C4	14°00'30"	170.00'	41.56'	41.46'	S10°13'37"E
C8	22°56'19"	130.00'	52.05'	51.70'	S88°46'59"E
C9	36°58'01"	160.00'	103.23'	101.45'	N89°05'33"W
C10	90°20'41"	25.00'	39.42'	35.46'	S62°24'13"E
C11	9°17'14"	170.00'	27.56'	27.53'	S81°06'54"E
C12	36°37'20"	120.00'	76.70'	75.40'	N88°55'13"W

MATCHLINE ~ SEE SHEET 3

INTERSTATE HIGHWAY 30
 (VARIABLE WIDTH RIGHT-OF-WAY)

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 ROCKWALL COUNTY, TEXAS
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 67.476 ACRES

Date : 09.11.24
 Scale : 1" = 100'
 File : 63406.00-PPLT
 Project No. : 63406.00

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 2021000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY PROJECT NO. _____

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

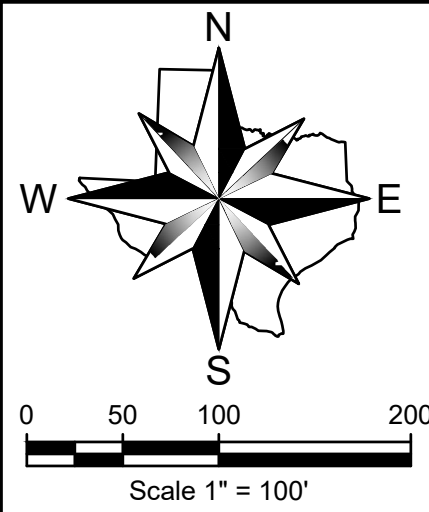
This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
 Winkelmann & Assoc.
 6750 Hillcrest Plaza Drive
 Suite 215
 Dallas, Texas 75230
 (972) 490-7090

OWNERS
 Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
 8750 N. Central Expressway,
 Suite 1735
 Dallas, Texas 75231
 (214) 532-3924
 James (Jim) Melino

DEVELOPER
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228
 (512) 492-2536
 Jeannie De Fazio

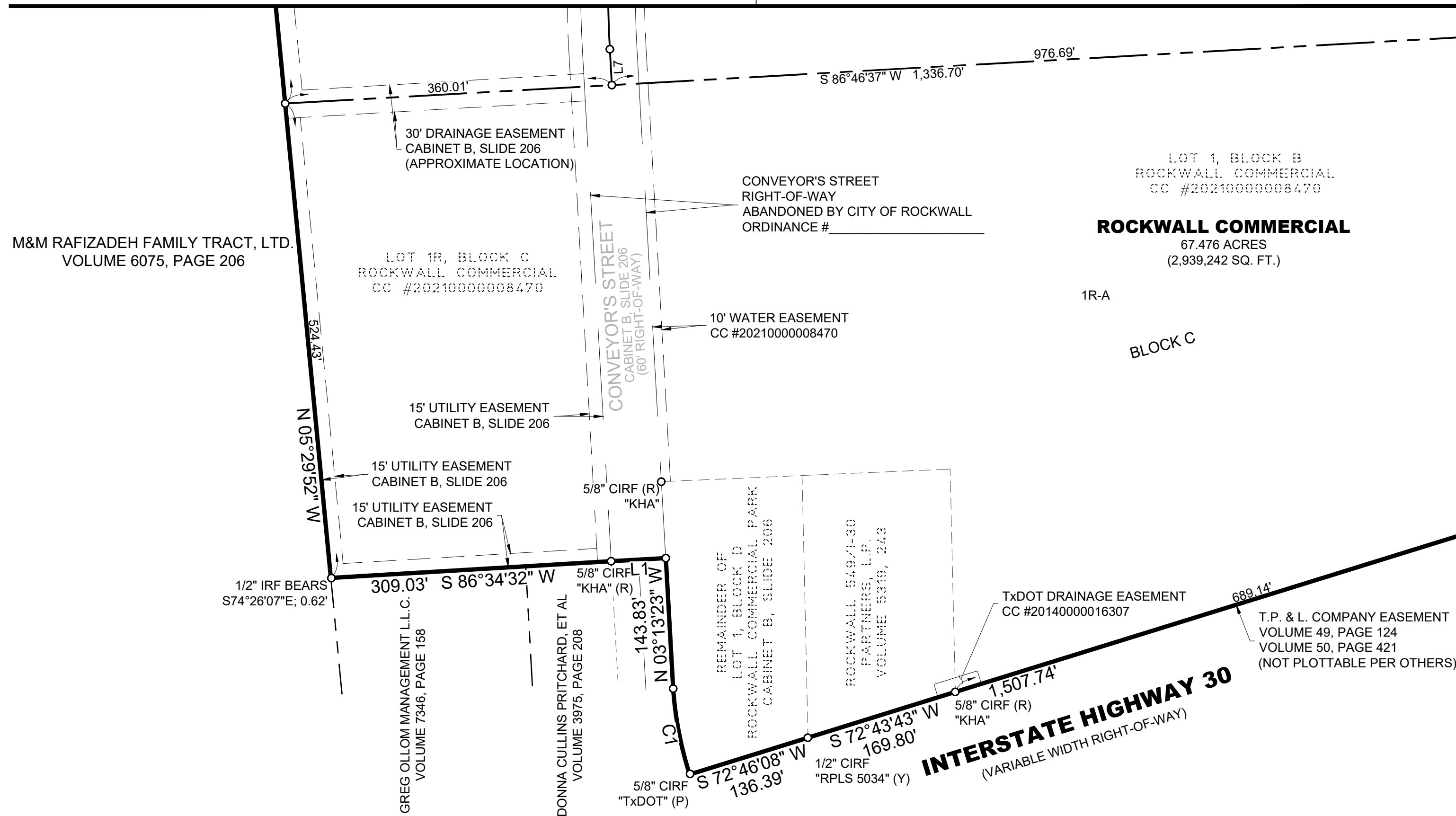
SHEET
2
OF
6



ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line
(R)	Red

MATCHLINE ~ SEE SHEET 4



MATCHLINE ~ SEE SHEET 2

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75230
 (972) 480-7090
 (972) 480-7099 FAX
 Texas Engineers Registration No. 89
 Texas Surveyors Registration No. 10024
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 ROCKWALL COUNTY, TEXAS
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 67.476 ACRES

Date : 09.11.24
 Scale : 1" = 100'
 File : 63406.00-PPLT
 Project No. : 63406.00

SHEET
3
OF
6

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

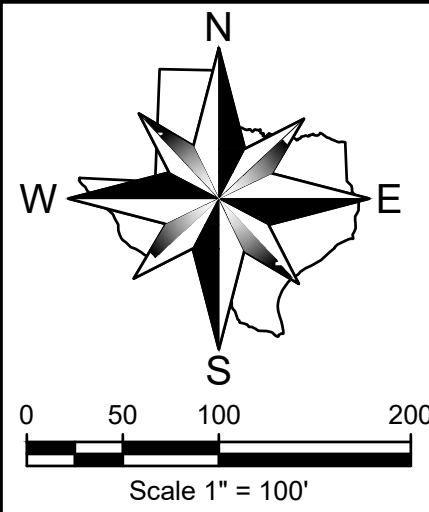
This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
 Winkelmann & Assoc.
 6750 Hillcrest Plaza Drive
 Suite 215
 Dallas, Texas 75230
 (972) 490-7090

OWNERS
 Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
 8750 N. Central Expressway,
 Suite 1735
 Dallas, Texas 75231
 (214) 532-3924
 James (Jim) Melino

DEVELOPER
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228
 (512) 492-2536
 Jeannie De Fazio

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A,
 BLOCK C
 BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 20210000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY PROJECT NO. _____



ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line
(R)	Red

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75230
 (972) 490-7090
 (972) 490-7099 FAX
 Texas Engineers Registration No. 89 000024
 Texas Surveyors Registration No. 100000004
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 ROCKWALL COUNTY, TEXAS
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 67.476 ACRES

Date : 09.11.24
Scale : 1" = 100'
File : 63406.00-PPLT
Project No. : 63406.00

SHEET
4
OF
6

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

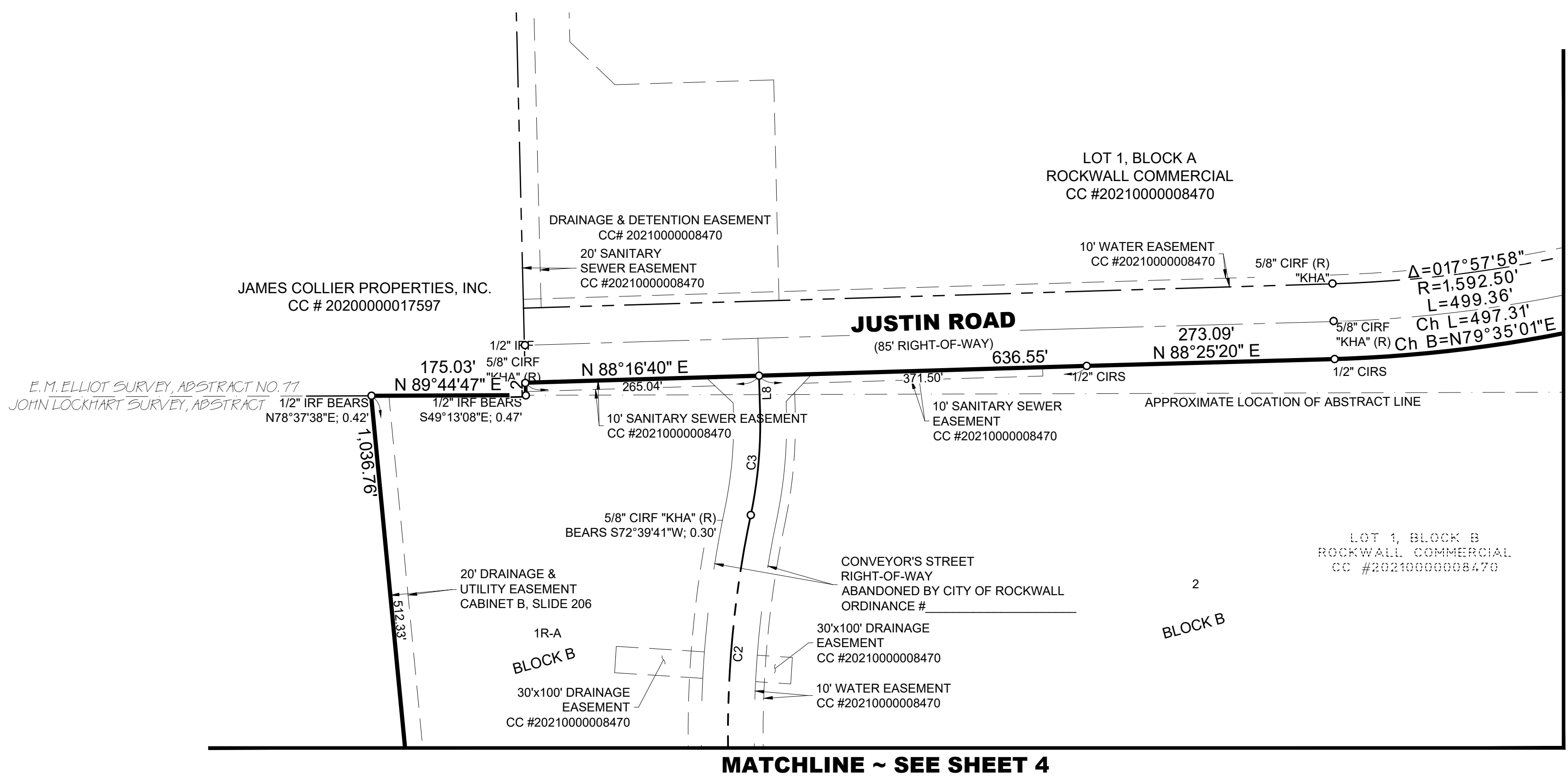
This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
 Winkelmann & Assoc.
 6750 Hillcrest Plaza Drive
 Suite 215
 Dallas, Texas 75230
 (972) 490-7090

OWNERS
 Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
 8750 N. Central Expressway,
 Suite 1735
 Dallas, Texas 75231
 (214) 532-3924
 James (Jim) Melino

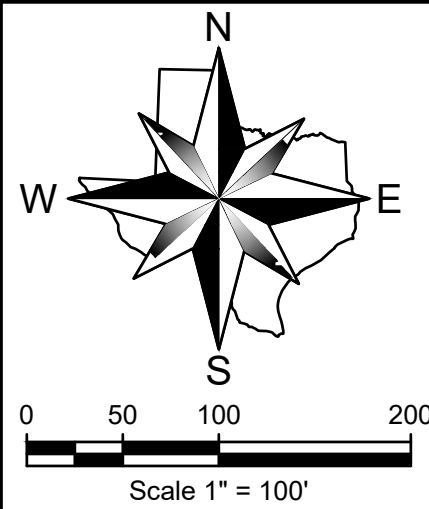
DEVELOPER
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228
 (512) 492-2536
 Jeannie De Fazio

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A,
 BLOCK C
 BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 20210000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY PROJECT NO. _____



MATCHLINE ~ SEE SHEET 5

MATCHLINE ~ SEE SHEET 4



ABBREVIATION LEGEND

ABBR.	DEFINITION
IRF	Iron rod found
CIRF	Iron rod found w/cap
CIRS	1/2" iron rod w/ red plastic cap "W.A.I."
XCS	"X" cut in concrete set
XCF	"X" cut in concrete found
PKS	PK nail set
PKF	PK nail found
CC#	County Clerk's Instrument No.
CM	Controlling Monument
B. L.	Building Line
(R)	Red

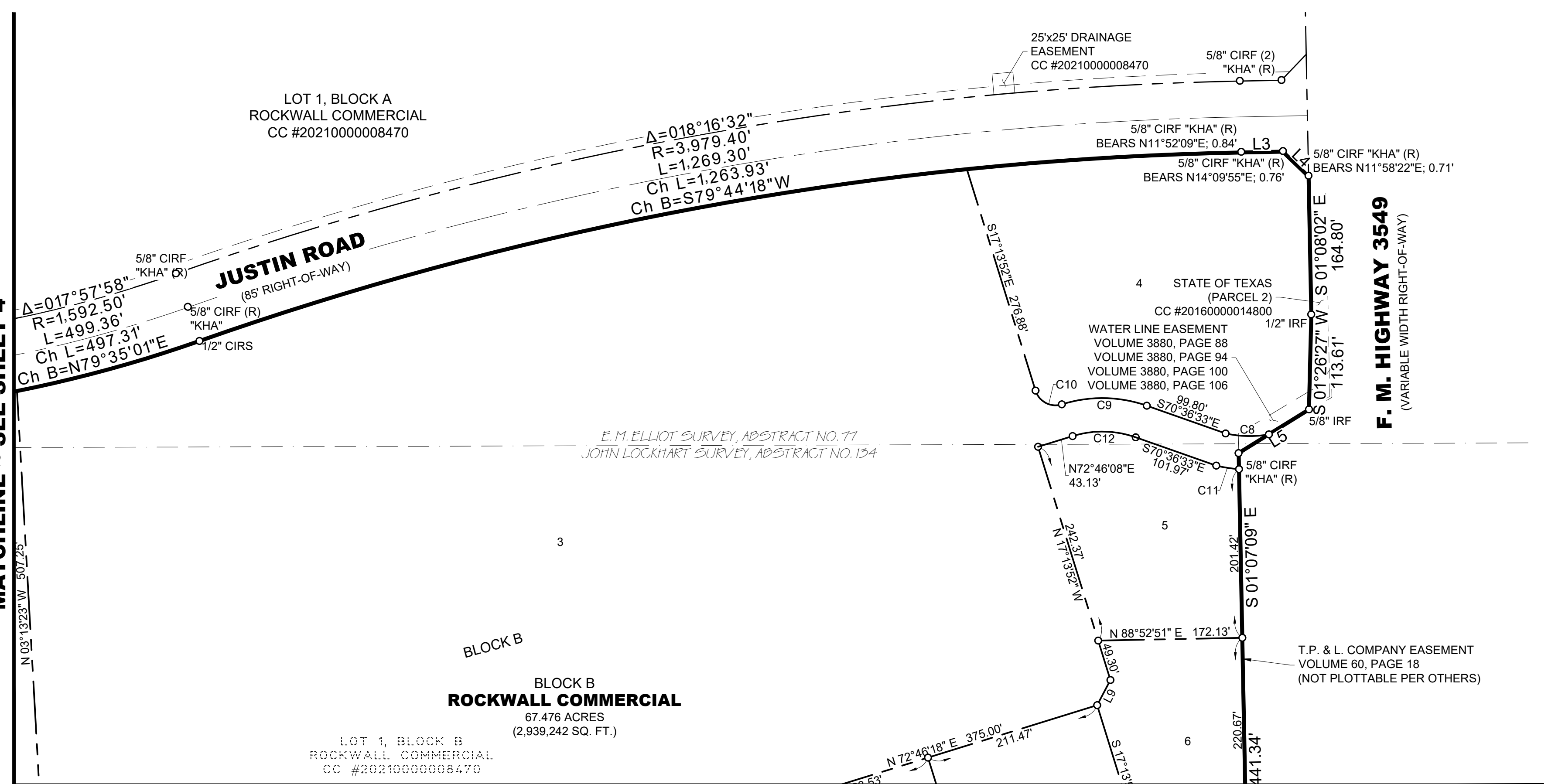
Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75230
 (972) 490-7090
 (972) 490-7099 FAX
 Texas Engineers Registration No. 89
 Texas Surveyors Registration No. 1024
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 ROCKWALL COUNTY, TEXAS
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 67.476 ACRES

Date : 09.11.24
 Scale : 1" = 100'
 File : 63406.00-PPLT
 Project No. : 63406.00

SHEET
5
6
9



According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48397C0045L, dated September 26, 2008, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

ENGINEER/SURVEYOR
 Winkelmann & Assoc.
 6750 Hillcrest Plaza Drive
 Suite 215
 Dallas, Texas 75230
 (972) 490-7090

OWNERS
 Rockwall 549/I-30 partners, LP & Conveyor I-30 Partners, L.P.
 8750 N. Central Expressway,
 Suite 1735
 Dallas, Texas 75231
 (214) 532-3924
 James (Jim) Melino

DEVELOPER
 IKEA PROPERTY INC.
 420 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19228
 (512) 492-2536
 Jeannie De Fazio

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
 LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
 BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 2021000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY PROJECT NO. _____

OWNERS CERTIFICATION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS, We, 8th & Main, LLC, are the sole owner of a tract of land situated in the E. M. ELLIOT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, in the City of Rockwall, Rockwall County, Texas, being all of Lot 1R, Block C, and Lot 1, Block B, Rockwall Commercial Park, as recorded in County Clerk's Instrument No. 2021000008470, and a portion of Lot 1, Block D, Rockwall Commercial Park as recorded in Cabinet B, Slide 206, Plat Records, Rockwall County, Texas, and being all of Conveyor's Street as abandoned by City of Rockwall Ordinance No. _____, and being more particularly described as follows;

BEGINNING at a 5/8-inch iron rod with a red plastic cap stamped "KHA" found for corner at the Southwest end of a corner clip at the intersection of the West right-of-way of F. M. Highway 3549, a variable width right-of-way, with the Northwest right-of-way of Interstate Highway 30, a variable width right-of-way;

THENCE along the Northwest right-of-way of said Interstate Highway 30 and the Southeast lines of said Lot 1, Block B, the following courses and distances;

South 72 degrees 46 minutes 18 seconds West, a distance of 384.46 feet to a 5/8-inch iron rod with a yellow plastic cap found for corner;

South 64 degrees 14 minutes 27 seconds West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with a pink plastic cap stamped TxDOT (Texas Department of Transportation) found which bears South 77 degrees 02 minutes 27 seconds West, 0.68 feet;

South 72 degrees 46 minutes 18 seconds West, a distance of 1,507.74 feet to a 5/8-inch iron rod with a red plastic cap stamped "KHA" found for the Southeast corner of said Lot 1, Block D;

THENCE South 72 degrees 43 minutes 43 seconds West, along the South line of said Lot 1, Block D, a distance of 169.80 feet to a 1/2-inch iron rod with a yellow plastic cap stamped "RPLS 5034" found for corner;

THENCE South 72 degrees 46 minutes 08 seconds West, continuing along the South line of said Lot 1, Block D, a distance of 136.39 feet to a 5/8-inch iron rod with a pink plastic cap stamped TxDOT found for the Southwest corner of said Lot 1, Block D, on the East right-of-way of Conveyor's Street, a 60-foot right-of-way, said iron rod being the beginning of a non-tangent curve to the right having a radius of 397.84, a central angle of 13 degrees 52 minutes 54 seconds, a chord bearing of North 10 degrees 51 minutes 14 seconds West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, an arc distance of 93.39 feet to a 1/2-inch iron rod with a red plastic cap stamped "W.A.I. 5714" set for corner;

THENCE North 03 degrees 13 minutes 23 seconds West, along the East right-of-way of said Conveyor's Street and the West line of said Lot 1, Block D, a distance of 143.83 feet to a 1/2-inch iron rod with a red plastic cap stamped "W.A.I. 5714" set for the Southeast corner of said right-of-way abandonment;

THENCE South 86 degrees 46 minutes 35 seconds West, along the South line of said right-of-way abandonment, a distance of 60.17 feet to a 5/8-inch iron rod with a red plastic cap stamped "KHA" found for the Southwest corner of said right-of-way abandonment and the Southeast corner of said Lot 1R, Block C;

THENCE South 86 degrees 34 minutes 32 seconds West, along the South line of said Lot 1R, Block C, a distance of 309.03 feet to a point for the Southwest corner of said Lot 1R, Block C from which a 1/2-inch iron rod found bears South 74 degrees 26 minutes 07 seconds East, 0.62 feet;

THENCE North 05 degrees 29 minutes 52 seconds West, along the West line of said Lot 1R, Block C, a distance of 1,036.76 feet to a point for the Northwest corner of said Lot 1R, Block C from which a 1/2-inch iron rod found bears North 78 degrees 37 minutes 38 seconds East, 0.42 feet;

THENCE North 89 degrees 44 minutes 47 seconds East, along the North line of said Lot 1R, Block C, a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 degrees 13 minutes 08 seconds East, 0.47 feet;

THENCE North 01 degrees 22 minutes 01 seconds West, along the Northerly West line of said Lot 1R, Block C, a distance of 14.03 feet to a 5/8-inch iron rod with a red plastic cap stamped "KHA" found for the Southwest corner of Justin Road, an 85-foot right-of-way, as dedicated by said plat of Rockwall Commercial;

THENCE along the South right-of-way of said Justin Road, the following courses and distances;

North 88 degrees 16 minutes 40 seconds East, a distance of 636.55 feet to a 1/2-inch iron rod with a red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 degrees 25 minutes 20 seconds East, a distance of 273.09 feet to a 1/2-inch iron rod with a red plastic cap stamped "W.A.I. 5714" set for corner, said point being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 17 degrees 57 minutes 58 seconds, a chord bearing of North 79 degrees 35 minutes 01 seconds East, and a chord length of 497.31 feet;

Along said curve to the left, an arc distance of 499.36 feet to a 1/2-inch iron rod with a red plastic cap stamped "W.A.I. 5714" set for corner, said point being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 degrees 16 minutes 32 seconds, a chord bearing of North 79 degrees 44 minutes 18 seconds East, and a chord length of 1,263.93;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with a red plastic cap stamped "KHA" found for corner bears North 11 degrees 52 minutes 09 seconds East, 0.84 feet;

North 88 degrees 52 minutes 34 seconds East, a distance of 49.83 feet to a point for corner at the Northwest end of a corner clip at the intersection of the South right-of-way of said Justin Road with the West right-of-way of said F. M. 3549 from which a 5/8-inch iron rod with a red plastic cap stamped "KHA" found for corner bears North 14 degrees 09 minutes 55 seconds East, 0.76 feet;

THENCE South 46 degrees 07 minutes 44 seconds East, along said corner clip, a distance of 42.83 feet to a point for corner at the Southeast end of said corner clip from which a 5/8-inch iron rod with a red plastic cap stamped "KHA" found for corner bears North 11 degrees 58 minutes 22 seconds East, 0.71 feet;

THENCE along the West right-of-way of said F. M. 3549, the following courses and distance;

South 01 degrees 08 minutes 02 seconds East, a distance of 164.80 feet to a 1/2-inch iron rod found;

South 01 degrees 26 minutes 27 seconds West, a distance of 113.61 feet found for corner;

South 58 degrees 12 minutes 56 seconds West, a distance of 98.69 feet to a 5/8-inch iron rod with a red plastic cap

stamped "KHA" found for corner;

South 01 degrees 07 minutes 09 seconds East, a distance of 441.34 feet to a 1/2-inch iron rod with a red plastic cap stamped "W.A.I. 5714" set for corner at the Northeast end of a corner clip at the intersection of the West right-of-way of said F. M. Highway 3549 with the Northwest right-of-way of said Interstate Highway 30;

THENCE South 35 degrees 33 minutes 35 seconds West, along said corner clip, a distance of 80.25 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 2,939,242 square feet or 67.476 acres of land, more or less.

Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **ROCKWALL COMMERCIAL** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the ROCKWALL COMMERCIAL subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

PROPERTY OWNER SIGNATURE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

Before me, the undersigned authority, on this day personally appeared [PROPERTY OWNER], known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for the State of Texas

My commission expires

SURVEYOR'S CERTIFICATION

That I, Leonard J. Lueker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Leonard J. Lueker
Registered Professional Land Surveyor
Texas Registration No. 5714
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza Drive, Suite 325
Dallas, Texas 75230
(972) 490-7090

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared Leonard J. Lueker, known to me to be the person whose name is subscribed to the above and foregoing Instrument, and acknowledged to me that they executed the same for the purpose and consideration expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2024.

Notary Public in and for the State of Texas.

APPROVED: I hereby certify that the above and forgoing Subdivision Plat was reviewed by the Planning and Zoning Commission and approved by the City Council of the City of Rockwall, Texas for the preparation of a Final Plat on the _____ day of _____, 2024.

MAYOR OF THE CITY OF ROCKWALL

PLANNING AND ZONING CHAIRMAN

CITY SECRETARY

CITY ENGINEER

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A,
BLOCK C
BEING A REPLAT OF LOT 1R, BLOCK C, AND LOT 1, BLOCK B, ROCKWALL COMMERCIAL, AS RECORDED IN COUNTY CLERK'S INSTRUMENT NO. 2021000008470, AND A PORTION OF LOT 1, BLOCK D, ROCKWALL COMMERCIAL PARK AS RECORDED IN CABINET B, SLIDE 206
ROCKWALL, ROCKWALL COUNTY, TEXAS
67.476 ACRES (2,939,242 SQ. FT.) OUT OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, AND THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY PROJECT NO. _____

Winkelmann & Associates, Inc.



CONSULTING CIVIL ENGINEERS ■ SURVEYORS
6750 HILLCREST PLAZA DRIVE, SUITE 215 75230 DALLAS, TEXAS (972) 490-7090 (972) 490-7099 FAX
Texas Engineers Registration No. 89 00024
Copyright © 2024, Winkelmann & Associates, Inc.

E. M. ELLIOT SURVEY, ABSTRACT NO. 77 AND JOHN LOCKHART SURVEY, ABSTRACT NO. 134
ROCKWALL COUNTY, TEXAS

IKEA PROPERTY INC.
420 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19228

PRELIMINARY PLAT
ROCKWALL COMMERCIAL
LOTS 1R-A, 2-12, BLOCK B AND LOT 1R-A, BLOCK C
67.476 ACRES

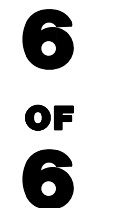
Date : 08.11.24

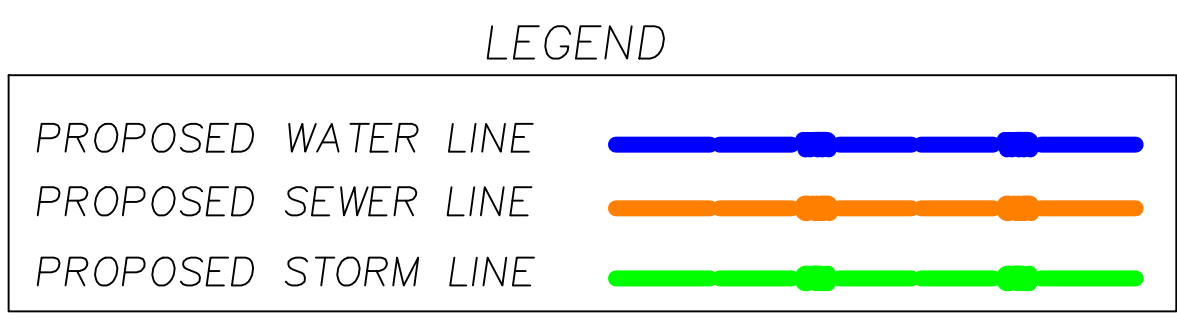
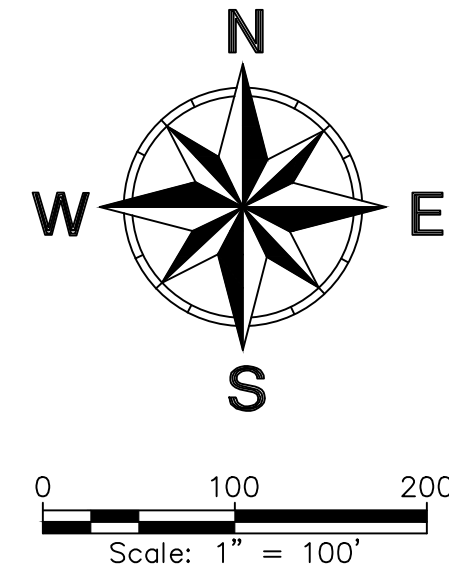
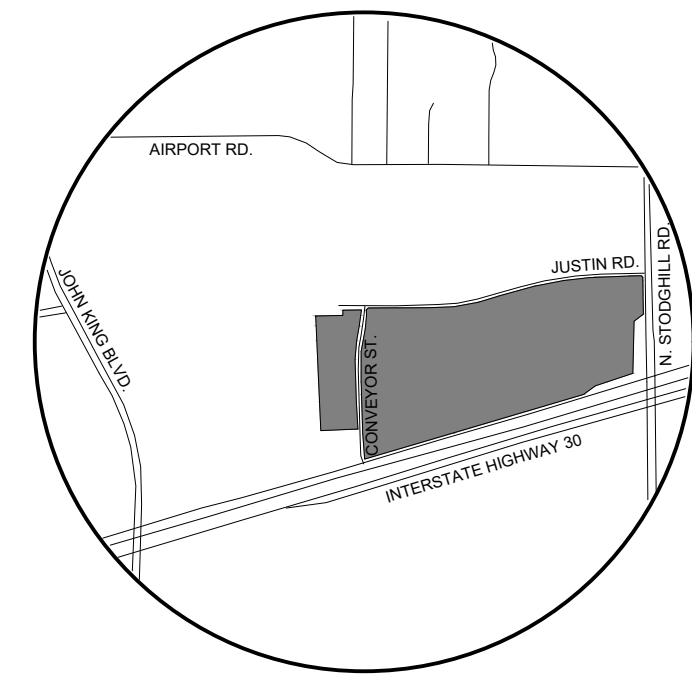
Scale : N/A

File : 63406.00-PPLT

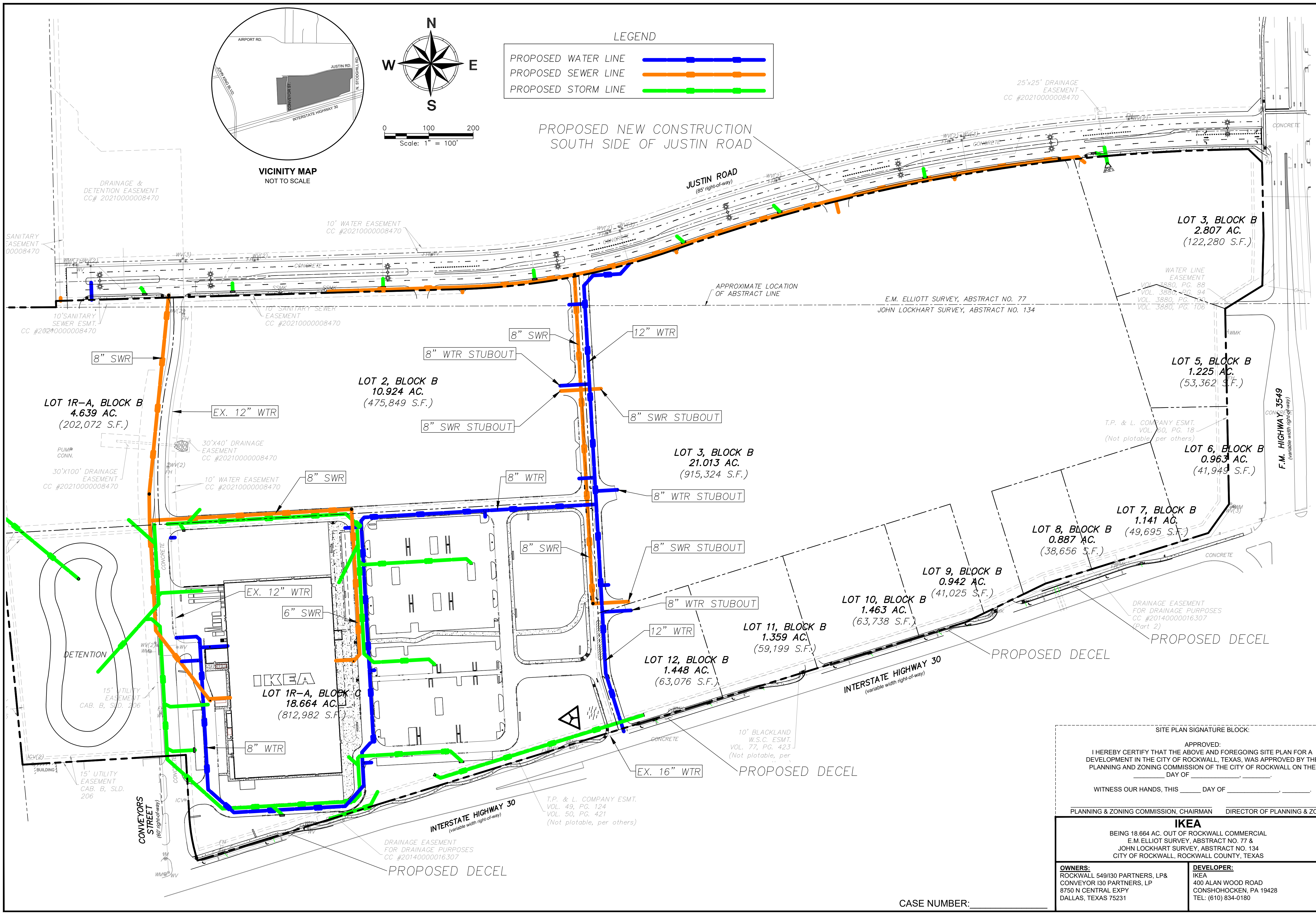
Project No. : 63406.00

SHEET





PROPOSED NEW CONSTRUCTION SOUTH SIDE OF JUSTIN ROAD



SITE PLAN SIGNATURE BLOCK:

APPROVED: _____
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

IKEA
 BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

DEVELOPER:
 IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

CASE NUMBER: _____

<p>CIVIL ENGINEER: Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS & SURVEYORS 6750 HILGREET PLAZA DRIVE, SUITE 215 ROCKWALL, TEXAS 75087 Phone: (972) 460-7090 Fax: (972) 460-7099 Email: info@winkelmann.com State Surveyors Registration No. 107866-00 Contractor Registration No. 100866-00 Construction: Mechanical & Electrical, Inc.</p>	No.	DATE	REVISION	APPROVAL
	6.			
	5.			
	4.			
	3.			
	2.			
1.				
<p>PRELIMINARY UTILITY PLAN NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087</p>				
<p>1</p>				

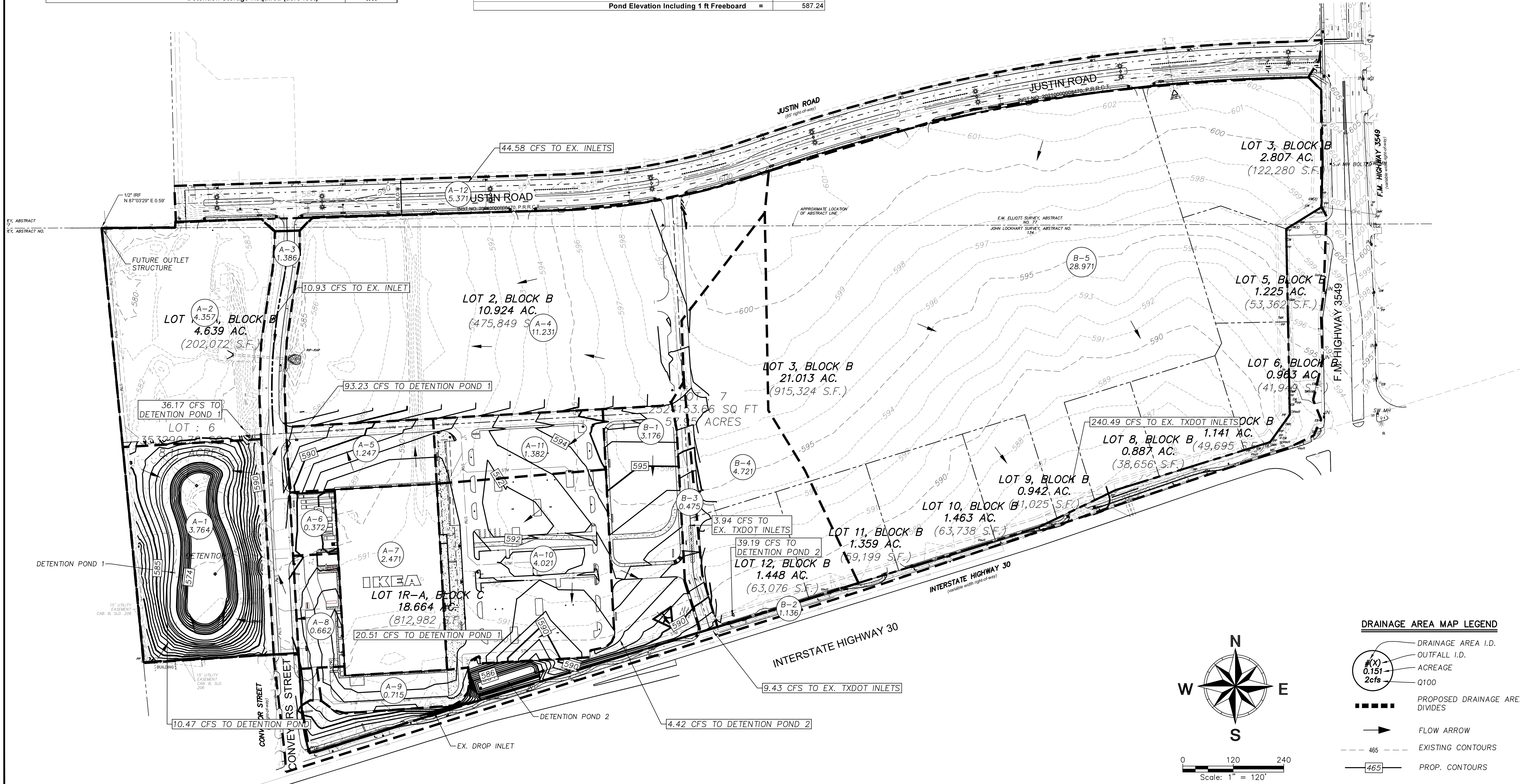
DETENTION POND 1

DETENTION POND CALCULATIONS Table 1				Storm Event	Existing Flow Rate	ISWM Rainfall Data	
MIN	I-100YR	C*	TOTAL AREA (ac)	100 Year	71.15 cfs	e	0.75652
				TOTAL CFS	TOTAL FLOW	b	98.870
				TOTAL CFS	TOTAL FLOW	d	13
5	11.10	0.83	28.83	265.14	79543	21344	58199
10	9.22	0.83	28.83	220.26	132159	42687	89472
15	7.95	0.83	28.83	189.81	170827	53359	117468
20	7.02	0.83	28.83	167.62	201147	64031	137117
30	5.75	0.83	28.83	137.20	246967	85374	161593
40	4.90	0.83	28.83	117.13	281113	106718	174395
50	4.30	0.83	28.83	102.77	308321	128061	180260
60	3.85	0.83	28.83	91.93	330963	149405	181559
120	2.45	0.83	28.83	58.40	420450	277466	142985
180	1.84	0.83	28.83	44.06	475853	405527	70326
360	1.12	0.83	28.83	26.77	578127	789710	-211583
720	0.67	0.83	28.83	16.05	693576	1558076	-864500
1440	0.40	0.83	28.83	9.57	826637	3094808	-2268170
				Detention Storage Required (cubic feet)	=	181,559	
				Detention Storage Required (acre feet)	=	4.17	

DETENTION POND 2

DETENTION POND CALCULATIONS Table 1				Storm Event	Existing Flow Rate	ISWM Rainfall Data	
MIN	I-100YR	C*	TOTAL AREA (ac)	100 Year	23 cfs	e	0.75652
				TOTAL CFS	TOTAL FLOW	b	98.870
				TOTAL CFS	TOTAL FLOW	d	13
5	11.10	0.76	4.81	40.62	12187	6900	5287
10	9.22	0.76	4.81	33.75	20249	13800	6449
15	7.95	0.76	4.81	29.08	26174	17250	8924
20	7.02	0.76	4.81	25.68	30820	20700	10120
30	5.75	0.76	4.81	21.02	37840	27600	10240
40	4.90	0.76	4.81	17.95	43072	34500	8572
50	4.30	0.76	4.81	15.75	47241	41400	5841
60	3.85	0.76	4.81	14.09	50710	48300	2410
120	2.45	0.76	4.81	8.95	64421	89700	-25279
180	1.84	0.76	4.81	6.75	72910	131100	-58190
360	1.12	0.76	4.81	4.10	88580	255300	-166720
720	0.67	0.76	4.81	2.46	106269	503700	-397431
1440	0.40	0.76	4.81	1.47	126657	1000500	-873843
				Detention Storage Required (cubic feet)	=	10,240	
				Detention Storage Required (acre feet)	=	0.24	
				100 Year Water Surface Elevation	=	586.24	
				Pond Elevation Including 1 ft Freeboard	=	587.24	

I.D. NO.	AREA (AC.)	Tc (MIN)	PROPOSED DRAINAGE FLOW CALCULATIONS												COMMENTS
			5-YEAR				25-YEAR				100-YEAR				
			C	Cf	I (IN/HR)	Q (CFS)	C	Cf	I (IN/HR)	Q (CFS)	C	Cf	I (IN/HR)	Q (CFS)	
A-1	3.764	15.0	0.35	1.00	4.97	6.55	0.35	1.00	6.51	8.57	0.35	1.00	7.95	10.47	DETENTION POND 1
A-2	4.357	10.0	0.90	1.00	5.85	22.96	0.90	1.00	7.59	29.74	0.90	1.00	9.22	36.17	INLET A-2
A-3	1.386	10.0	0.90	1.00	5.85	7.30	0.90	1.00	7.59	9.46	0.90	1.00	9.22	11.51	EX. INLET
A-4	11.231	10.0	0.90	1.00	5.85	59.17	0.90	1.00	7.59	76.67	0.90	1.00	9.22	93.23	INLET A-4
A-5	1.247	10.0	0.90	1.00	5.85	6.57	0.90	1.00	7.59	8.51	0.90	1.00	9.22	10.35	INLET A-5
A-6	0.372	10.0	0.90	1.00	5.85	1.96	0.90	1.00	7.59	2.54	0.90	1.00	9.22	3.09	INLET A-6
A-7	2.471	15.0	0.35	1.00	4.97	4.30	0.35	1.00	6.51	5.63	0.35	1.00	7.95	6.87	ROOF DRAINS
A-8	0.662	10.0	0.90	1.00	5.85	3.49	0.90	1.00	7.59	4.52	0.90	1.00	9.22	5.50	INLET A-8
A-9	0.715	10.0	0.90	1.00	5.85	3.77	0.90	1.00	7.59	4.88	0.90	1.00	9.22	5.94	INLET A-9
A-10	4.021	10.0	0.90	1.00	5.85	21.19	0.90	1.00	7.59	27.45	0.90	1.00	9.22	33.38	INLET A-10
A-11	1.382	10.0	0.90	1.00	5.85	7.28	0.90	1.00	7.59	9.43	0.90	1.00	9.22	11.47	INLET A-11
A-12	5.371	10.0	0.90	1.00	5.85	28.30	0.90	1.00	7.59	36.67	0.90	1.00	9.22	44.58	TO EX. INLETS
Total	36.979					172.825			224.077			272.552	CFS		



Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 6720 HILLCREST PLAZA DRIVE, SUITE 215
 ROCKWALL, TEXAS 75087
 Phone: (972) 460-7099
 Fax: (972) 460-7098
 State Surveyors Registration No. 89
 State Professional Engineer Registration No. 100866-00
 Copyright © 2024, Winkelmann & Associates, Inc.

PROPOSED DRAINAGE AREA MAP
 I-30 FRONTAGE RD & FM 3549
 ROCKWALL, TX

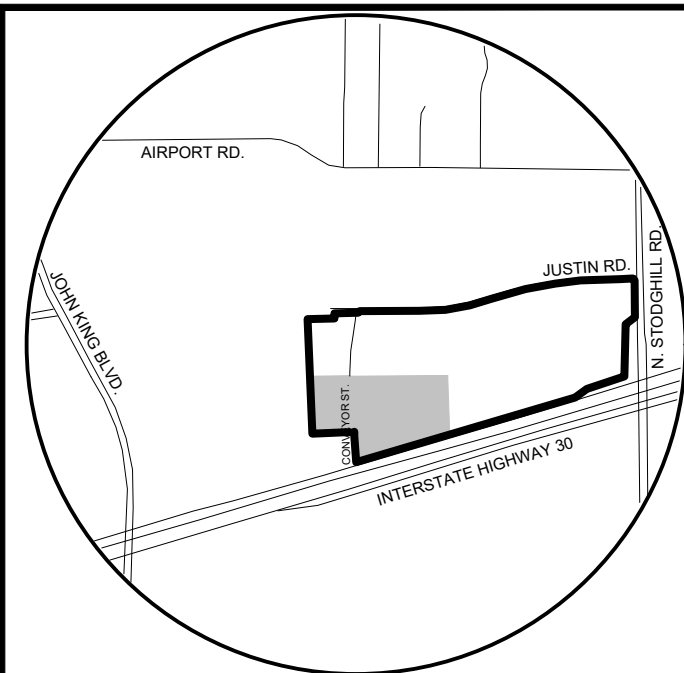
C-06.01

10-08-2024

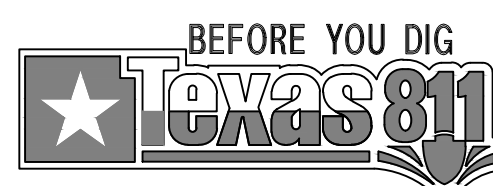
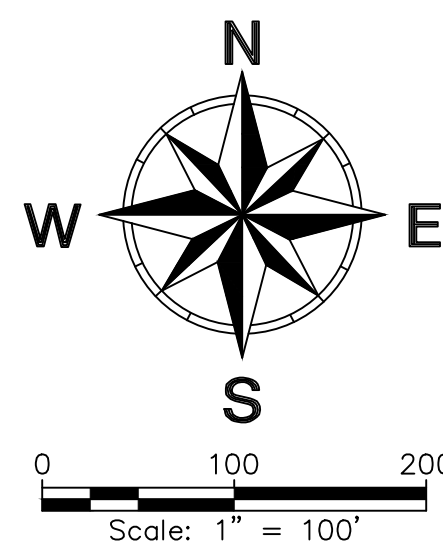
6.4406

© 2024 W&A ENGINEERING/Construction Plans\63406-DAM.dwg

LAST SAVED BY: CDUG054, October 2, 2024

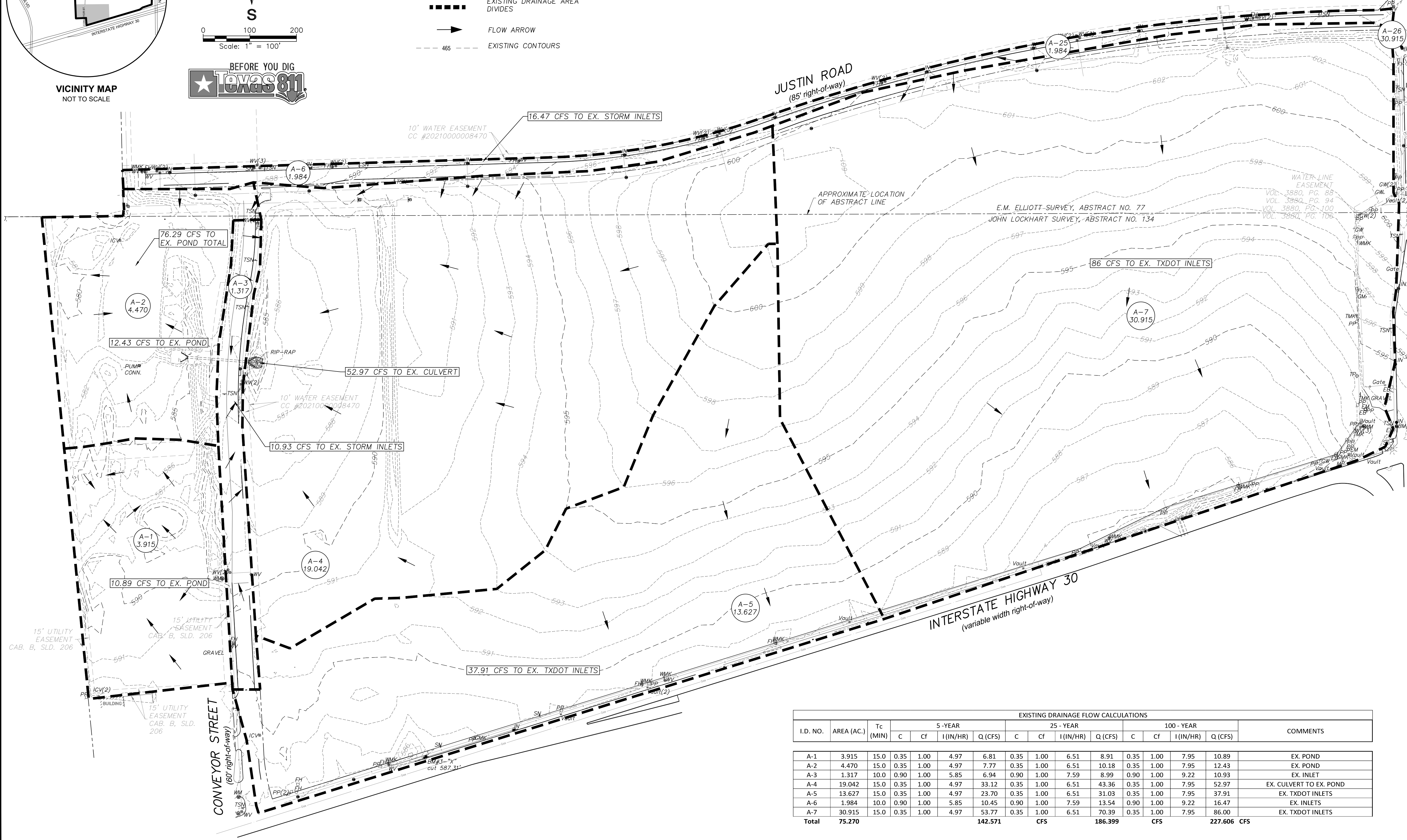


VICINITY MAP
NOT TO SCALE



DRAINAGE AREA MAP LEGEND

- #(X)
0.151
2cfs DRAINAGE AREA I.D.
- OUTFALL I.D.
- ACREAGE
- Q100
- EXISTING DRAINAGE AREA DIVIDES
- FLOW ARROW
- - - 465 EXISTING CONTOURS



I.D. NO.	AREA (AC.)	Tc (MIN)	EXISTING DRAINAGE FLOW CALCULATIONS												COMMENTS
			5- YEAR				25- YEAR				100- YEAR				
			C	Cf	I (IN/HR)	Q (CFS)	C	Cf	I (IN/HR)	Q (CFS)	C	Cf	I (IN/HR)	Q (CFS)	
A-1	3.915	15.0	0.35	1.00	4.97	6.81	0.35	1.00	6.51	8.91	0.35	1.00	7.95	10.89	EX. POND
A-2	4.470	15.0	0.35	1.00	4.97	7.77	0.35	1.00	6.51	10.18	0.35	1.00	7.95	12.43	EX. POND
A-3	1.317	10.0	0.90	1.00	5.85	6.94	0.90	1.00	7.59	8.99	0.90	1.00	9.22	10.93	EX. INLET
A-4	19.042	15.0	0.35	1.00	4.97	33.12	0.35	1.00	6.51	43.36	0.35	1.00	7.95	52.97	EX. CULVERT TO EX. POND
A-5	13.627	15.0	0.35	1.00	4.97	23.70	0.35	1.00	6.51	31.03	0.35	1.00	7.95	37.91	EX. TXDOT INLETS
A-6	1.984	10.0	0.90	1.00	5.85	10.45	0.90	1.00	7.59	13.54	0.90	1.00	9.22	16.47	EX. INLETS
A-7	30.915	15.0	0.35	1.00	4.97	53.77	0.35	1.00	6.51	70.39	0.35	1.00	7.95	86.00	EX. TXDOT INLETS
Total	75.270					142.571			CFS	186.399			CFS	227.606	CFS

No.	DATE	REVISION	APPROV.
1.			
2.			
3.			
4.			
5.			
6.			

10-08-2024

EXISTING DRAINAGE AREA MAP
I-30 FRONTAGE RD & FM 3549
ROCKWALL, TX

C-06.00

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS & SURVEYORS
6750 HILGREET PLAZA DRIVE, SUITE 215
ROCKWALL, TEXAS 75087
Phone: (972) 460-7099
Fax: (972) 460-7098
Texas Professional Registration No. 89
Surveyors Registration No. 100866-00
Contract # 2424, Measurement & Associates, Inc.



General Site Data	Subdistrict A	Subdistrict C	Subdistrict D
Zoning (from zoning map)	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]	FOR BOTH SUBDISTRICTS C & D, THE BASE ZONING IS PROPOSED AS A COMMERCIAL (C) DISTRICT	FOR BOTH SUBDISTRICTS C & D, THE BASE ZONING IS PROPOSED AS A COMMERCIAL (C) DISTRICT
Land Use (from Zoning Ordinance; include all applicable uses)	LARGE FORMAT RETAIL; WAREHOUSE/DISTRIBUTION	MULTIFAMILY (WRAP)	MULTIFAMILY (TUCK UNDER)
Lot Area (square feet & acres) *Confirmed by Civil	812,982 SF 18.7 AC	202,068 SF 4.64 AC	475,847 SF 10.92 AC
Building Footprint Area (square feet)	161,069 SF	101,415 SF	126,775 SF
Total Building Area (square feet)	161,069 GSF	282,000 GSF	297,150 GSF
Building Height (# stories)	3 STORIES	5 STORIES	3 STORIES
Building Height (feet – distance to tallest building element)	43'-6"	65'	45'
Lot Coverage (percent – x.xx%)	19.81%	50.19%	26.64%
Floor Area Ratio (ratio x.xx:1)	1:1	1.4:1	0.62:1
Residential Density (Units/Acreage)	0 UNITS/ACRE	54 UNITS/ACRE	23 UNITS/ACRE
Multifamily Units			
Total Unit Count	0	250	235
Unit Types	0	250 APARTMENTS	120 APARTMENTS, 115 TOWNHOMES
Residential Density (Units/Net Acreage) Net Acreage = Total acreage minus streets and open space	0	55 UNITS/ACRE	23 UNITS/ACRE
Parking			
Parking Ratio (Proposed)	1 SPACE / 250 SF	1.5 SPACES / UNIT	1.5 SPACES / UNIT
Required Parking (# spaces)	645 SPACES	375 SPACES	375 SPACES
Provided Parking (# spaces)	650 SPACES	386 SPACES: 379 GARAGE SPACES, 8 PARALLEL	435 SPACES: 203 SURFACE, 40 TUCK-UNDER STALLS, 172 TOWNHOME GARAGE STALLS, 20 PARELLEL
Accessible Parking Required (# spaces)	13 SPACES	8 SPACES	9 SPACES
Accessible Parking Provided (# spaces)	13 SPACES	8 SPACES	9 SPACES
Open Space			
Open Space Required (13.5%)	109,752.5 SF	27,279.6 SF	64,239.3 SF
Open Space Provided	315,665.92 SF	60,036.14 SF	111,150.18 SF



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 29, 2024
APPLICANT: Keaton Mai; *Dimension Group*
CASE NUMBER: P2024-035; *Replat for Lots 19-21, Block A, Creekside Commons Addition*

SUMMARY

Consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Replat for Lots 19-21, Block A, Creekside Commons being a 13.286-acre tract of land identified as Lots 15-18, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Replat of a 13.286-acre tract of land (*i.e. Lots 15-18, Block A, Creekside Commons Addition*) for the purpose of adjusting the existing property lines and required easements in order to facilitate the future development of the subject property (*i.e. Lots 19-21, Block A, Creekside Commons Addition*).
- Background. The subject property was annexed on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. On March 4, 2013, the City Council approved a zoning case [*Case No. Z2013-002*] that rezoned the subject property from an Agricultural (AG) District to a Commercial (C) District. A preliminary plat [*Case No. P2021-027*] was approved by the City Council on June 7, 2021. This preliminary plat was amended by the City Council through *Case No. P2022-030* on July 5, 2022. On November 7, 2022, the City Council approved a final plat [*Case No. P2022-052*] that established the subject property as Lots 2-6, Block A, Creekside Commons Addition. On January 9, 2024, the Planning and Zoning Commission approved a site plan [*Case No. SP2023-048*] to allow the construction of a *Restaurant Greater than 2,000 SF, with a Drive Through or Drive-In (i.e. McDonald's)* on a portion of the subject property. On February 5, 2024, the City Council approved a replat [*Case No. P2024-004*] that establish the subject property as Lots 14-18, Block A, Creekside Commons Addition. On June 25, 2024, the Planning and Zoning Commission approved a site plan [*Case No. SP2024-025*] to allow the construction of a *Restaurant Greater than 2,000 SF, with a Drive Through or Drive-In (i.e. HTeaO)* on a portion of the subject property.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 19-21, Block A, Creekside Commons Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Replat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/25/2024

PROJECT NUMBER: P2024-035
PROJECT NAME: Replat for Lots 19-21, Block A, Creekside Common Addition
SITE ADDRESS/LOCATIONS: NWC of Hwy 205 and Future FM 549
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	10/25/2024	Needs Review

10/25/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 19-21, Block A, Creekside Commons being a 13.286-acre tract of land identified as Lots 15-18, Block A, Creekside Commons, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, and generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2024-035) in the lower right-hand corner of all pages on future submittals.

M.4 Please have both ties to the State Plane Coordinates be located on the boundary line of the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.5 Please include all of the General Notes listed in Section 38-7(1)(A)(1)(b) of the Subdivision Ordinance. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.7 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

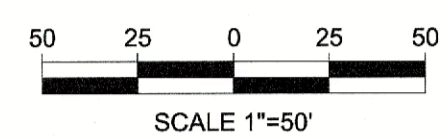
Planning and Zoning Meeting: October 29, 2024

City Council Meeting: November 4, 2024

I.8 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's

comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved w/ Comments
10/23/2024: 1. Double check this line. 2. Shift match line so that line is not at a page break.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved
No Comments			



EASEMENT CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C3	39.04'	50.00'	44°44'04"	S23°29'53"E 38.05'
C4	39.25'	25.01'	89°55'02"	S00°54'33"E 35.34'
C5	39.29'	25.00'	90°01'47"	S89°05'24"W 35.37'
C6	37.93'	25.00'	86°55'43"	N00°36'36"E 34.40'
C7	38.96'	25.00'	89°17'17"	N89°25'51"E 35.14'
C8	20.30'	26.00'	44°44'04"	S23°29'53"E 19.79'

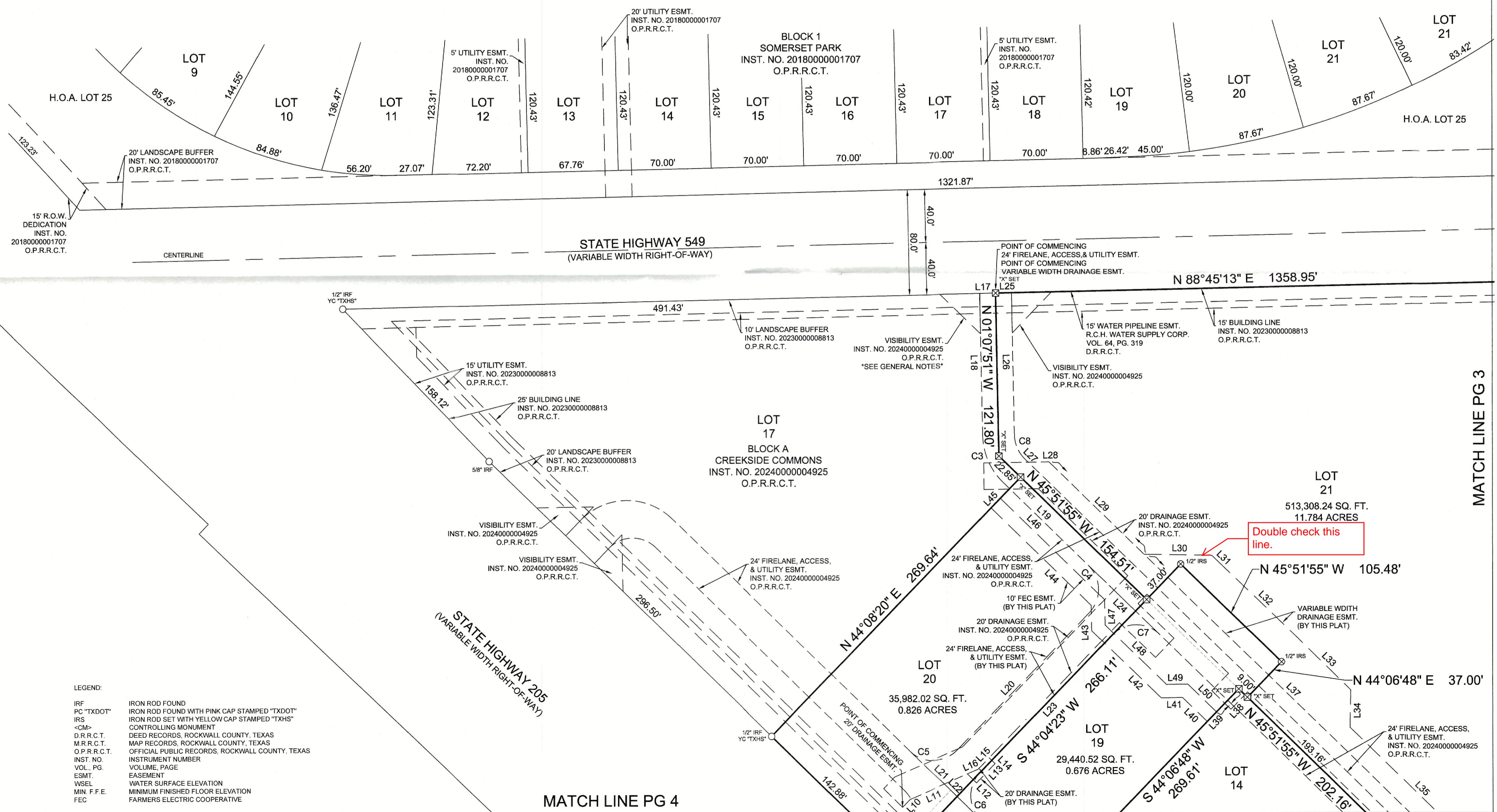
EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L10	8.11'	N44°11'04"E
L11	55.65'	N66°42'33"E
L12	9.60'	S45°45'48"E
L13	20.00'	N44°04'20"E
L14	6.23'	N45°45'48"W
L15	11.94'	S44°08'05"W
L16	8.72'	S66°42'33"W
L17	24.00'	S88°45'13"W
L18	106.13'	S01°07'51"E

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L19	89.90'	S45°51'55"E
L20	143.09'	S44°04'23"W
L21	42.36'	S45°48'56"E
L22	30.32'	S45°52'21"E
L23	143.47'	N44°04'23"E
L24	73.98'	N45°51'55"W
L25	12.00'	N88°45'13"E
L26	106.18'	S01°07'51"E
L27	3.40'	S45°51'55"E

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L28	15.56'	N89°08'05"E
L29	99.48'	S45°51'55"E
L30	51.13'	S89°03'57"E
L31	12.31'	S45°51'55"E
L32	75.67'	S46°09'27"E
L33	57.21'	S45°28'43"E
L34	28.18'	S00°56'03"W
L35	106.26'	S45°53'11"E
L36	20.50'	S89°08'05"W

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L37	293.51'	N45°51'55"W
L38	24.05'	S44°06'48"W
L39	10.00'	S44°06'48"W
L40	25.88'	N45°51'55"W
L41	16.11'	S89°08'05"W
L42	72.47'	N45°51'55"W
L43	18.97'	N00°51'55"W
L44	104.98'	N45°51'55"W
L45	10.00'	N44°08'20"E

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L46	109.12'	S45°51'55"E
L47	18.97'	S00°51'55"E
L48	64.18'	S45°51'55"E
L49	16.11'	N89°08'05"E
L50	30.01'	S45°51'55"E



LEGEND:

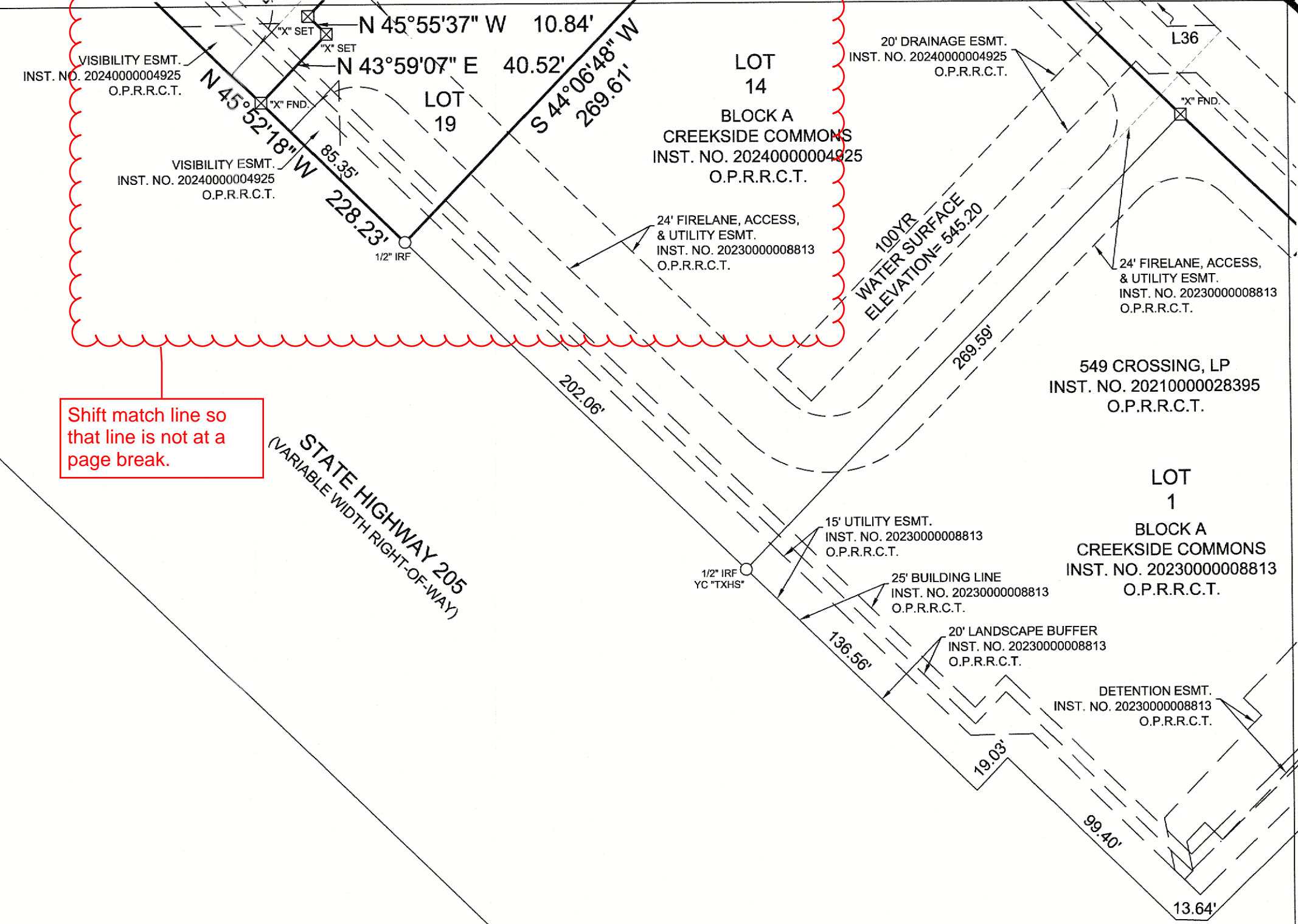
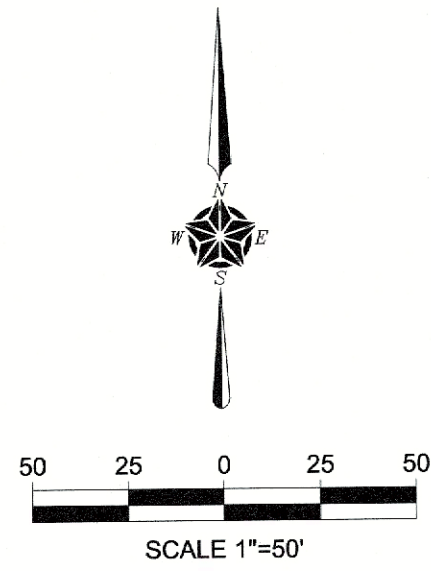
- IRF IRON ROD FOUND
- PC "TXDOT" IRON ROD FOUND WITH PINK CAP STAMPED "TXDOT"
- IRS IRON ROD SET WITH YELLOW CAP STAMPED "TXHS"
- CM- CONTROLLING MONUMENT
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
- M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- INST. NO. INSTRUMENT NUMBER
- VOL., PG. VOLUME, PAGE
- ESMT. EASEMENT
- WSEL WATER SURFACE ELEVATION
- MIN. F.F.E. MINIMUM FINISHED FLOOR ELEVATION
- FEC FARMERS ELECTRIC COOPERATIVE

MATCH LINE PG 4

MATCH LINE PG 3

Double check this line.

MATCH LINE PG 2



MATCH LINE PG 5

GENERAL NOTES:

- 1) Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- 2) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- 3) Property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- 4) All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- 5) Bearings are based upon the Texas State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011).
- 6) The purpose of this replat is to create easements and change lot boundary lines.
- 7) Benchmarks:
 - COR-8: Aluminum disk stamped "City of Rockwall Survey Monument" at the northerly intersection of Silver View Lane and Diamond Way Drive ± 1 foot north of curb line in center of curve.
N= 7,018,063.113; E= 2,609533.682; Elevation= 600.48'
 - COR-9: Brass disk stamped "City of Rockwall Survey Monument" on the south side of Discovery Boulevard at the southeaster corner of curb inlet ± 180 feet east intersection of Discovery/Corporate.
N= 7,020,550.132; E= 2,607,463.893; Elevation= 595.63'
- 8) Zoning: Commercial (C) District
- 9) Base Flood Elevation information per FEMA GIS, FIRM Panel #48397C0045L.
- 10) All Visibility Easements are 30'x30' unless otherwise noted.
- 11) WSEL information based upon Floodplain / Detention Study NDMCE No. 23-014 by Nathan D. Maier Consulting Engineers, Inc. completed December of 2023.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹ (\$565.72)
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NWC of Hwy 205 and Future FM 549

SUBDIVISION Creekside Commons

LOT 15,16 & 18 BLOCK A

GENERAL LOCATION NWC of Hwy 205 and Future FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE

Undeveloped

PROPOSED ZONING Commercial (C)

PROPOSED USE

Restaurant w/ drive-through

ACREAGE 13.286

LOTS [CURRENT] 15,16 & 18

LOTS [PROPOSED] 19,20 & 21

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Creekside Commons Crossing LP

APPLICANT The Dimension Group

CONTACT PERSON Michael Hampton

CONTACT PERSON Keaton Mai

ADDRESS 10755 Sandhill Rd

ADDRESS 10755 Sandhill Rd

CITY, STATE & ZIP Dallas, TX 75238

CITY, STATE & ZIP Dallas, TX 75238

PHONE 214-271-4630

PHONE 214-600-1152

E-MAIL mhampton@prudentdevelopment.com

E-MAIL kmai@dimensiongroup.com

NOTARY VERIFICATION [REQUIRED]

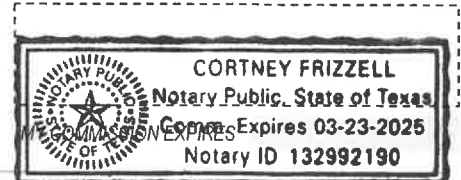
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

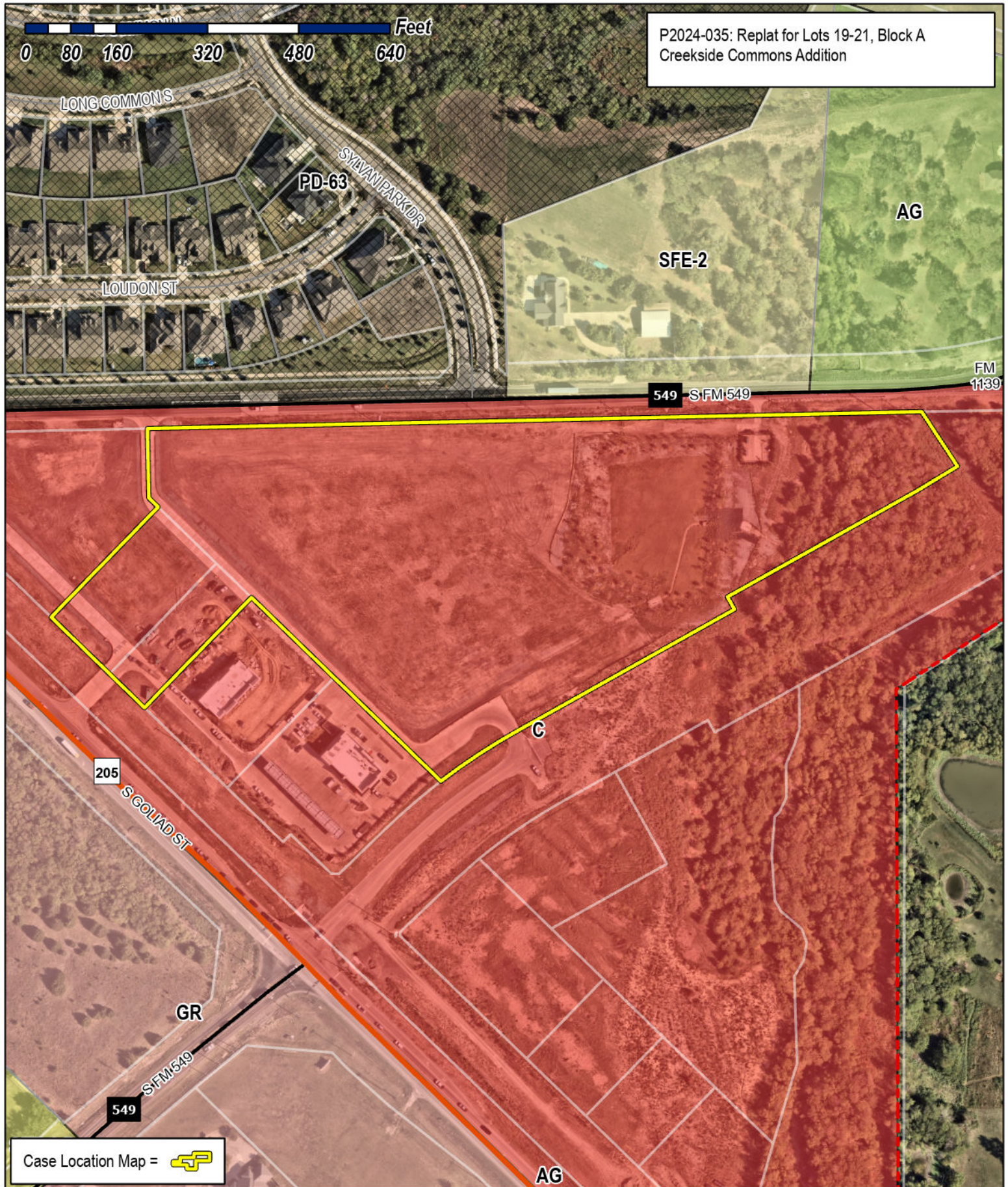
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 565.72 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF October, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF October, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





P2024-035: Replat for Lots 19-21, Block A Creekside Commons Addition

0 80 160 320 480 640 Feet

LONG COMMONS

PD-63

SYLVAN PARK DR

LOUDON ST

SFE-2

AG

549 S-FM549

FM 1139

205

S GOLIAD ST

C

GR

S-FM549

549

AG

Case Location Map =

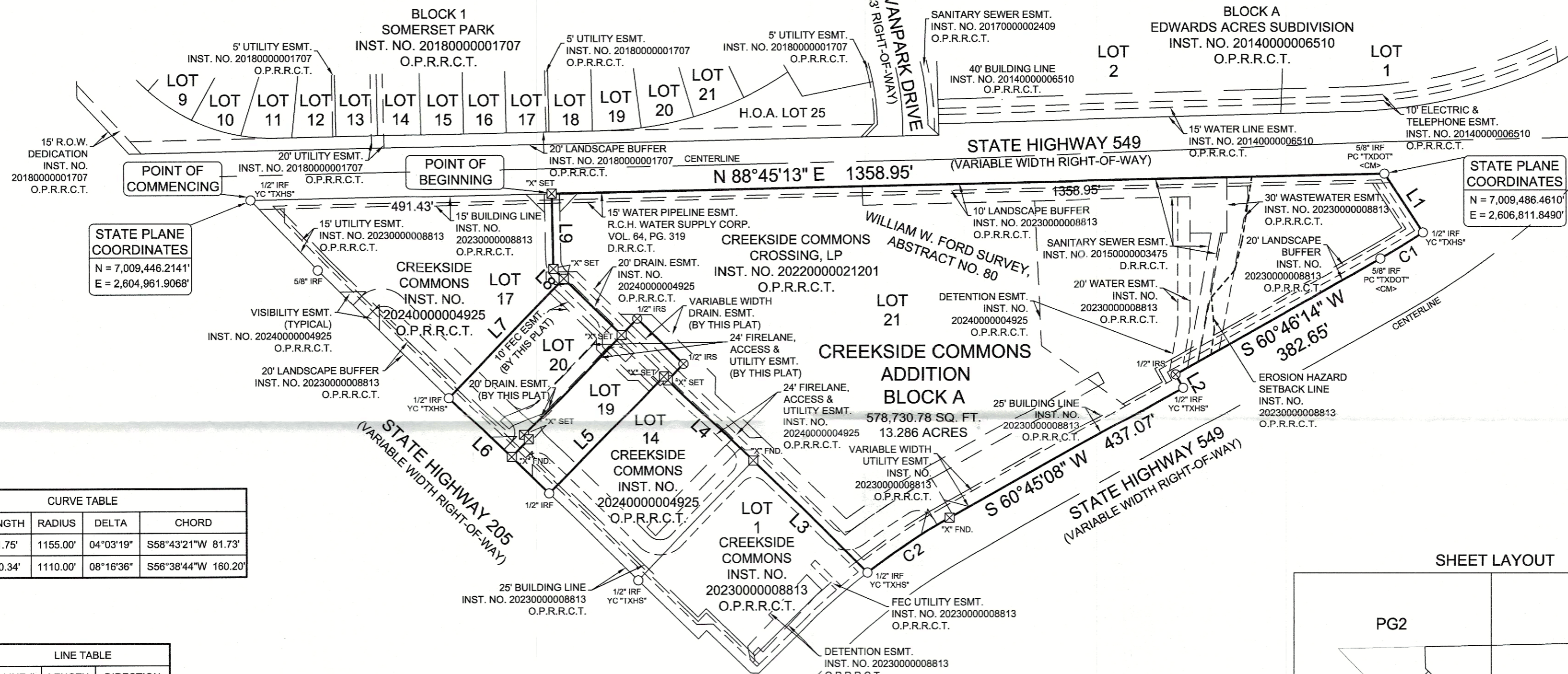
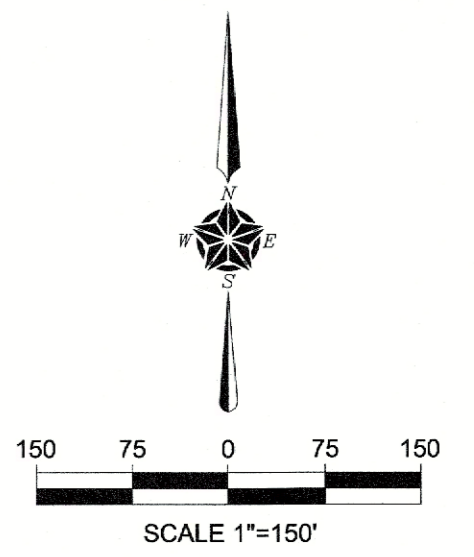
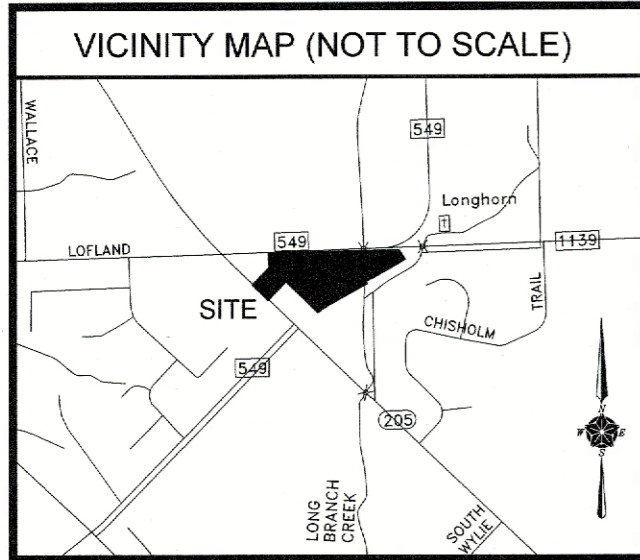


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



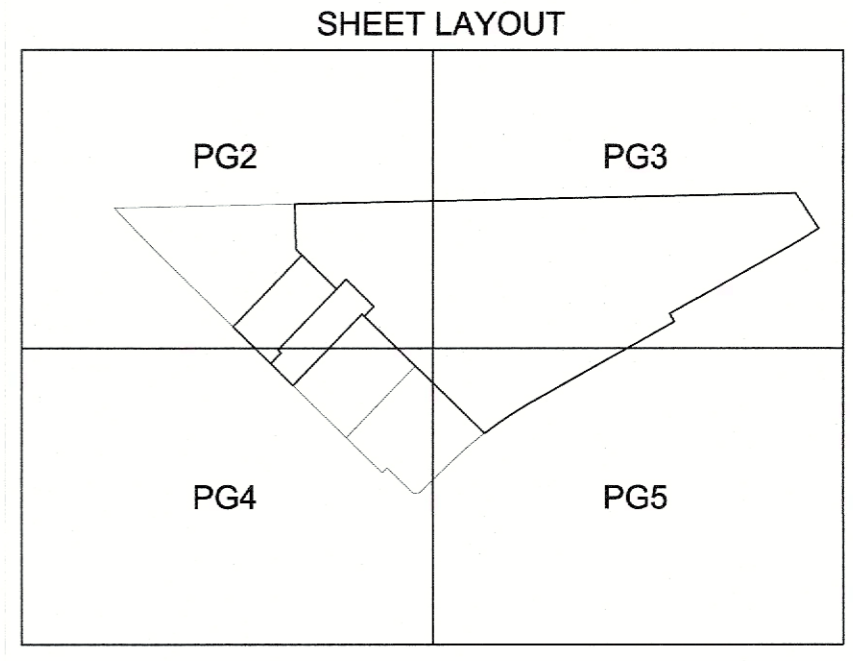


STATE PLANE COORDINATES
N = 7,009,446.2141'
E = 2,604,961.9068'

STATE PLANE COORDINATES
N = 7,009,486.4610'
E = 2,606,811.8490'

CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	81.75'	1155.00'	04°03'19"	S58°43'21"W 81.73'
C2	160.34'	1110.00'	08°16'36"	S56°38'44"W 160.20'

LINE #	LENGTH	DIRECTION
L1	114.68'	S 33°19'17" E
L2	25.09'	S 29°29'58" E
L3	261.06'	N 45°53'13" W
L4	202.16'	N 45°51'55" W
L5	269.61'	S 44°06'48" W
L6	228.23'	N 45°52'18" W
L7	269.64'	N 44°08'20" E
L8	22.85'	N 45°51'55" W
L9	121.80'	N 01°07'51" W



LEGEND:
IRF IRON ROD FOUND
PC "TXDOT" IRON ROD FOUND WITH PINK CAP STAMPED "TXDOT"
IRS IRON ROD SET WITH YELLOW CAP STAMPED "TXHS"
<CM> CONTROLLING MONUMENT
D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
INST. NO. INSTRUMENT NUMBER
VOL., PG. VOLUME, PAGE
ESMT. EASEMENT
FEC FARMERS ELECTRIC COOPERATIVE
L= LENGTH

ENGINEER
THE DIMENSION GROUP
10755 SANDHILL ROAD
DALLAS, TEXAS 75238
attn: KEATON MAI

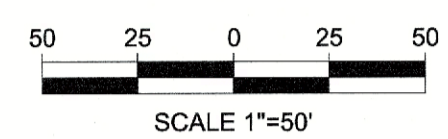
OWNER
CREEKSIDE COMMONS CROSSING, LP
10755 SANDHILL ROAD
DALLAS, TEXAS 75238



SURVEYOR
TEXAS HERITAGE
SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com
Firm No. 10169300

FINAL PLAT
LOTS 19-21, BLOCK A
CREEKSIDE COMMONS ADDITION
BEING A REPLAT OF
LOTS 15, 16, & 18, BLOCK A,
CREEKSIDE COMMONS ADDITION
BEING 3 LOTS
13.286 ACRES / 578,730.78 SF
SITUATED IN THE
W. W. FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



EASEMENT CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C3	39.04'	50.00'	44°44'04"	S23°29'53"E 38.05'
C4	39.25'	25.01'	89°55'02"	S00°54'33"E 35.34'
C5	39.29'	25.00'	90°01'47"	S89°05'24"W 35.37'
C6	37.93'	25.00'	86°55'43"	N00°36'36"E 34.40'
C7	38.96'	25.00'	89°17'17"	N89°25'51"E 35.14'
C8	20.30'	26.00'	44°44'04"	S23°29'53"E 19.79'

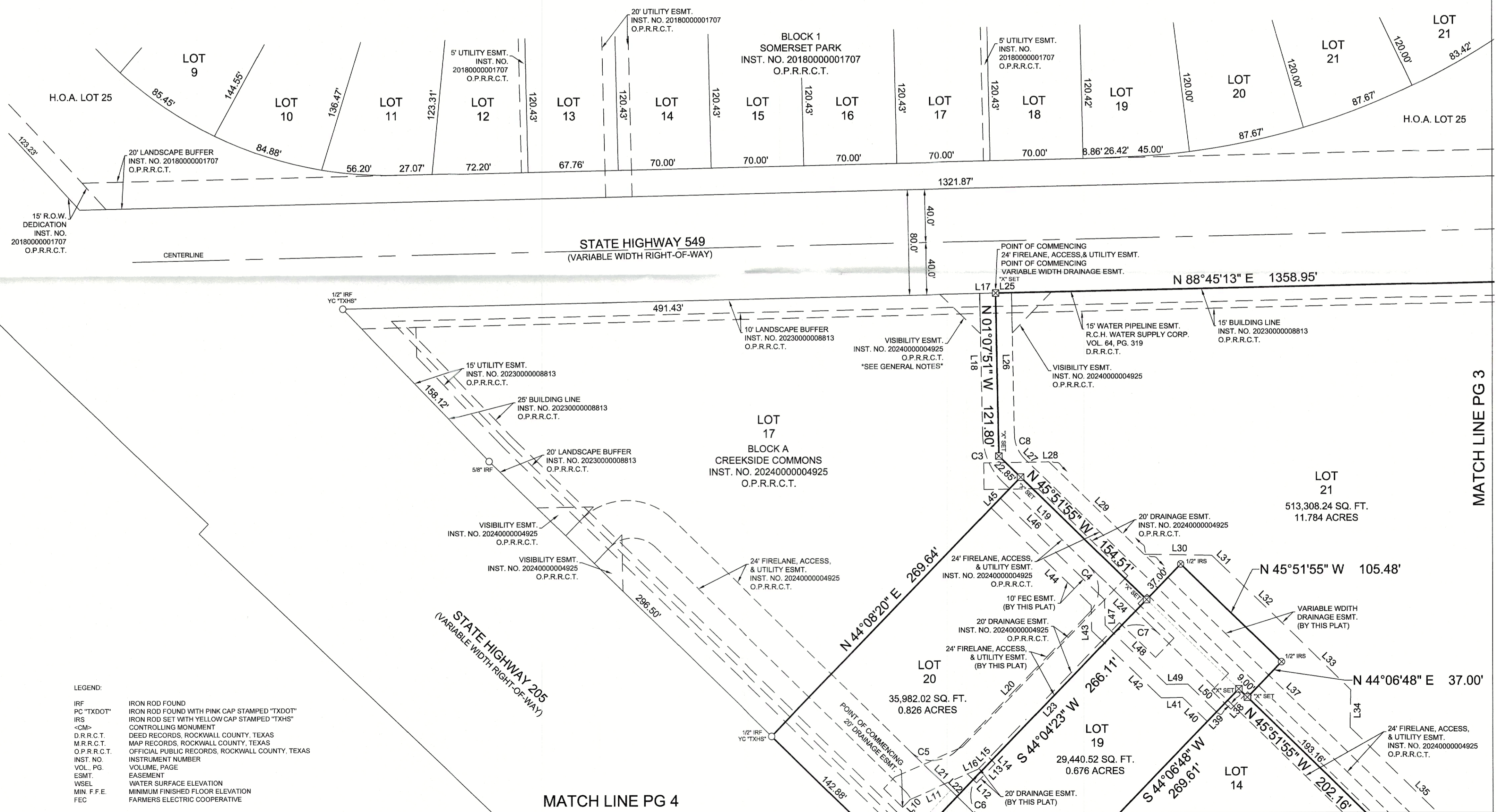
EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L10	8.11'	N44°11'04"E
L11	55.65'	N66°42'33"E
L12	9.60'	S45°45'48"E
L13	20.00'	N44°04'20"E
L14	6.23'	N45°45'48"W
L15	11.94'	S44°08'05"W
L16	8.72'	S66°42'33"W
L17	24.00'	S88°45'13"W
L18	106.13'	S01°07'51"E

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L19	89.90'	S45°51'55"E
L20	143.09'	S44°04'23"W
L21	42.36'	S45°48'56"E
L22	30.32'	S45°52'21"E
L23	143.47'	N44°04'23"E
L24	73.98'	N45°51'55"W
L25	12.00'	N88°45'13"E
L26	106.18'	S01°07'51"E
L27	3.40'	S45°51'55"E

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L28	15.56'	N89°08'05"E
L29	99.48'	S45°51'55"E
L30	51.13'	S89°03'57"E
L31	12.31'	S45°51'55"E
L32	75.67'	S46°09'27"E
L33	57.21'	S45°28'43"E
L34	28.18'	S00°56'03"W
L35	106.26'	S45°53'11"E
L36	20.50'	S89°08'05"W

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L37	293.51'	N45°51'55"W
L38	24.05'	S44°06'48"W
L39	10.00'	S44°06'48"W
L40	25.88'	N45°51'55"W
L41	16.11'	S89°08'05"W
L42	72.47'	N45°51'55"W
L43	18.97'	N00°51'55"W
L44	104.98'	N45°51'55"W
L45	10.00'	N44°08'20"E

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L46	109.12'	S45°51'55"E
L47	18.97'	S00°51'55"E
L48	64.18'	S45°51'55"E
L49	16.11'	N89°08'05"E
L50	30.01'	S45°51'55"E

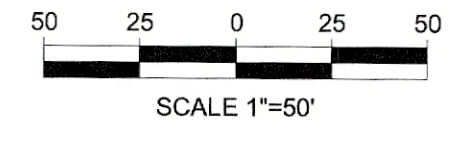


LEGEND:

IRF IRON ROD FOUND
 PC "TXDOT" IRON ROD FOUND WITH PINK CAP STAMPED "TXDOT"
 IRS IRON ROD SET WITH YELLOW CAP STAMPED "TXHS"
 -CM- CONTROLLING MONUMENT
 D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
 M.R.R.C.T. MAP RECORDS, ROCKWALL COUNTY, TEXAS
 O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 INST. NO. INSTRUMENT NUMBER
 VOL., PG. VOLUME, PAGE
 ESMT. EASEMENT
 WSEL WATER SURFACE ELEVATION
 MIN. F.F.E. MINIMUM FINISHED FLOOR ELEVATION
 FEC FARMERS ELECTRIC COOPERATIVE

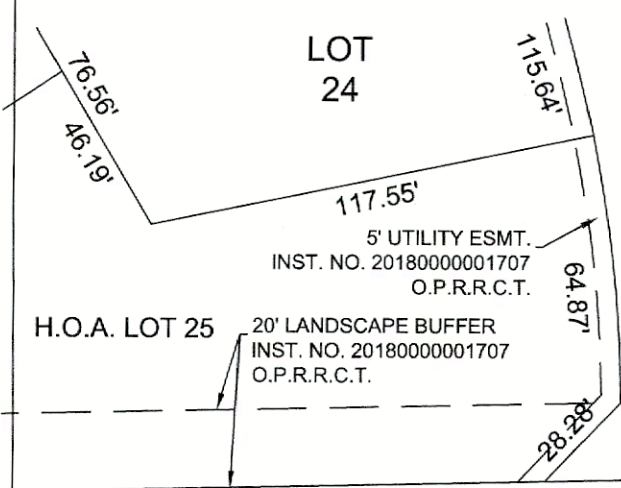
MATCH LINE PG 4

MATCH LINE PG 3



BLOCK 1
SOMERSET PARK
INST. NO. 2018000001707
O.P.R.R.C.T.

BLOCK A
EDWARDS ACRES SUBDIVISION
INST. NO. 2014000006510
O.P.R.R.C.T.



SYLVANPARK DRIVE
(83' RIGHT-OF-WAY)

SANITARY SEWER ESMT.
INST. NO. 2017000002409
O.P.R.R.C.T.

10' ELECTRIC &
TELEPHONE ESMT.
INST. NO. 2014000006510
O.P.R.R.C.T.

15' WATER LINE ESMT.
INST. NO. 2014000006510
O.P.R.R.C.T.

BLOCK A
EDWARDS ACRES SUBDIVISION
INST. NO. 2014000006510
O.P.R.R.C.T.

10' ELECTRIC &
TELEPHONE ESMT.
INST. NO. 2014000006510
O.P.R.R.C.T.

15' WATER LINE ESMT.
INST. NO. 2014000006510
O.P.R.R.C.T.

LOT 2

LOT 1

558.17'

123.28'

340.44'

98.3'
80.0'
40.0'

STATE HIGHWAY 549
(VARIABLE WIDTH RIGHT-OF-WAY)

N 88°45'13" E 1358.95'

100-YR WSEL = 519.58

15' BUILDING LINE
INST. NO. 20230000008813
O.P.R.R.C.T.

SANITARY SEWER ESMT.
INST. NO. 20150000003475
D.R.R.C.T.

DETENTION ESMT.
INST. NO. 20240000004925
O.P.R.R.C.T.

SANITARY SEWER ESMT.
INST. NO. 20150000003475
D.R.R.C.T.

20' WATER ESMT.
INST. NO. 20230000008813
O.P.R.R.C.T.

20' DRAINAGE ESMT.
INST. NO. 20240000004925
O.P.R.R.C.T.

30' WASTEWATER ESMT.
INST. NO. 20230000008813
O.P.R.R.C.T.

100-YR WSEL = 518.87

10' UTILITY ESMT.
INST. NO. 20230000008813
O.P.R.R.C.T.

15' WATER PIPELINE ESMT.
R.C.H. WATER SUPPLY CORP.
VOL. 64, PG. 319
D.R.R.C.T.

MIN. F.F.E. = 521.54

20' LANDSCAPE BUFFER
INST. NO. 20230000008813
O.P.R.R.C.T.

25' BUILDING LINE
INST. NO. 20230000008813
O.P.R.R.C.T.

WILLIAM W. FORD SURVEY,
ABSTRACT NO. 80

LOT 21
513,308.24 SQ. FT.
11.784 ACRES
MIN. F.F.E. = 528.93

CREEKSIDE COMMONS ADDITION
BLOCK A

578,730.78 SQ. FT.
13.286 ACRES

CREEKSIDE COMMONS CROSSING, LP
INST. NO. 20220000021201
O.P.R.R.C.T.

S 60°46'14" W 382.65'

STATE HIGHWAY 549
(VARIABLE WIDTH RIGHT-OF-WAY)

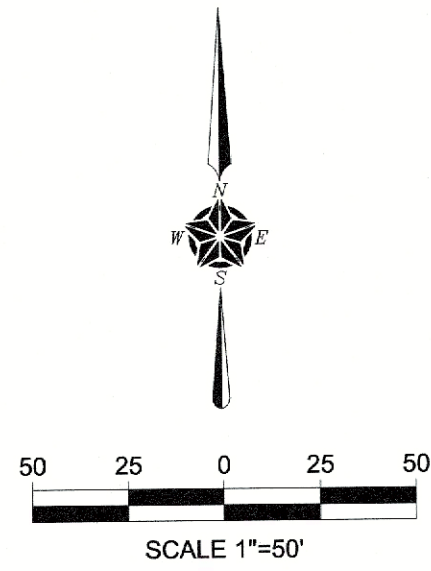
S 29°29'58" E
25.09'

CH = S58°43'21" W 81.73'
L = 81.75' R = 1155.00'
Δ = 4°03'19"

MATCH LINE PG 2

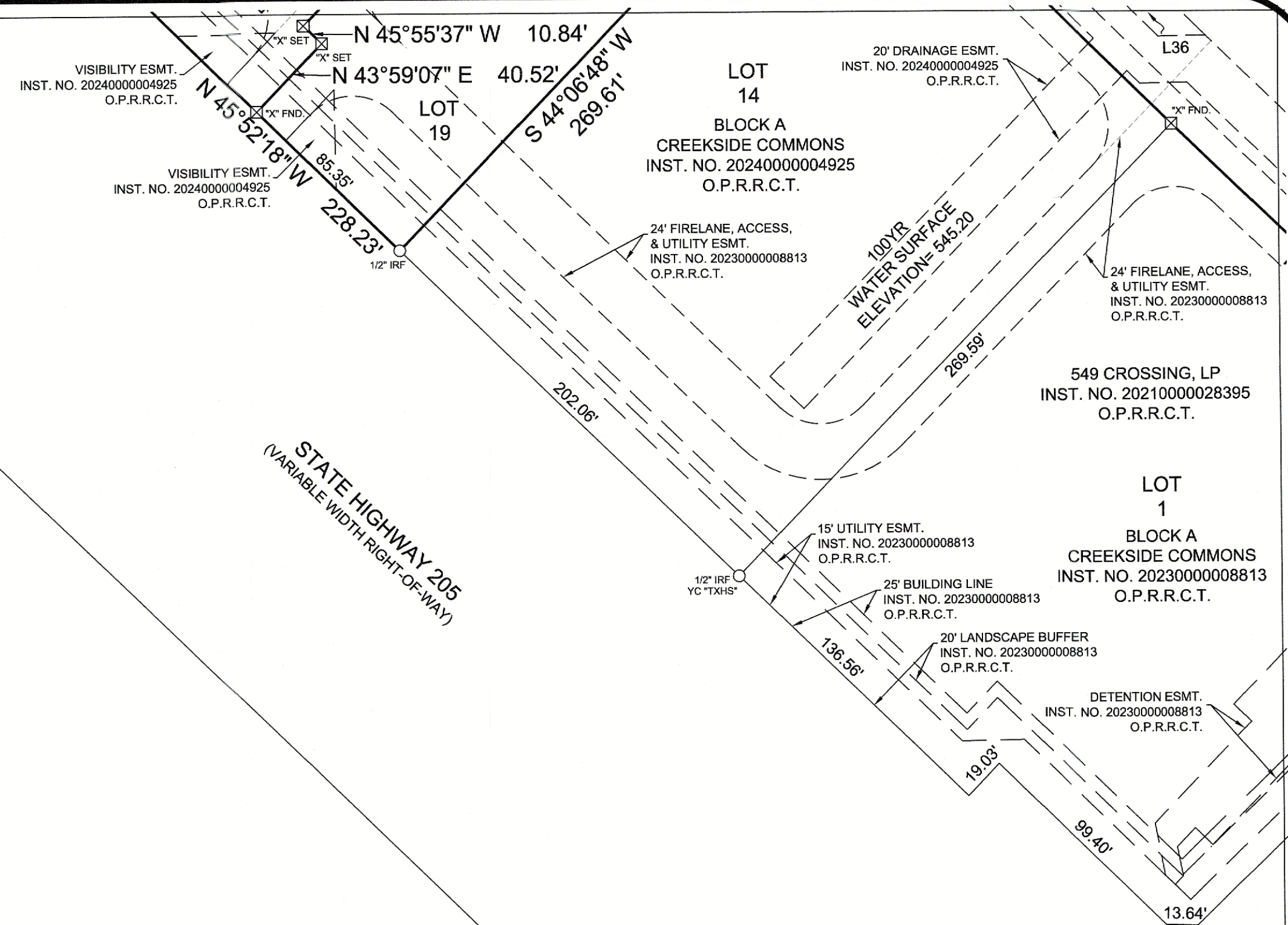
MATCH LINE PG 5

MATCH LINE PG 2



GENERAL NOTES:

- 1) Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- 2) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- 3) Property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- 4) All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- 5) Bearings are based upon the Texas State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011).
- 6) The purpose of this replat is to create easements and change lot boundary lines.
- 7) Benchmarks:
 - COR-8: Aluminum disk stamped "City of Rockwall Survey Monument" at the northerly intersection of Silver View Lane and Diamond Way Drive ± 1 foot north of curb line in center of curve.
N= 7,018,063.113; E= 2,609533.682; Elevation= 600.48'
 - COR-9: Brass disk stamped "City of Rockwall Survey Monument" on the south side of Discovery Boulevard at the southeaster corner of curb inlet ± 180 feet east intersection of Discovery/Corporate.
N= 7,020,550.132; E= 2,607,463.893; Elevation= 595.63'
- 8) Zoning: Commercial (C) District
- 9) Base Flood Elevation information per FEMA GIS, FIRM Panel #48397C0045L.
- 10) All Visibility Easements are 30'x30' unless otherwise noted.
- 11) WSEL information based upon Floodplain / Detention Study NDMCE No. 23-014 by Nathan D. Maier Consulting Engineers, Inc. completed December of 2023.



MATCH LINE PG 5

100-YR WSEL= 518.85

OWNER'S CERTIFICATE:

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Creekside Commons Crossing, LP is the owner of that tract of land situated in the William W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, being Lots 15, 16, & 18, Block A of Creekside Commons, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Instrument Number 2024000004925 of the Official Public Records of Rockwall County, Texas, and being a portion of that same tract of land described in Special Warranty Deed to Creekside Commons Crossing, LP recorded in Instrument Number 20220000021201 of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

Commencing at a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner, said corner being the west corner of Lot 17, Block A of said Creekside Commons, said corner also being in the northeast right-of-way line of State Highway 205 (variable width right-of-way), said corner also being in the south right-of-way line of existing State Highway 549 (variable width right-of-way);

Thence North 88 degrees 45 minutes 13 seconds East, along the south right-of-way line of said existing State Highway 549, a distance of 491.43 feet to an "X" cut in concrete set for corner, said corner being the northeast corner of said Lot 17, Block A, said point being the POINT OF BEGINNING;

Thence North 88 degrees 45 minutes 13 seconds East, continuing along the south right-of-way line of said existing State Highway 549, a distance of 1,358.95 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said corner being in a northwest right-of-way line of new State Highway 549 (variable width right-of-way);

Thence, along the northwest line of said new State Highway 549, the following courses and distances:

Thence South 33 degrees 19 minutes 17 seconds East, a distance of 114.68 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner, said corner being the beginning of a non-tangent curve to the right, having a delta of 04 degrees 03 minutes 19 seconds, a radius of 1,155.00 feet and a chord bearing and distance of South 58 degrees 43 minutes 21 seconds West, 81.73 feet;

Thence, in a southwesterly direction, along said curve to the right, an arc length of 81.75 feet to a 5/8 inch iron rod with pink plastic cap stamped "TXDOT" found for corner;

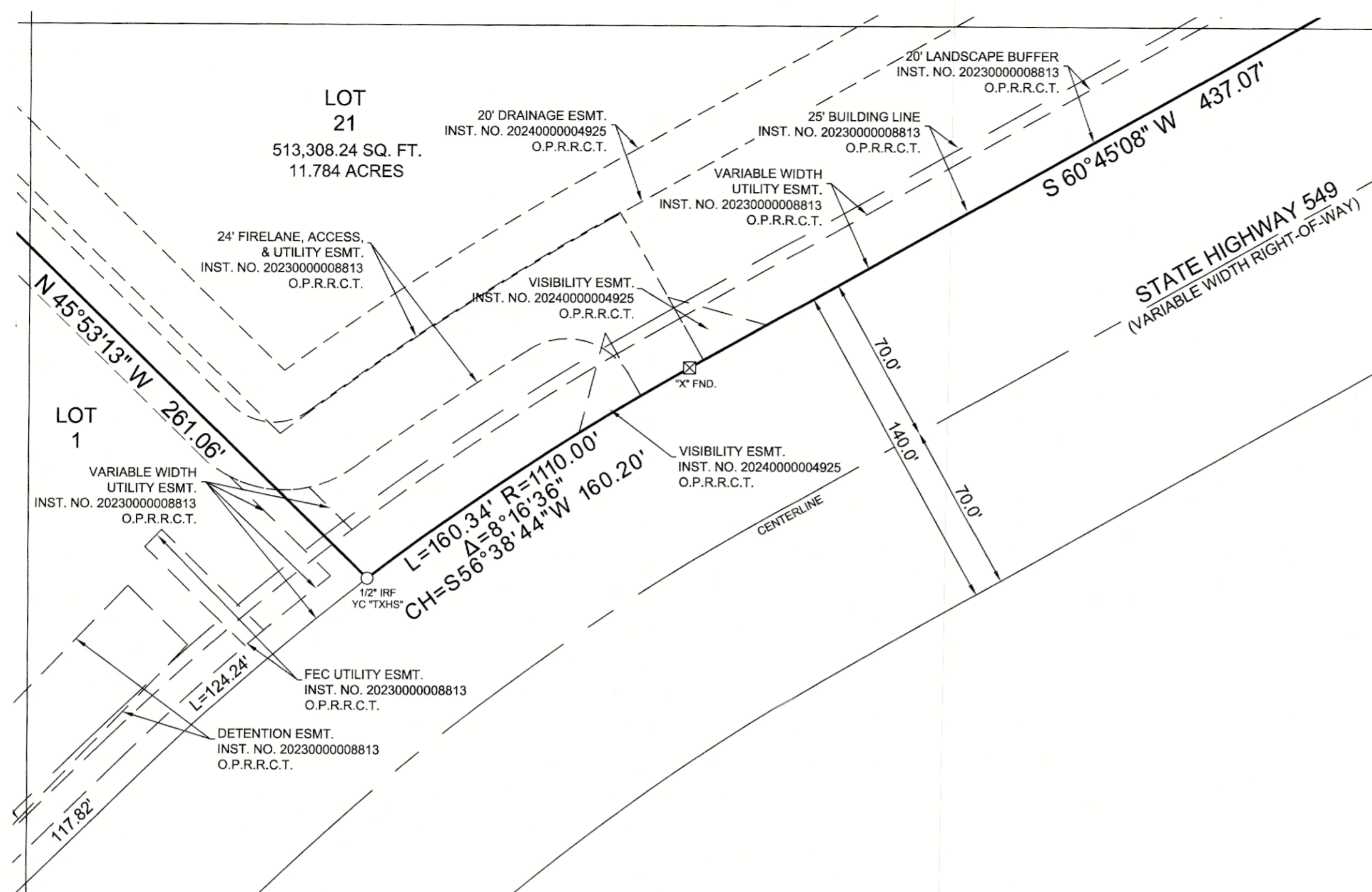
Thence South 60 degrees 46 minutes 14 seconds West, a distance of 382.65 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" set for corner;

Thence South 29 degrees 29 minutes 58 seconds East, a distance of 25.09 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner;

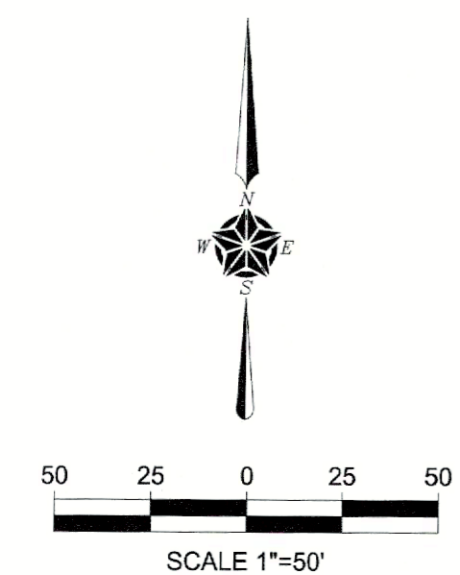
Thence South 60 degrees 45 minutes 08 seconds West, a distance of 437.07 feet to a "X" found for corner, said corner being the beginning of a non-tangent curve to the left, having a delta of 08 degrees 16 minutes 36 seconds, a radius of 1,110.00 feet and a chord bearing and distance of South 56 degrees 38 minutes 44 seconds West, 160.20 feet;

Thence, in a southwesterly direction, along said curve to the left, an arc length of 160.34 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner, said corner being the east corner of Lot 1, Block A of Creekside Commons, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Instrument Number 20230000008813 of the Official Public Records of Rockwall County, Texas;

(continued on next page)



MATCH LINE PG 4



OWNER'S CERTIFICATE:

STATE OF TEXAS
COUNTY OF ROCKWALL

(continued from previous page)

Thence North 45 degrees 53 minutes 13 seconds West, along the northeast line of said Lot 1, Block A, a distance of 261.06 feet to an "X" found for corner, said corner being the north corner of said Lot 1, Block A, said corner also being the east corner of Lot 14, Block A of said Creekside Commons (Inst. No. 2024000004925);

Thence North 45 degrees 51 minutes 55 seconds West, along the northeast line of Lot 14, Block A, a distance of 202.16 feet to an "X" cut in concrete set for corner, said corner being the north corner of said Lot 14, Block A;

Thence South 44 degrees 06 minutes 48 seconds West, along the northwest line of said Lot 14, Block A, a distance of 269.61 feet to a 1/2 inch iron rod found for corner, said corner being in the northeast line of aforementioned State Highway 205;

Thence North 45 degrees 52 minutes 18 seconds West, along the northeast line of said State Highway 205, a distance of 228.23 feet to a 1/2 inch iron rod with yellow plastic cap stamped "TXHS" found for corner, said corner being the south corner of aforementioned Lot 17, Block A;

Thence North 44 degrees 08 minutes 20 seconds East, along the southeast line of said Lot 17, Block A, a distance of 269.64 feet to an "X" cut in concrete set for corner, said corner being the easternmost corner of said Lot 17, Block A;

Thence North 45 degrees 51 minutes 55 seconds West, along the northeast line of said Lot 17, Block A, a distance of 22.85 feet to an "X" cut in concrete set for corner;

Thence North 01 degrees 07 minutes 51 seconds West, along an east line of said Lot 17, Block A, a distance of 121.80 feet to the POINT OF BEGINNING and containing 578,730.78 square feet or 13.286 acres of land.

OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the CREEKSIDE COMMONS ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the CREEKSIDE COMMONS ADDITION subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purposes of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage or cause of action that I may have as a result of the dedication of exactions made herein.

Creekside Commons Crossing, LP

Jassem Setayesh
President/CEO

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared Jassem Setayesh, a Texas limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2024.

Notary Signature

SURVEYORS CERTIFICATE:

I, J. R. January, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

J. R. January, R.P.L.S. No. 5382

APPROVED: I hereby certify that the above and foregoing Subdivision Plat was reviewed by the Planning and Zoning Commission and approved by the City Council of the City of Rockwall, Texas for the preparation of a Final Plat on the _____ day of _____, 2024.

Mayor of the City of Rockwall

Planning and Zoning Chairman

City Secretary

City Engineer

ENGINEER
THE DIMENSION GROUP
10755 SANDHILL ROAD
DALLAS, TEXAS 75238
attn: KEATON MAI

OWNER
CREEKSIDE COMMONS CROSSING, LP
10755 SANDHILL ROAD
DALLAS, TEXAS 75238



TEXAS HERITAGE
SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com
Firm No. 10169300

SURVEYOR

CASE #

PAGE 6 OF 6

DATE: 10/11/2024 / JOB # 2400777-4 / SCALE= 1" = 50' / DRAWN: JACOB

FINAL PLAT
LOTS 19-21, BLOCK A
CREEKSIDE COMMONS ADDITION
BEING A REPLAT OF
LOTS 15, 16, & 18, BLOCK A,
CREEKSIDE COMMONS ADDITION
BEING 3 LOTS
13.286 ACRES / 578,730.78 SF
SITUATED IN THE
W. W. FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Parcel Map Check Report

Date: 10/11/2024 2:06:31 PM

Parcel Name: Proposed Lots - AVAT_P - Lots : 1

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

Client:

Prepared by:

North: 7,009,456.9029'

East: 2,605,453.2192'

Segment# 1: Line

Course: N88°45'13"E

Length: 1,358.95'

North: 7,009,486.4626'

East: 2,606,811.8476'

Segment# 2: Line

Course: S33°19'17"W

Length: 114.68'

North: 7,009,390.6358'

East: 2,606,874.8453'

Segment# 3: Curve

Length: 81.75'

Radius: 1,155.00'

Delta: 4°03'19"

Tangent: 40.89'

Chord: 81.73'

Course: S58°43'21"W

Course In: N33°18'18"W

Course Out: S29°14'59"E

RP North: 7,010,355.9379'

East: 2,606,240.6397'

End North: 7,009,348.2023'

East: 2,606,804.9924'

Segment# 4: Line

Course: S60°46'14"W

Length: 382.65'

North: 7,009,161.3512'

East: 2,606,471.0647'

Segment# 5: Line

Course: S29°29'58"E

Length: 25.09'

North: 7,009,139.5138'

East: 2,606,483.4194'

Segment# 6: Line

Course: S60°45'08"W

Length: 437.07'

North: 7,008,925.9669'

East: 2,606,102.0693'

Segment# 7: Curve
Length: 160.34' Radius: 1,110.00'
Delta: 8°16'36" Tangent: 80.31'
Chord: 160.20' Course: S56°38'44"W
Course In: S29°12'58"E Course Out: N37°29'33"W
RP North: 7,007,957.1757' East: 2,606,643.8660'
End North: 7,008,837.8864' East: 2,605,968.2561'

Segment# 8: Line
Course: N45°53'13"W Length: 261.06'
North: 7,009,019.6041' East: 2,605,780.8234'

Segment# 9: Line
Course: N45°51'55"W Length: 202.16'
North: 7,009,160.3778' East: 2,605,635.7323'

Segment# 10: Line
Course: S44°06'48"W Length: 269.61'
North: 7,008,966.8074' East: 2,605,448.0622'

Segment# 11: Line
Course: N45°52'18"W Length: 228.23'
North: 7,009,125.7166' East: 2,605,284.2428'

Segment# 12: Line
Course: N44°08'20"E Length: 269.64'
North: 7,009,319.2248' East: 2,605,472.0201'

Segment# 13: Line
Course: N45°51'55"W Length: 22.85'
North: 7,009,335.1363' East: 2,605,455.6206'

Segment# 14: Line
Course: N1°07'51"W Length: 121.80'
North: 7,009,456.9126' East: 2,605,453.2168'

Perimeter: 3,935.87' Area: 578,730.82Sq.Ft.

Error Closure: 0.0100

Error North : 0.00969

Precision 1: 393,588.00

Course: N13°47'04"W

East: -0.00238



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 29, 2024
APPLICANT: Bill Bricker, *Rockwall Property Corporation*
CASE NUMBER: P2024-036; *Final Plat for Lot 1-3, Block A, Boardwalk Development Addition*

SUMMARY

Consider a request by Bill Bricker of Rockwall Property Corporation for the approval of a Final Plat for Lots 1-3, Block A, Boardwalk Development Addition being a 9.14-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Final Plat for an 9.14-acre tract of land (*i.e. Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183*) to establish three (3) lots for the purpose of conveyance.
- Background. The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On June 18, 2007, the City Council approved a zoning change from Agriculture (AG) District to Planned Development District 71 (PD-71) for Commercial (C) District land uses by *Ordinance No. 07-19 [Case No. Z2007-011]*. The subject property has remained vacant since annexation.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1-3, Block A, Boardwalk Development Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Final Plat; and,
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/23/2024

PROJECT NUMBER: P2024-036
PROJECT NAME: Final Plat for Board Walk Development Addition
SITE ADDRESS/LOCATIONS: John King and Park Hills Blvd

CASE CAPTION: Consider a request by Bill Bricker of Rockwall Property Corporation for the approval of a Final Plat for Lots 1-3, Block A, Boardwalk Development Addition being a 9.14-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	10/23/2024	Approved w/ Comments

10/23/2024: P2024-036: Final Plat for Lots 1-3, Block A, Boardwalk Development Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1-3, Block A, Boardwalk Development Addition being a 9.14-acre tract of land identified as a portion of Tract 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, and generally located at southwest corner of the intersection of Park Hills Boulevard and John King Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2024-036) in the lower right-hand corner of all pages on future submittals.

I.4 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.5 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: October 29, 2024
City Council: November 4, 2024

I.6 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved w/ Comments

10/23/2024: 1. Floodplain has been updated with the Park Hills Project.

2. All flood plain and erosion hazard setback shall be notated as drainage easement. All sheets. Call out source of floodplain information. There is an updated flood study. Show

limits of the 100-yr floodplain. Water surface elevation a minimum of every 300'. Erosion hazard setback to be within a drainage easement.

3. This is a drainage easement and open space.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Bethany Ross	10/23/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS John Kies and Park Hills Blvd.
 SUBDIVISION Boardwalk Development Addition LOT L3 BLOCK A
 GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-71 CURRENT USE AG
 PROPOSED ZONING PD-71 PROPOSED USE Retail Commercial
 ACREAGE 9.14 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

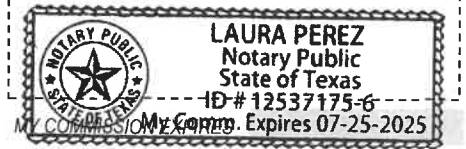
<input type="checkbox"/> OWNER	<u>Rockwall Property Corporation</u>	<input type="checkbox"/> APPLICANT	<u>Same</u>
CONTACT PERSON	<u>Bill Bricker</u>	CONTACT PERSON	
ADDRESS	<u>2235 Ridge Rd S 200</u>	ADDRESS	
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	
PHONE	<u>214-801-6157</u>	PHONE	
E-MAIL	<u>bill@colventures.com</u>	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Charles W Bricker [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

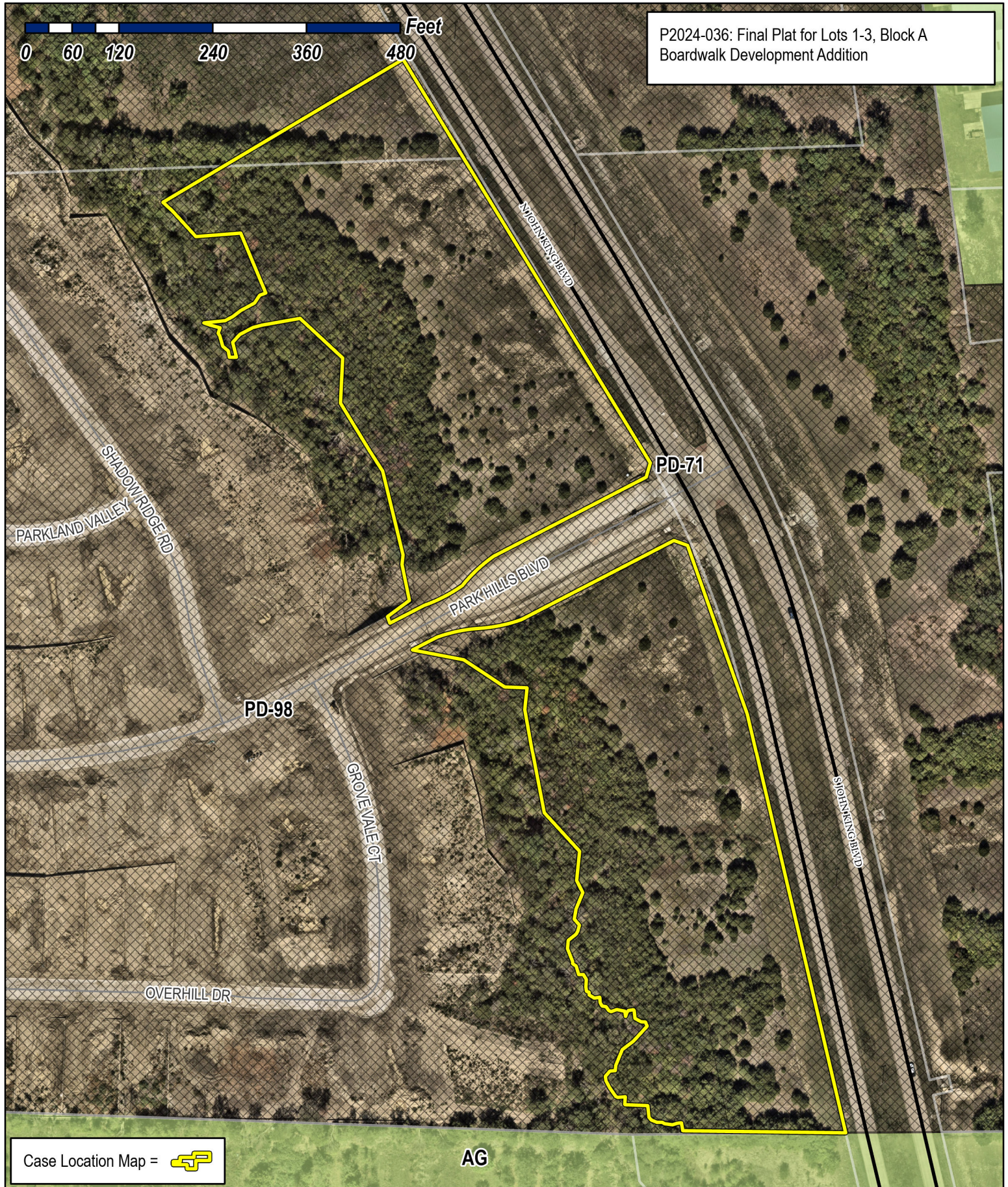
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 482.80 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF October, 2024
 OWNER'S SIGNATURE Charles W Bricker
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





P2024-036: Final Plat for Lots 1-3, Block A
Boardwalk Development Addition



Case Location Map = 

AG

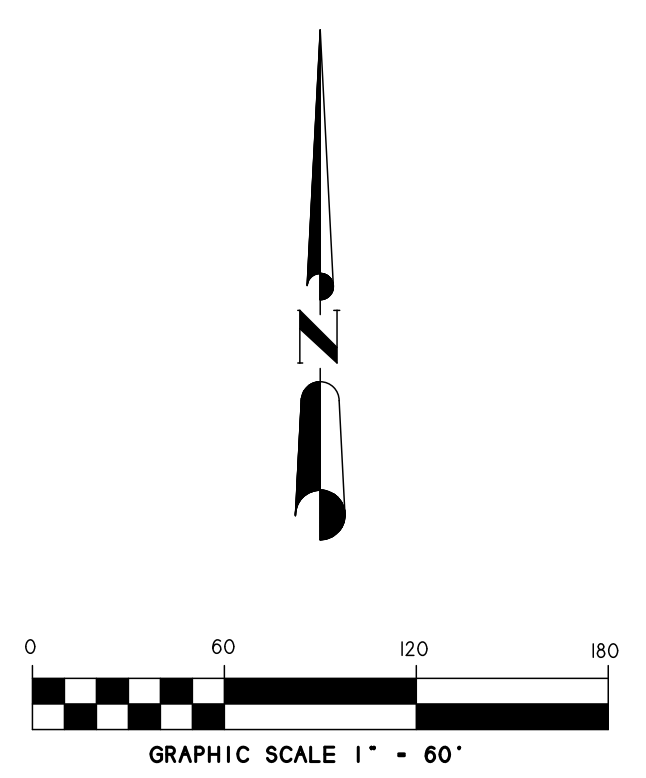
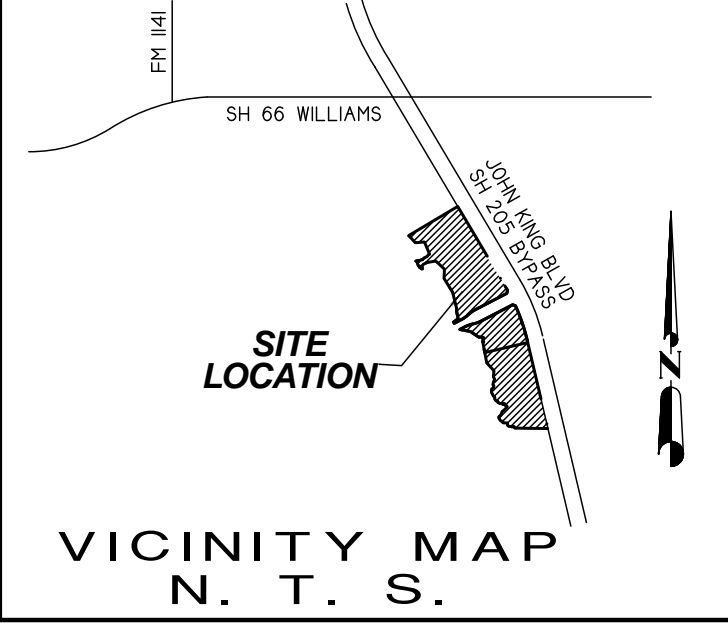


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CONVEYANCE PLAT
LOTS 1-3, BLOCK A
BOARDWALK DEVELOPMENT
ADDITION

BEING THREE (3) LOTS
 9.14 ACRES/398,198 S.F.

SITUATED WITHIN THE
 GEORGE W. REDLIN SURVEY, A-183
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 3

SYMBOL LEGEND	
⊖	TV
⊕	TELEPHONE
⊗	CABLE TIE
⊙	ELEC
⊚	ELECTRIC METER
⊛	ELECTRIC METER
⊜	⊚
⊝	⊛
⊞	⊜
⊠	⊝
⊡	⊞
⊣	⊠
⊥	⊡
⊦	⊣
⊧	⊥
⊩	⊦
⊫	⊧
⊭	⊩
⊮	⊫
⊯	⊭
⊰	⊮
⊱	⊯
⊲	⊰
⊳	⊱
⊴	⊲
⊵	⊳
⊶	⊴
⊷	⊵
⊸	⊶
⊹	⊷
⊺	⊸
⊻	⊹
⊼	⊺
⊽	⊻
⊾	⊼
⊿	⊽
⊿	⊿

OWNER:
 ROCKWALL PROPERTY CORPORATION
 2235 RIDGE ROAD, STE 201
 ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 7, 2024
 SCALE 1" = 60' FILE # 20240108
 CLIENT RPC

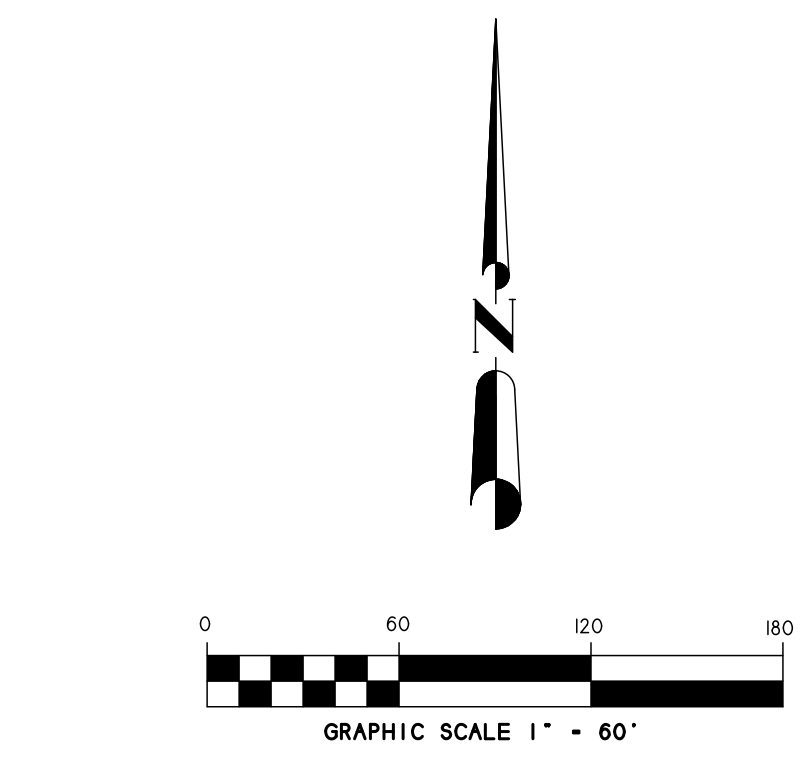
SURVEYOR'S NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040L dated SEPT 26, 2008, this property lies in Zone X. This property does appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
- 4) THE PURPOSE OF THIS PLAT IS TO CREATE 3 NEW LOTS FOR CONVEYANCE.

CURVE DATA TABLE						
Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	15°44'24"	200.00	54.94	27.65	54.77	N 70°27'47"E
2	15°44'24"	200.00	54.94	27.65	54.77	N 70°27'47"E
3	11°19'32"	1140.00	225.34	113.04	224.97	S 18°52'58"E
4	15°44'24"	200.00	54.94	27.65	54.77	S 54°43'21"W
5	15°44'24"	200.00	54.94	27.65	54.77	S 54°43'21"W
6	0°49'42"	1140.00	16.48	8.24	16.48	S 30°20'38"E

LINE TABLE		
Line	Bearing	Distance
1	N 9°53'27"W	10.26'
2	N 89°07'50"W	1.50'
3	S 81°05'03"W	4.38'
4	S 72°14'21"W	5.96'
5	N 82°14'47"W	10.09'
6	N 59°50'32"W	3.50'
7	N 89°27'04"W	6.98'
8	N 67°30'52"W	7.73'
9	N 39°38'33"W	4.48'
10	N 6°12'28"W	15.02'
11	N 87°43'57"W	28.88'
12	N 50°42'40"W	0.76'
13	N 4°35'18"E	9.74'
14	S 85°09'33"W	9.74'
15	N 65°39'32"W	2.70'
16	N 35°13'48"W	13.07'
17	N 28°21'00"W	10.67'
18	N 7°37'51"W	5.82'
19	N 40°54'20"E	8.92'
20	N 85°10'35"E	6.87'
21	N 5°28'06"E	6.88'
22	N 22°33'43"E	21.66'
23	N 52°49'10"E	17.81'
24	N 42°30'58"E	26.10'
25	N 23°23'23"W	5.81'
26	N 87°37'12"W	5.34'
27	N 60°55'42"W	9.15'
28	N 5°36'36"W	10.05'
29	N 45°12'19"W	1.43'
30	S 80°45'14"W	6.29'
31	S 42°50'56"W	2.68'
32	S 19°28'40"W	5.90'
33	N 7°54'12"W	6.68'
34	N 78°10'33"W	10.55'
35	S 69°33'10"W	7.77'
36	N 63°43'02"W	3.33'
37	N 35°24'39"W	6.09'
38	N 81°52'24"W	5.01'
39	N 30°01'27"W	5.00'
40	N 4°14'35"W	7.00'
41	S 81°02'47"W	7.07'
42	N 58°04'25"W	7.79'
43	N 0°39'01"W	3.35'
44	N 68°19'31"W	3.61'
45	N 8°44'56"W	5.38'
46	N 3°21'44"E	9.81'
47	N 31°13'54"W	7.28'
48	S 89°23'53"W	6.01'
49	N 16°26'05"W	11.31'
50	N 55°11'10"W	5.61'
51	N 4°31'23"E	2.39'
52	N 21°43'23"W	6.45'
53	N 4°52'36"W	11.67'
54	N 5°22'12"E	10.60'
55	N 51°46'12"E	12.73'
56	N 29°47'35"E	4.23'
57	N 15°27'47"E	8.20'
58	N 40°37'19"W	10.13'
59	N 9°56'32"E	13.38'
60	N 22°38'47"E	22.44'

LINE TABLE		
Line	Bearing	Distance
61	N 27°06'51"W	17.39'
62	N 5°48'00"E	37.66'
63	N 42°32'37"W	66.83'
64	N 10°07'55"W	46.33'
65	N 5°58'08"E	28.02'
66	N 87°49'07"W	28.55'
67	N 56°28'11"W	62.92'
68	N 79°08'23"W	66.86'
69	N 62°35'32"E	35.86'
70	S 70°57'16"E	18.46'
71	S 16°08'24"W	18.92'
72	S 62°35'34"W	49.54'
73	N 20°12'22"W	8.90'
74	N 53°25'21"E	34.88'
75	N 11°41'53"W	46.67'
76	N 5°55'22"E	12.51'
77	N 32°45'32"W	30.72'
78	N 31°26'15"W	71.66'
79	N 21°48'29"E	57.76'
80	N 47°09'28"W	72.07'
81	N 42°22'14"W	2.30'
82	S 79°58'06"W	49.22'
83	S 75°11'13"W	12.52'
84	S 62°02'36"W	19.00'
85	S 42°11'35"W	13.50'
86	S 14°15'00"E	19.57'
87	S 88°59'44"W	8.97'
88	N 9°57'07"W	7.88'
89	N 86°43'21"W	9.47'
90	N 13°57'22"W	8.25'
91	N 50°03'06"W	9.31'
92	N 15°46'57"W	13.69'
93	N 30°01'05"W	4.30'
94	N 21°04'29"E	7.19'
95	N 75°03'07"W	12.75'
96	N 70°40'12"E	9.15'
97	N 84°09'12"E	17.06'
98	N 74°48'26"E	10.36'
99	N 61°56'23"E	11.33'
100	N 52°38'59"E	12.58'
101	N 61°26'15"E	19.99'
102	N 33°50'14"E	12.04'
103	N 69°46'05"E	8.34'
104	S 85°31'53"W	57.43'
105	N 42°29'55"W	44.81'
106	N 47°50'45"W	16.12'
107	S 13°13'12"E	17.68'
108	N 10°56'13"W	23.22'



GENERAL NOTES:

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

ROBERT O. DILLENDER
SHERRY DILLENDER
VOL. 3356, PG. 177

SPC
N 7027578.61
E 2601177.11

CONVEYANCE PLAT
**LOTS 1-3, BLOCK A
BOARDWALK DEVELOPMENT
ADDITION**

BEING THREE (3) LOTS
9.14 ACRES/398,198 S.F.

SITUATED WITHIN THE
GEORGE W. REDLIN SURVEY, A-183
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 3

OWNER:
ROCKWALL PROPERTY CORPORATION
2235 RIDGE ROAD, STE 201
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND	
TV TELEVISION COAXIAL CABLE	TV TELEVISION COAXIAL CABLE
ELEC ELECTRIC METER	ELEC ELECTRIC METER
ELEC ELECTRIC SUBSURFACE JUNCTION BOX	ELEC ELECTRIC SUBSURFACE JUNCTION BOX
FENCE	FENCE
GAS GAS METER	GAS GAS METER
IR IRRIGATION SYSTEM	IR IRRIGATION SYSTEM
PHONE PHONE METER	PHONE PHONE METER
WTR WATER METER	WTR WATER METER
BOX SUBSURFACE JUNCTION BOX	BOX SUBSURFACE JUNCTION BOX
ENLIGHTEN LIGHT	ENLIGHTEN LIGHT
ENLIGHTEN LIGHT POLE	ENLIGHTEN LIGHT POLE
ENLIGHTEN LIGHT POLE	ENLIGHTEN LIGHT POLE
ENLIGHTEN LIGHT POLE	ENLIGHTEN LIGHT POLE
ENLIGHTEN LIGHT POLE	ENLIGHTEN LIGHT POLE
ENLIGHTEN LIGHT POLE	ENLIGHTEN LIGHT POLE
ENLIGHTEN LIGHT POLE	ENLIGHTEN LIGHT POLE

SURVEY DATE	10/07/2024	FILE #	20240108
SCALE	1" = 60'	CLIENT	RPC

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, ROCKWALL PROPERTY CORPORATION, Being the owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

TRACT ONE
All that certain lot, tract or parcel of land situated in the GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183, City of Rockwall, Rockwall County, Texas, being a part of a 97.167 acres tract described in a Warranty deed to Rockwall Property Corporation, as recorded in Volume 444, Page 148, Deed Records of Rockwall County, Texas, and the tracts described in a Deed to Rockwall Property Corporation as recorded in Document no. 2024000001438, Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the intersection of the West right-of-way line of John King Boulevard and the South boundary line of said 97.167 acres tract;

THENCE N. 89 deg. 15 min. 43 sec. W, along the south boundary of said 97.167 acres tract, a distance of 208.46 feet to the southeast corner of PARK HILLS, an Addition to the City of Rockwall, Rockwall County, Texas;

THENCE in a northerly direction along the east boundary of Park Hills as follows:

N 9°53'27"W, 10.26'; N 89°07'50"W, 1.50'; S 81°05'03"W, 4.38'; S 72°14'21"W, 5.96'; N 82°14'47"W, 10.09'; N 59°50'32"W, 3.50'; N 89°27'04"W, 6.98'; N 67°30'52"W, 7.73'; N 39°38'33"W, 4.48'; N 6°12'28"W, 15.02'; N 87°43'57"W, 28.88'; N 50°42'40"W, 0.76'; N 4°35'18"E, 9.74'; S 85°09'33"W, 9.74'; N 65°39'32"W, 2.70'; N 35°13'48"W, 13.07'; N 28°21'00"W, 10.67'; N 7°37'31"W, 5.82'; N 40°54'20"E, 8.92'; N 85°10'35"E, 6.87'; N 5°28'06"E, 6.88'; N 22°33'43"E, 21.66'; N 52°49'10"E, 17.81'; N 42°30'58"E, 26.10'; N 23°23'23"W, 5.81'; N 87°37'12"W, 5.34'; N 60°55'42"W, 9.15'; N 5°36'38"W, 10.05'; N 45°12'19"W, 1.43'; N 80°45'14"W, 6.29'; S 42°50'56"W, 2.68'; S 19°28'40"W, 5.90'; N 7°54'12"W, 6.68'; N 78°10'33"W, 10.55'; S 69°33'10"W, 7.77'; N 63°43'02"W, 3.33'; N 35°24'39"W, 6.09'; N 81°52'24"W, 5.01'; N 30°01'27"W, 5.00'; N 4°14'35"W, 7.00'; S 81°02'47"W, 7.07'; N 58°04'25"W, 7.79'; N 0°39'01"W, 3.35'; N 68°19'31"W, 3.61'; N 8°44'56"W, 5.38'; N 3°32'14"E, 9.81'; N 31°13'54"W, 7.28'; S 89°23'53"W, 6.01'; N 16°26'05"W, 11.31'; N 55°11'10"W, 5.61'; N 4°31'23"E, 2.39'; N 21°43'23"W, 6.45'; N 4°52'36"W, 11.67'; N 5°22'12"E, 10.60'; N 51°46'12"E, 12.73'; N 29°47'35"E, 4.23'; N 15°27'47"E, 8.20'; N 40°37'19"W, 10.13'; N 9°56'32"E, 13.38'; N 22°38'47"E, 22.44'; N 27°06'51"W, 17.39'; N 5°48'00"E, 37.66'; N 42°32'37"W, 66.83'; N 10°56'13"W, 88.76'; N 10°07'55"W, 46.33'; N 5°58'08"E, 28.02'; N 87°49'07"W, 28.55'; N 56°28'11"W, 62.92'; N 79°08'23"W, 66.86'; to a point in the south right-of-way of Park Hills Boulevard,

THENCE N. 62 deg. 35 min. 32 sec. E. along said right-of-way line, a distance of 35.86 feet to a 1/2" iron rod found for corner;

THENCE in a northeasterly direction along the south right-of-way of Park Hills Boulevard, along a curve to the right having a central angle of 15°44'24", a radius of 200.00', a tangent of 27.65', a chord of N 70°27'47"E, 54.77 feet, along said right-of-way line, an arc distance of 54.94 feet to a 1/2" iron rod found for corner;

THENCE in a northeasterly direction along the south right-of-way of Park Hills Boulevard, along a curve to the left having a central angle of 15°44'24", a radius of 200.00', a tangent of 27.65', a chord of N 70°27'47"E, 54.77 feet, along said right-of-way line, an arc distance of 54.94 feet to a 1/2" iron rod found for corner;

THENCE N. 62 deg. 35 min. 34 sec. E. along said right-of-way line, a distance of 220.14 feet to a 1/2" iron rod found for corner;

THENCE S. 70 deg. 57 min. 16 sec. E. along said right-of-way line, a distance of 18.46 feet to a 1/2" iron rod found for corner in the west right-of-way of John King Boulevard;

THENCE in a southeasterly direction along a curve to the right having a central angle of 11°19'32", a radius of 1140.00 feet, a tangent of 113.04', a chord of S 18°52'58"E, 224.97 feet, along said right-of-way, an arc distance of 225.34 feet to a 1/2" iron rod set for corner;

THENCE S. 13 deg. 13 min. 12 sec. E. along the west right-of-way line of said John King Boulevard, a distance of 570.01 feet to the POINT OF BEGINNING and containing 202,178 square feet or 4.64 acres of land.

TRACT TWO
All that certain lot, tract or parcel of land situated in the GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183, City of Rockwall, Rockwall County, Texas, being a part of a 97.167 acres tract described in a Warranty deed to Rockwall Property Corporation, as recorded in Volume 444, Page 148, Deed Records of Rockwall County, Texas, and the tracts described in a Deed to Rockwall Property Corporation as recorded in Document no. 2024000001438, Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the intersection of the West right-of-way line of John King Boulevard and the northwest right-of-way of Park Hills Boulevard;

THENCE S. 16 deg. 08 min. 24 sec. W, along the southeast right-of-way of Park Hills Boulevard, a distance of 18.92 feet to a 1/2" iron rod found for corner;

THENCE S. 62 deg. 35 min. 34 sec. W, along said right-of-way line, a distance of 220.14 feet to a 1/2" iron rod found for corner;

THENCE in a southwesterly direction along a curve to the right having a central angle of 15°44'24", a radius of 200.00 feet, a tangent of 27.65 feet, a chord of S 54°43'21"W, 54.77 feet, along said right-of-way line, an arc distance of 54.94 feet to a 1/2" iron rod found for corner;

THENCE in a southwesterly direction along a curve to the left having a central angle of 15°44'24", a radius of 200.00 feet, a tangent of 27.65 feet, a chord of S 54°43'21"W, 54.77 feet, along said right-of-way line, an arc distance of 54.94 feet to a 1/2" iron rod found for corner;

THENCE S. 62 deg. 35 min. 34 sec. W, along said right-of-way line, a distance of 49.54 feet to a point for corner in the east line of Open Space of PARK HILLS, an Addition to the City of Rockwall, Rockwall County, Texas;

THENCE in northerly direction along the east boundary of Park Hills as follows:

N 20°12'22"W, 8.90'; N 53°25'21"E, 34.88'; N 11°41'53"W, 46.67'; N 5°55'22"E, 12.51'; N 13°40'00"W, 110.24'; N 32°45'32"W, 30.72'; S 31°26'15"W, 71.56'; N 2°48'29"E, 57.76'; N 47°09'28"W, 72.07'; N 42°22'14"W, 2.30'; S 78°58'06"W, 49.22'; S 75°11'13"W, 12.52'; S 62°02'36"W, 19.00'; S 42°11'35"W, 13.50'; S 14°15'00"E, 19.57'; S 88°59'44"W, 8.97'; N 9°57'07"W, 7.88'; N 86°43'21"W, 9.47'; N 13°57'22"W, 8.25'; N 50°03'06"W, 9.31'; N 15°46'57"W, 13.69'; N 30°01'05"W, 4.30'; N 21°04'29"E, 7.19'; N 75°03'07"W, 12.75'; N 70°40'12"E, 9.15'; N 84°09'12"E, 17.06'; N 74°48'26"E, 10.36'; N 61°56'23"E, 11.33'; N 52°38'59"E, 12.58'; N 61°26'15"E, 19.99'; N 33°50'14"E, 12.04'; N 69°46'05"E, 8.34'; N 22°46'37"W, 83.07'; S 85°31'53"W, 57.43'; N 42°29'55"W, 44.81'; N 47°50'45"W, 16.12';

THENCE N. 59 deg. 14 min. 31 sec. E. a distance of 357.60 feet to a 1/2" iron rod set for corner in the west right-of-way line of John King Boulevard S.H. 205 bypass;

THENCE S. 30 deg. 41 min. 38 sec. E. along said right-of-way line, a distance of 594.35 feet to a 1/2" iron rod set for corner;

THENCE in a southeasterly direction along a curve to the right having a central angle of 0°49'42", a radius of 1140.00 feet, a tangent of 8.24 feet, along said right-of-way line, an arc distance of 16.48 feet to the POINT OF BEGINNING and containing 196,020 square feet or 4.50 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LOTS 1-3, BLOCK A, BOARDWALK DEVELOPMENT ADDITION, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration herein expressed. I further certify that all other parties who have a mortgage or lien interest in LOTS 1-3, BLOCK A, BOARDWALK DEVELOPMENT ADDITION, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

BILL BRICKER
for ROCKWALL PROPERTY CORPORATION

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared BILL BRICKER known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this ___ day of _____.

Notary Public in and for the State of Texas My Commission Expires: _____

APPROVED
I hereby certify that the above and foregoing plat of LOTS 1-3, BLOCK A, BOARDWALK DEVELOPMENT ADDITION, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of ____, _____.
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.
Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.
WITNESS OUR HANDS, this ___ day of ____, _____.
Mayor, City of Rockwall Planning and Zoning Chairman
City Secretary City of Rockwall City Engineer

CONVEYANCE PLAT
LOTS 1-3, BLOCK A
BOARDWALK DEVELOPMENT
ADDITION
BEING THREE (3) LOTS
9.14 ACRES/398,198 S.F.
SITUATED WITHIN THE
GEORGE W. REDLIN SURVEY, A-183
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 3 OF 3

SYMBOL LEGEND table with icons for TELEVISION CABLE WIRE, GAS METER, ELEC. METER, etc.

OWNER:
ROCKWALL PROPERTY CORPORATION
2235 RIDGE ROAD, STE 201
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 7, 2024
SCALE 1" = 60' FILE # 20240108
CLIENT RPC



CITY OF ROCKWALL
 PLANNING AND ZONING COMMISSION MEMORANDUM
 PLANNING AND ZONING DEPARTMENT
 385 S. GOLIAD STREET • ROCKWALL, TX 75087
 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Senior Planner*
DATE: October 29, 2024
SUBJECT: SP2024-035; *Amended Site Plan for 2935 Ridge Road*

The applicant, Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of The Kroger Co., is requesting the approval of an amended site plan for *Incidental Display* in conjunction with an existing *General Retail Store* (i.e. Kroger). The subject property is an 8.724-acre parcel of land located at 2935 Ridge Road, zoned Commercial (C) District, and situated within the Scenic Overlay (SOV) District. In April 2024, the applicant met with staff for a *Pre-Application Meeting* to discuss adding *Incidental Display* in the form of donation bins to the subject property. Through this meeting staff determined that there was existing *Incidental Display* (i.e. seasonal merchandise, propane exchange, and water cooler exchange) on the subject property that was not in conformance with the Unified Development Code (UDC). Based on this, the applicant has submitted a development application proposing to remedy the existing issue, and bring the subject property into conformance with the UDC; however, the majority of the submitted exhibits only related to the proposed donation bins. In response to this, staff has been working with the property owner (i.e. Kroger Co.) to delineate the *Incidental Display* areas. In the attached packet, staff has included the exhibits submitted by the applicant; however, the only issue being reviewed by the Planning and Zoning Commission is the area designated for *Incidental Display* and not the items being displayed.

According to the Subsection 02.03(F)(6), *Retail and Personal Service Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), *Incidental Display* shall meet the following requirements, [1] all outdoor sales and display must be delineated on a approved site plan, [2] outdoor sales and display may not exceed five (5) percent of the adjacent building floor area, [3] outdoor sales and display may occupy up to 30.00% of a covered sidewalk that is located within 20-feet of the building, and [4] any outside sales and display, not located on a covered sidewalk, must be screened. As it stands today, the existing incidental display is not delineated on an approved site plan, and is not all under a covered sidewalk. According to the site data table provided by the applicant, there is 2,037 SF of covered sidewalk and 357 SF of existing *Incidental Display* (i.e. ~62 SF is uncovered). In order to address this, the applicant is requesting to allow *Incidental Display* in an ~5,329.62 SF area as delineated on the proposed site plan. This request would delineate the *Incidental Display* on the site plan; however, it would not comply with the other aforementioned requirements for *Incidental Display* (i.e. *Items 2-4 listed above*). More specifically, the request exceeds five (5) percent of the adjacent building's floor area [i.e. $100 * (5,329.62 \text{ SF} / 89,958 \text{ SF}) = 5.93\%$], it would occupy all of the covered sidewalk, and the uncovered portions would not be screened. With this being said, the majority of the incidental display would be for seasonal merchandise (i.e. it would not be



FIGURES 1 & 2: STAFF PHOTOS OF SEASONAL INCIDENTAL DISPLAY (JULY 23, 2024)

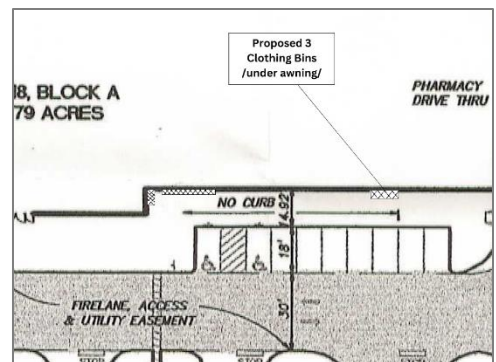


FIGURE 3: NEW PERMANENT INCIDENTAL DISPLAY

consistently all year), with the exception of three (3) permanent installations that are identified in *Figure 3*. Based on this, the applicant is requesting an exception from the Planning and Zoning Commission. Staff should clarify that the site data table and images provided by the applicant indicate that they are making a request to allow donation bins; however, donation bins are allowed *by-right* in an established incidental display area. The Planning and Zoning Commission is being tasked with determining if the *Incidental Display* proposed by the applicant -- *which is not in conformance with the requirements of the Unified Development Code (UDC)* -- is reasonable for the subject property and warrants the approval of an exception. Exceptions to the *General Standards* require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. Staff should note that the current *Incidental Display* has existed on the subject property without issue since the grocery store was established; however, requests for exceptions are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the October 29, 2024 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2935 Ridge Rd, Rockwall, TX 75032

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION Kroger Marketplace

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING retail

CURRENT USE retail

PROPOSED ZONING _____

PROPOSED USE placement of 2 textile recycling bins

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER The Kroger Co.

APPLICANT Texx Team USA LLC

CONTACT PERSON Rick Landrum

CONTACT PERSON Miglena Minkova

ADDRESS 1014 Vine Street

ADDRESS 2614 Andjon Dr

CITY, STATE & ZIP Cincinnati, OH 45202

CITY, STATE & ZIP Dallas, TX 75220

PHONE 513.762.4231

PHONE 973-420-4634

E-MAIL rick.landrum@kroger.com

E-MAIL miglena.minkova@greenteamworldwide.com

NOTARY VERIFICATION [REQUIRED]

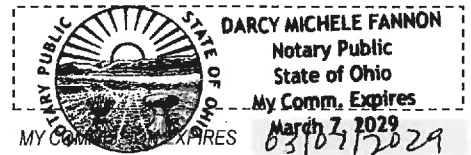
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Rick Landrum [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th _____ DAY OF July 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

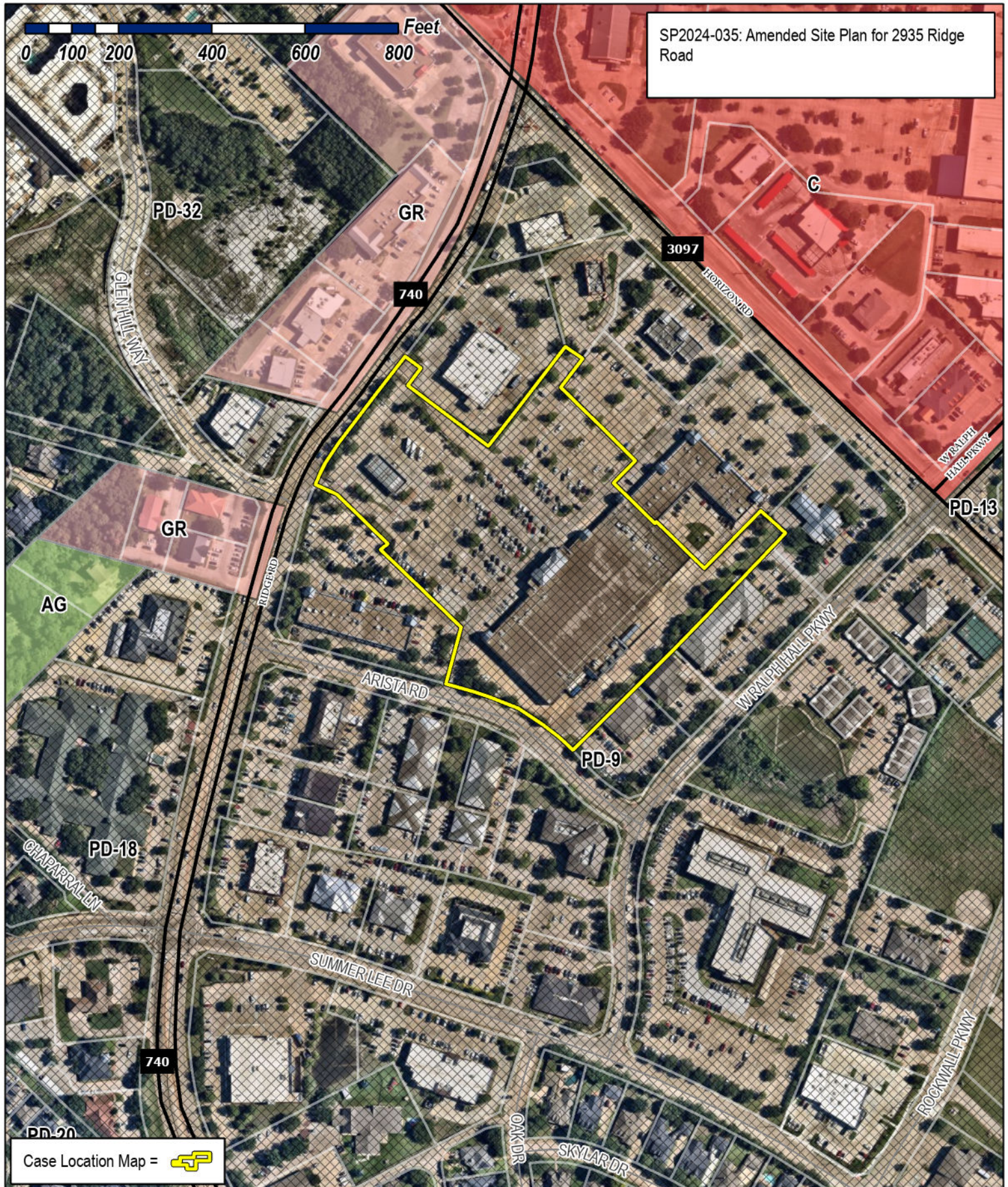
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF June 2024

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
OHIO



Type text here



SP2024-035: Amended Site Plan for 2935 Ridge Road

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Dear City of Rockwall ,

I hope this letter finds you well. I am writing to request permission to place one clothing bin on the property of Kroger Marketplace located at **2935 Ridge Rd, Rockwall, TX 75032, USA**.

At Texx Team USA LLC, we specialize in providing textile recycling solutions to various communities, municipalities, and organizations. Our bins are monitored 24/7 via live feed cameras, ensuring constant surveillance and maintenance. Additionally, we operate seven days a week and visit each location **every single day (per agreement with Kroger Co.)**.

We believe that placing clothing bins at Kroger Marketplace will bring **several benefits to the Rockwall community**. Not only will it provide residents with a convenient and accessible means of recycling unwanted textiles, but it will also contribute to environmental sustainability efforts. Our bins allow for the recovery of non-mandated materials, such as clothing, shoes, and household textiles, which would otherwise end up in landfills. Through our recycling process, over 95% of the materials we collect are reused or recycled, minimizing waste, and conserving valuable resources.

Furthermore, we are committed to providing the City of Rockwall with a **tonnage report** for the location, allowing you to track the impact of our recycling efforts on your community. We have successfully partnered with numerous municipalities, schools, fire departments, and police departments, and we are eager to extend our services to Rockwall residents.

We believe that placing clothing bins at Kroger Marketplace aligns with the city's goals of promoting sustainability and environmental responsibility. We are confident that this initiative will be well-received by residents and contribute positively to the community.

Thank you for considering our request. We look forward to the opportunity to work together to make a difference in the Rockwall community. Should you have any questions or require further information, please do not hesitate to contact me at **973-420-4634** or **miglana.minkova@greenteamworldwide.com**

Sincerely,

Miglana Minkova

Government Relationship Manager

Greenteam Worldwide Recycling Group – part of which is Texx Team USA LLC

COMPUMERIC

To Whom It May Concern:

SECURR, a manufacturer of clothing collection bins and other public waste and recycling receptacles, offers a range of clothing collection bin models in varying sizes and with varying degrees of theft resistance. In response to certain customer applications where it is critical to deny physical entry into the bin to a potential thief through the chute area, SECURR developed a proprietary geared-chute mechanism.

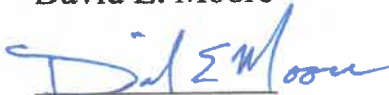
On these geared models, when the loading tray is lifted to deposit a bag or bundle of clothing into the bin, a gearbox to which the tray is attached simultaneously rotates a secondary baffle that blocks access to the inside of the bin until the tray has been lifted high enough for the clothing to drop into the bin. This second moving baffle severely restricts the ability to fish clothing out of the bin, and makes it impossible for a person to climb into the bin through the chute area. We have hundreds of bins in service with this geared-chute design, and it has proven to be 100% effective at keeping people from climbing into our bins.

We provide our customer Green Team Worldwide Environmental Group (aka Texima, aka TexGreen, aka Green Inspiration) with our model CB26G16 bin which uses this gear-driven chute design. We also provide them with retrofit chute assemblies utilizing the geared-chute design to upgrade their fleet of bins made by other manufacturers to restrict access through the chute area.

We can be reached at sales@securr.com if any further information is required on this matter.

Sincerely,

David E. Moore



VP and General Manager

Clothes & Shoes

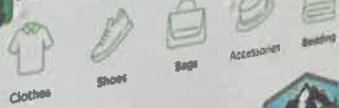
Give, Get, and
Remember what's behind it!
714.344-8522



Clothes & Shoes

- No Thrift Store
- Condition

We can accept the following textile items:



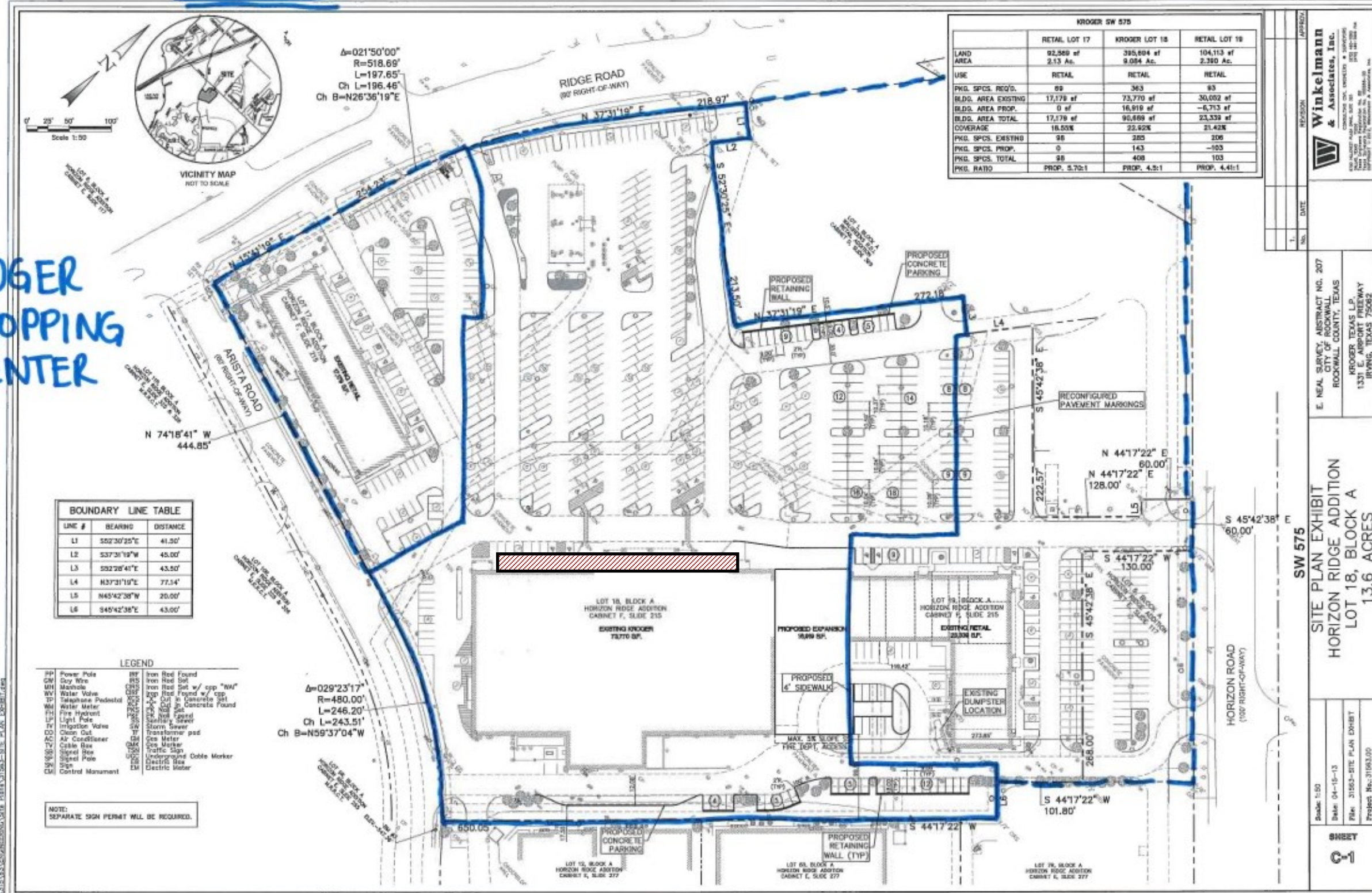
LEAD
LAW ENFORCEMENT AGAINST DRUGS & VIOLENCE
"On the Street and in the Classroom"

Shoes



DAL-575

**-KROGER
---SHOPPING
CENTER**



BOUNDARY LINE TABLE

LINE #	BEARING	DISTANCE
L1	S52°30'25"E	41.50'
L2	S37°31'19"W	45.00'
L3	S52°28'41"E	43.50'
L4	N37°31'19"E	77.54'
L5	N45°42'38"W	20.00'
L6	S45°42'38"E	43.00'

LEGEND

PP	Power Pole	RF	Iron Rod Found
GW	Guy Wire	RS	Iron Rod Set
MH	Manhole	RSW	Iron Rod Set w/ csp "NW"
WV	Water Valve	GRF	Top Rod Found w/ csp
TP	Telephone Pedestal	CC	Cur in Concrete Set
WM	Water Meter	CO	Cur in Concrete
FH	Fire Hydrant	NS	Not Set
LP	Light Pole	NS	Not Set
IV	Ingraben Valve	NS	Not Set
CO	Clear Out	TS	Transformer pad
AC	Air Conditioner	GM	Gas Meter
TV	Cable Box	GM	Gas Meter
SR	Signal Box	TM	Traffic Sign
SP	Signal Pole	UC	Underground Cable Marker
SM	Sign	EL	Electric Line
CM	Control Monument	EM	Electric Meter

NOTE:
SEPARATE SIGN PERMIT WILL BE REQUIRED.

KROGER SW 575

	RETAIL LOT 17	KROGER LOT 18	RETAIL LOT 19
LAND AREA	92,569 sf 2.13 Ac.	395,694 sf 9.084 Ac.	104,113 sf 2.380 Ac.
USE	RETAIL	RETAIL	RETAIL
PKG. SPCS. REQ'D.	89	363	93
BLDG. AREA EXISTING	17,179 sf	73,770 sf	30,092 sf
BLDG. AREA PROP.	0 sf	16,919 sf	-6,713 sf
BLDG. AREA TOTAL	17,179 sf	90,689 sf	23,379 sf
COVERAGE	18.55%	22.82%	21.42%
PKG. SPCS. EXISTING	98	385	208
PKG. SPCS. PROP.	0	143	-103
PKG. SPCS. TOTAL	98	400	103
PKG. RATIO	PROP. 5.70:1	PROP. 4.5:1	PROP. 4.41:1

Winkelmann & Associates, Inc.
 600 N. HUNTER ROAD, SUITE 200
 ROCKWALL, TEXAS 75087
 PHONE: 972.961.1111
 FAX: 972.961.1112
 WWW: WWW.WINKELMANN.COM

E. NEAL SURVEY, ABSTRACT NO. 207
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 KROGER TEXAS L.P.
 1331 E. AIRPORT FREEWAY
 IRVING, TEXAS 75062

SW 575
 SITE PLAN EXHIBIT
 HORIZON RIDGE ADDITION
 LOT 18, BLOCK A
 13.6 ACRES

Scale: 1:50
 Date: 04-15-13
 Plan: 31553-SITE PLAN EXHIBIT
 Project No: 31563.00

SNEY

Seasonal Selling

SITE DATA TABLE

ITEM	NOTES
TOTAL COVERED AREA	2037 Sq. Ft.
M.4 (2)	OUTDOOR SALES AND DISPLAYS ARE 1% OF THE ADJASENT BUILDING FLOOR AREA
M.4 (3)	TOTAL OUTDOOR SALES AND DISPLAY OCCUPY 20% OF A THE COVERED SIDEWALK, WITH MINIMUM 10 FT PASSABLE DISTANCE
CURRENT DISPLAYS AND SALES	357 Sq. Ft. TOTAL
PROPOSED 3 CLOTHING BINS	48 Sq. Ft. TOTAL

September 9, 2019
Project No. GI201909
Rev. 0

Green Inspiration BC
10-1091 Millcarch St
Richmond, BC
V6V 2H4

Attention: Pavel Lalev, Administrative and Development Manager

Regarding: Clothing Donation Bins - Type CB26G16

Dear Pavel:

West End Engineering Ltd. has completed an engineering assessment of the above-mentioned clothing donation bins proposed for installation in Vancouver. In our opinion, we feel that the construction, design and operation of the donation bins are safe. The key findings of our assessment are provided herein.

The construction and design of the bins is such that it minimizes the possibility of ingress and damage due to regular use. They are painted and therefore suitable for outdoor exposure.

We note that while the bins weigh 274 kg and are therefore difficult to move, permanent anchorage could be provided at the discretion of the owner. Our assessment did not address the issue of permanent anchorage or the possibility of using heavy machinery (forklifts, etc.) in order to handle the bins.

We note that the City of Delta has approved the use of these bins without engineering certification and that hundreds of this model of bin are in service in the United States.

This assessment was performed based solely on the information provided to us by Green Inspiration and is therefore limited to the data provided. The bin manufacturer does not disclose certain proprietary information. No guarantees as to the performance or safety of the bins are therefore given or implied aside from what could be readily determined from the data provided.

We trust that the above is satisfactory for your purposes but if you have any questions, please do not hesitate to contact us.

Kind regards,
West End Engineering Ltd



Per: Igor Sikhimbaev, P.Eng
Principal Structural Engineer
604-721-0980
igor_ca@hotmail.com

MASTER LICENSE AGREEMENT

THIS MASTER LICENSE AGREEMENT (the "Agreement") is executed this ____ day of December, 2023 ("Effective Date"), by and between KROGER TEXAS L.P., an Ohio limited partnership, hereinafter referred to as "Licensor," and TEXX TEAM USA LLC, a Texas corporation, hereinafter referred to as "Licensee."

RECITALS

Licensor and Licensee desire to enter into an agreement allowing Licensee to utilize certain space within Licensor's shopping centers listed on Exhibit "A" (each a "Shopping Center" and collectively or in the plural, "Shopping Centers") for the operation of Green Team donation bins as hereinafter set forth.

AGREEMENT

NOW, THEREFORE, for and in consideration of Ten Dollars (\$10.00), the mutual promises set forth herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Licensor and Licensee hereby agree as follows.

1. **GRANT OF LICENSE/LICENSED AREA(S).** Licensor hereby grants a temporary, revocable license to Licensee to use space in the Shopping Centers for the purpose set forth in Section 4 of this Agreement, subject to any restrictions of record. The "Licensed Area" at each Shopping Center shall consist of that certain portion of the parking lot in each Shopping Center depicted on Exhibit "B" (each a "Licensed Area" and collectively or in the plural, "Licensed Areas"). Licensee shall confine its operations to be wholly within the applicable Licensed Area. Licensor shall have the right to relocate the Licensee to a different location in a particular Shopping Center if Licensor determines in its sole, but good faith opinion, that Licensee's operations would be better utilized or Licensor's space requirements would be better facilitated pursuant to such relocation. Nothing contained in this Agreement shall be deemed to create any interest in Licensee other than a revocable, temporary license. In no event shall this Agreement be deemed to have created a lease, possessory right, easement or greater estate notwithstanding any expenditure, action or reliance on the part of Licensee.

2. **TERM.** The term of this Agreement ("Term") shall be one (1) year, commencing on January 1, 2024, and expiring December 31, 2024, and shall continue thereafter on a month-to-month basis only, provided, however, that Licensor shall be entitled to terminate this Agreement at any time during the Term for any reason or no reason at all, with or without cause, upon forty-eight (48) hours prior written notice to the Licensee.

3. LICENSE FEE

3.01 Licensee agrees to pay to Licensor, without offset, demand or notice, a monthly license fee of FOUR HUNDRED AND FIFTY DOLLARS (\$450.00) per Shopping Center location ("License Fee") for the right to use each Licensed Area, which Licensed Area may contain no more than (3) donation bins. The applicable Licensee Fee shall be paid by checks or drafts to Licensor and mailed to such address as may from time to time be designated in writing by Licensor, but shall initially be sent to the address set forth in Section 3.04 of this Agreement below; and shall be payable in monthly installments, each due in advance on or before the first day of each month.

3.02 License Fees for any period which is for less than one (1) month shall be a prorated portion of the monthly installment herein based upon a thirty (30) day month.

3.03 In the event Licensor is required to increase Shopping Center clean-up and maintenance as a result of Licensee's services performed in a Licensed Area, Licensor shall provide Licensee with written notice of such amount of increase to Licensor, whereupon Licensee shall have three (3) days from the date of receipt of such written notice to remedy or otherwise perform, at Licensee's own expense, such increased clean-up and maintenance. In the event Licensee fails within said three-day period to take such action, Licensor shall assess Licensee for the reasonable estimated cost of the increased clean-up and maintenance, which assessments Licensee shall pay monthly as an increase in its monthly License Fees.

3.04 Initially, and until further notice from Licensor, Licensee shall make payment of the License Fees as follows:

Kroger Teas L.P.
c/o 1045, LLC
1045 South Woods Mill Road
St. Louis, Missouri 63017

4. USE

Licensee shall use the Licensed Areas for the sole purpose of a placement/operation of a Green Team clothing donation bin consistent with the majority of Licensee's donation bins in the region as proposed and approved by Licensor and for no other purpose. Licensor makes no warranties or representation as to Licensee's ability to conduct the Licensee's proposed license use. In the event that Licensee is unable to operate due to governmental restrictions, laws, ordinances, codes or similar mandates, or in the event any restrictions of record would prevent Licensee from operating from a particular Licensed Area, either Licensee or Licensor may terminate this Agreement with thirty (30) days' advance written notice from the terminating party to the other.

4.02 Licensee agrees to conform to all public authority, by whomsoever asserted, regarding the use, occupancy and/or condition of the Licensed Area and to indemnify and save Licensor harmless from all loss, cost and expense, including reasonable attorney's fees, which may result from a failure to do so.

4.03 [Intentionally Deleted]

4.04 Licensee agrees to operate a first-class business and to do nothing which would detract from or lessen the image of Licensor's business. Without limiting the foregoing, it is specifically agreed that (i) Licensee's employees shall be appropriately dressed and groomed at all times, consistent with Licensor's standards for its own employees; (ii) the appearance of the Licensed Area shall, at all times, be orderly, neat and clean; and (iii) Licensee shall not conduct its business in an unethical manner which may result in complaints by Licensor's customers regarding Licensee's business practices, products, or customer service practices.

4.05 Licensee shall keep a twenty-four hours/seven (24-7) days a week hotline number visibly posted on each bin. Upon receipt of any complaints and notice from Licensor or other parties, Licensee shall respond in no more than twelve (12) hours. Otherwise, Licensor shall exercise default remedies including but not limited to the termination of this Agreement as provided in sections two (2) and twelve (12) herein.

4.06 Licensee shall not, without Licensor's prior written consent, keep anything within the Licensed Area or use the Licensed Area for any purpose which increases the insurance premium cost for, or invalidates, any insurance policy carried by Licensor on the Premise(s) or other parts of Licensor's food and drug store(s). All property kept, stored or maintained within the Licensed Area by Licensee shall be at Licensee's sole risk.

4.07 Without limiting the restriction on use of the Licensed Area(s) set forth in Section 4.01 of this Agreement or otherwise of record, Licensee shall not conduct within the Licensed Area any fire, auction, bankruptcy, "going-out-of-business," "lost-our-lease," or similar promotional sales event, or sell from the Licensed Area "seconds" or "generics" or operate as a "surplus" store (provided the Licensed Area is permitted to receive donations that would otherwise be sold in a surplus store). Licensee shall not permit any objectionable or unpleasant odors to emanate from the Licensed Area; nor place or permit to be placed any radio, television, loudspeaker or amplifier within or about the Licensed Area which can be seen or heard from outside the Licensed Area; nor place any antenna, or satellite dish on the exterior of the Licensed Area; nor take any action which would constitute a nuisance or would disturb or endanger customers or employees within Licensor's store (s) or unreasonably interfere with their use of such stores; nor do anything which would tend to injure the reputation of the Licensor's store(s).

5. **TAXES.** Licensor shall pay all taxes and assessments upon the property on which the Licensed Area is located, which are assessed during the term of this Agreement. However, Licensee shall pay all taxes attributable to any equipment, trade fixtures or personalty of Licensee located in or on the Licensed Area at each location.

6. IMPROVEMENTS, MAINTENANCE, REPAIR AND RESTORATION OF DAMAGE, SIGNS

6.01 [Intentionally Deleted]

6.02 By placing its bin in a Licensed Area, Licensee shall be deemed to have accepted the Licensed Area as being in satisfactory condition and repair and in its "as-is," "where-is" and "with all faults" condition. Licensee shall, at Licensee's sole cost and expense, keep the Licensed Area and every part thereof in a neat and orderly good condition and clear of debris, refuse and free from dumping of same. Licensee shall, upon the expiration or sooner termination of this Agreement, return the Licensed Area to Licensor in the same condition as received, reasonable wear and tear excepted. Any damage to the common area of the applicable Shopping Center and/or adjacent property or improvements caused by Licensee's use of the Licensed Area and/or removal of Licensee's property from same shall be promptly (and in any event, prior to the termination of this Agreement) repaired at the sole cost and expense of Licensee.

6.03 Licensee shall maintain all parts of the Licensed Area and all improvements constructed or placed thereon, without exception, which Licensee shall maintain in good order and state of repair and in a safe and sanitary condition and repair as at the commencement of the term except for aging by the elements which cannot be corrected by good maintenance practice continuously conducted. Licensee further agrees to keep such Licensed Area orderly, attractive and clean at all times - free of debris and trash and from dumping of same.

6.04 Licensee agrees that it will at all times in the repair and maintenance and in the occupancy and use of the Licensed Area conform in all matters with every law, order, regulation and requirement of all governmental authorities and/or any and all Shopping Center rules and regulations, and restrictions of record, and will hold and save Licensor harmless and free of all expense and liability arising from Licensee's failure to comply with this paragraph, including attorney's fees.

6.05 If Licensee shall at any time fail to maintain or make any repair reasonably required of Licensee under this Agreement within five (5) days after receipt of Notice from Licensor so to do (except in the event of an emergency, in which case no prior notice from Licensor shall be required), Licensor may at its option enter upon the Licensed Area, make such maintenance or repair and charge the reasonable cost thereof to Licensee, which Licensee agrees to pay to Licensor, upon demand, together with interest

thereon at the rate often percent (10%) per annum (or the maximum interest rate permitted under applicable law) from the date incurred to the date paid.

6.06 [Intentionally Deleted]

7. **RIGHT TO ENTER.** The right is reserved to Licensor, Licensor's grantors, its agents and workmen, at all reasonable times, to enter upon any part of the Licensed Area for the purposes of inspecting same and making any repairs which Licensor may deem necessary for the health, safety or protection of the public, the protection or preservation of the building or its equipment or appurtenances and/or to exhibit the same to prospective purchasers. Under such circumstances, where Licensee is not in default pursuant to Paragraphs 6.02 or 6.03 above, Licensor shall be responsible for any damage it causes to Licensee's equipment or improvements or for any injury to persons.

8. **TITLE TO FIXTURES.** Licensor shall not acquire any title or interest in any fixtures or equipment placed by Licensee on the Licensed Area. Licensee may at any time, or from time to time, remove or exchange any or all such, equipment, property and materials, and Licensee prior to the termination of this Agreement, may remove from said Licensed Area all of such, equipment, property and materials constructed or installed by it. Licensee agrees to repair, at its sole expense, all damages that may result from the removal of such improvements and other property and restore the Licensed Area to its condition prior to the commencement of this Agreement, reasonable wear and tear excepted.

9. [Intentionally Deleted]

10. **LIABILITY INSURANCE.** Licensee covenants that at all times during the term of this Agreement it shall keep in effect insurance coverage with qualified insurance companies (as defined below) covering Workers' Compensation, Employers' Liability, Automobile Liability and Commercial General Liability, including product liability, all with such limits as are set forth below to protect Licensor and Licensee pursuant hereto and from the liabilities insured against by such coverages. Such coverage shall name Licensor as an additional insured. Licensee shall furnish Licensor with a certificate evidencing the insurance required by this paragraph and evidencing the obligation of its insurance carriers not to cancel or materially amend such policies without twenty (20) days prior written notice to Licensor. The insurance coverages required by this paragraph shall conform to the following:

Type of Insurance	Limits per Occurrence
Workers' Compensation	Statutory Limits
Employers' Liability or Stop gap coverage	\$ 500,000
Automobile Liability	\$ 500,000
Commercial General Liability	\$3,000,000 per occurrence
With contractual liability	\$3,000,000 aggregate,
Endorsement	\$ 500,000 property damage
Product Liability	\$2,000,000

To be a qualified insurance company hereunder, said insurance company must:

- (i) be licensed and admitted to do business in the state where the applicable Licensed Area is located;
- (ii) have a policy holders' rating of B+ or above and have a financial category rating of Class VII or above in the most recent edition of "Best's Key Rating Guide."

11. [Intentionally Deleted]

12. **DEFAULT AND ENFORCEMENT OF AGREEMENT.** If Licensee shall default in the fulfillment of any of the covenants or conditions hereof except payment of License Fees, Licensor may, at its option, after fifteen (15) days prior written notice to Licensee, terminate this Agreement unless within said interval Licensee shall have corrected the breach specified in said notice and thereupon such termination shall be as complete and effective as if this Agreement shall have expired by its terms, and Licensee shall thereupon quit and surrender the Licensed Area.

If Licensee shall default in the payment of License Fees, or any part thereof, or in making any other payment herein required, and such default shall continue for a period of ten (10) days after receipt of written notice to Licensee, or if the Licensed Area or any part thereof shall be abandoned, or if Licensee shall cease to operate from the Licensed Area, or if Licensee shall be dispossessed therefrom by or under any authority other than Licensor, or if Licensee shall institute any proceeding under any insolvency or bankruptcy act seeking to effect a reorganization or an arrangement with its creditors, or if in any proceeding based upon the insolvency of Licensee or relating to bankruptcy proceedings a receiver or trustee shall be appointed for Licensee, or the Licensed Area, or if any proceeding shall be commenced for the reorganization of Licensee, or if the Licensed Area shall be taken on execution or by any process of law (provided such involuntary proceedings are not dismissed within sixty (60) days), or if Licensee shall admit in writing its inability to pay its obligations as they become due, then Licensor may, at its option, terminate this Agreement, by written notice, and Licensor or its agents may immediately or at any time thereafter re-enter the Licensed Area and Licensee shall thereafter have no rights hereunder. After default, Licensee shall pay Licensor such reasonable damages as result from Licensee's breach. In addition to any other remedy provided by law or permitted herein upon Licensee's default, Licensor may, at its option, but without being obliged so to do, take possession of the Licensed Area, re-license the same on behalf of Licensee, applying any monies collected, first to the payment of expenses of obtaining possession; second, to the payment of costs of placing the Licensed Area in usable condition; and third, to the payment of License Fees due hereunder, and any other charges due Licensor; and Licensee shall remain liable for any deficiency in fees or royalty which shall be paid to Licensor upon demand. Any amount not paid within ten (10) days of the due date shall bear interest from the date due at the rate of one and one half percent (1 1/2%) per month or the highest legal rate of interest, whichever is lower, until paid. Licensee agrees to pay all costs and a reasonable attorney's fee incurred by Licensor in enforcing any provision hereof, or in obtaining possession of the Licensed Area or in following any other remedy provided Licensor by law, whether by suit or otherwise. Waiver of any of the covenants hereof by Licensor shall not be deemed or taken to be a waiver of any succeeding or other breach. Licensor may pursue any remedy herein provided or which it may have at law alternatively or concurrently and the pursuit of any remedy herein provided or which may be available at law shall not constitute a waiver of, or estoppel to, pursue any other such remedy.

13. **ATTORNEYS' FEES.** In the event of litigation or dispute arising from default in performance of any of the provisions of this Agreement by either Licensor or Licensee, the prevailing party shall be entitled to receive from the other party reasonable attorneys' fees and costs of action incurred. In the event that Licensor shall, by reason of acts or omissions by Licensee, or by any other reason arising out of the Licensor-Licensee relationship, be made a party to litigation commenced by a person other than the parties hereto, then Licensee shall pay all costs, expenses and reasonable attorneys' fees incurred by the other party which arise from or are in connection with such litigation.

14. **ASSIGNMENT AND SUBORDINATION OF AGREEMENT.** Licensee shall not sub-license, or assign all or any portion of the Licensed Area, either in whole or in part, or assign Licensee's rights in and to this Agreement, without the prior written consent of Licensor, which consent may be withheld in

Licensor's sole and arbitrary discretion. No permitted sub-license or assignment shall release Licensee from any of its obligations under the terms of this Agreement, and Licensor shall at all times have the right to look to Licensee for the performance of all of the covenants to be performed on the part of Licensee.

15. NOTICES

Any notice or other communication under this Agreement shall be in writing and shall be either personally delivered or mailed by first class registered or certified mail, postage prepaid, return receipt requested, addressed as follows:

Licensor: Kroger Texas L.P.
c/o The Kroger Co.
1014 Vine Street
Cincinnati, Ohio 45202
Attn: Real Estate Shared Services

With a copy to: The Kroger Co.
1014 Vine Street
Cincinnati, Ohio 45202
Attn: Law Dept. -- Division 035

With a copy to: 1045, LLC,
1045 South Woods Mill Road
St. Louis, Missouri 63017

Licensee: Texx Team USA LLC
Attn: Miglena Minkova
2614 Andjon Drive, Dallas, Texas 75220

Subject to the right of either party to designate by notice in writing any new address to which notices, demand and installments of License Fees may be sent.

16. **SECURITY DEPOSIT.** Concurrently with Licensee's execution of this Agreement, Licensee has deposited with Licensor the amount of FIVE THOUSAND Dollars (\$5,000.00). Said sum shall be held by Licensor as security for the faithful performance by Licensee of all the terms, covenants and conditions of this Agreement to be kept and performed by Licensee. If Licensee defaults with respect to any provisions of this Agreement, including but not limited to the provisions relating to the payment of License Fees, Licensor may (but shall not be required to) use, apply or retain all or any part of the Security Deposit for the Payment of any License Fees or any other sum in default, or the payment of any amount which Licensor may spend or become obligated to spend by reason of Licensee's default, or to compensate Licensor for any other loss or damage which Licensor may suffer by reason of Licensee's default. If any portion of the Security Deposit is used or applied Licensee shall, within (5) days after written demand therefor, deposit cash with Licensor in an amount sufficient to restore the Security Deposit to its original amount and Licensee's failure to do so shall be a default under this Agreement. Licensor shall not be required to keep the Security Deposit separate from its general funds, and Licensee shall not be entitled to interest on such deposit. If Licensee shall fully and faithfully perform every provision of this Agreement to be performed by it, the Security Deposit or any balance thereof shall be

returned to Licensee (or, at Licensor's option, to the last assignee of Licensee's interest hereunder) within thirty (30) days following expiration of the Term.

17. **LIENS.** Licensee agrees and covenants that it will not cause or suffer the creation of any mechanic liens, or other liens for any labor performed or materials furnished for or on behalf of Licensee, which may cloud or impair Licensor's title or interest in the Store or the Licensed Area, and that if any such liens shall arise due to an act or omission of Licensee, Licensee shall promptly remove the same at its own expense or otherwise undertake the defense of an action to enforce or foreclose said lien; provided, however, for so long as Licensee in good faith resists the enforcement and foreclosure of said lien, Licensee shall not be in default under this Agreement. If Licensee does not promptly remove any lien as above provided, Licensor shall have the right at its option to do so and charge Licensee the amount thereof and Licensee shall immediately repay Licensor the amount thereof.

18. **INDEMNITY.** Licensee acknowledges and agrees that it enters onto the Licensed Area at its sole risk and expense and accepts the Licensed Area in its "as is," "where-is," and "with all faults" condition hereby releasing Licensor from any and all liability for injury or property damage occurring to Licensee while on the Licensed Area regardless of cause, including the negligence or fault of Licensor. Licensee shall indemnify and hold harmless Licensor against and from any and all claims arising from Licensee's use of the Licensed Area or from the conduct of its business or from any activity, work or other things done, permitted or suffered by Licensee in or about the Licensed Area, and shall further indemnify and hold harmless Licensor from and against any and all claims arising from any breach or default in the performance of any obligation on Licensee's part to be performed under the terms of this Agreement, or arising from any act or negligence of Licensee, or any officer, agent, employee, guest, or invitee of Licensee, and from all costs, attorneys' fees, and liabilities incurred in or about the defense of any such claim or any action or proceedings brought thereon. If any action or proceeding be brought against Licensor by reason of such claim, Licensee upon notice from Licensor shall defend the same at Licensee's expense by counsel reasonably satisfactory to Licensor. Licensee, as a material part of the consideration to Licensor, hereby assumes all risk of damage to property or injury to persons in, upon or about the Licensed Area; and Licensee hereby waives all claims in respect thereof against Licensor or any of its contractors, agents, employees, customers or others for whom Licensor might otherwise be responsible. Licensee shall give prompt notice to Licensor in case of casualty or accidents in the Licensed Area.

Licensor or its agents shall not be liable for any loss or damage to persons or property resulting from fire, explosion, steam, gas, electricity, water or rain which may leak, drain, or spread from any part of the Shopping Center or from the pipes, appliances or plumbing works therein, street or subsurface or from any other place resulting from dampness or any other cause whatsoever. Licensor or its agents shall not be liable for interference with the light, air or for any latent defect in the Licensed Area.

19. **EXUSABLE DELAYS (FORCE MAJEURE).** If either party is delayed, prevented, or hindered from the performance of any covenant or condition of this Agreement other than the payment of money (for which there will be no period of delay) because of acts of the other party, acts of God, action of the elements, war invasion, insurrection, acts of public enemy, riot, mob violence, civil commotion, sabotage, labor disputes, inability to procure or general shortage of labor, materials, facilities, equipment, or supplies on the open market, failure of or delay in transportation, laws, rules, regulations, or orders of governmental or military authorities, or any other cause beyond the reasonable control of the party so obligated, whether similar or dissimilar to the foregoing, such performance shall be excused for the period of the delay, and the period for such performance shall be extended for a period equivalent to the period of such delay.

20. **ADVERTISING; DEMOGRAPHIC INFORMATION.** Licensee shall not use the Licensor's brand names for Licensee's advertising and promotions except only to the extent reasonably necessary to identify Licensee's business location(s) and for no other use, and in any event, only with the prior written consent of Licensor. Any unauthorized use of otherwise shall automatically terminate the rights of Licensee in this Agreement and subject Licensee to all remedies available in this Agreement, at law and in equity.

21. **COMMON AREA.** Licensee, its customers, agents, contractors and employees, shall be permitted to use Licensor's parking area on a non-exclusive basis. However, Licensee agrees to require its employees to park in the area designated by Licensor for pick-ups. In no way shall Licensee block drive aisles or additional parking spaces other than the temporary use of a parking space next to bin for donation retrievals.

22. **SUBROGATION.** As long as their respective insurers so permit, Licensor and Licensee hereby mutually waive their respective rights of recovery against each other for any loss insured by fire, extended coverage and other property insurance policies existing for the benefit of the respective parties. Each party shall apply to their insurers to obtain said waivers. Each party shall obtain any special endorsements, if required by their insurer to evidence compliance with the aforementioned waiver.

23. **MISCELLANEOUS**

23.01 **Waiver.** The waiver by either party of any of the covenants contained herein shall not be deemed a waiver of such party's rights to enforce the same or any other covenant contained herein. The rights and remedies given to the parties hereunder shall be in addition to, and not in lieu of any right or remedy as provided by law.

23.02 **Use of Terms.** The terms, "Licensor" and "Licensee," shall include the plural, if necessary. All terms used in the singular or in the masculine gender shall apply to the plural or to the feminine or neutral gender as the context may require. If there is more than one Licensee named herein, their obligations hereunder shall be joint and several.

23.03 **Time is of the Essence.** Time is of the essence of the Agreement.

23.04 **Relationship.** This Agreement shall not nor shall any part thereof be construed as a joint enterprise, a partnership, or any other relationship except that of Licensor and Licensee.

23.05 **Successors and Assigns.** This Agreement shall apply to and bind the heirs, executors, administrators, successors and assigns of all of the parties hereto (and with respect to Licensor, the rights and benefits of Licensor shall inure to the benefit of its parent, affiliates, and subsidiaries and may be directly enforced by such parent, affiliates, and subsidiaries).

23.06 **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the state in which the applicable Licensed Area is located.

23.07 **Counterparts.** This Agreement may be signed in multiple counterparts which, including via electronic means and signatures (such as fax, pdf, DocuSign and the like, which signatures will be considered original) when signed by all parties, shall constitute a binding agreement.

23.08 **Entire Agreement.** This Agreement reflects, supersedes and merges all the prior agreements and negotiations of the parties hereto with respect to its subject matter, and contains their entire agreement.

23.09 **Further Assurances.** The parties agree to promptly sign all documents reasonably required to give effect to the provisions of this Agreement.

23.10 **Severability.** If any one or more of the provisions contained herein shall, for any reason, be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision of this Agreement, but this Agreement shall be construed as if such invalid, illegal or unenforceable provision had not been contained herein.

23.11 **Legal Advice.** Each party has received independent legal advice from its attorneys with respect to the advisability of executing this Agreement and the meaning of the provisions hereof. The provisions of this Agreement shall be construed as to the fair meaning and not for or against any party based upon any attribution of such party as the sole source of the language in question.

23.12 **Consents.** Licensor and Licensee each represent and warrant to the other that each respective party has the full right, legal power and actual authority to enter into this Agreement, and has obtained the consent of any and all persons, firms or entities, including lenders, as is required to enter into this Agreement.

23.13 **Incorporation of Recitals.** Licensor and Licensee hereby acknowledge and agree that the facts stated in the Recitals above are true and correct and are hereby incorporated into this Agreement.

23.14 **Brokers and Consultants.** Licensor and Licensee each represent and warrant to the other that they have not dealt with or been represented by any brokers, consultants, agents, finders, or other persons or entities in connection with this transaction other than 1045, LLC, as real estate consultant for Licensor. Licensor agrees to indemnify, defend and hold Licensee harmless from the claim of any other broker, consultants, agents, finders, or other persons or entities claiming through Licensor and Licensee agrees to indemnify, defend and hold Licensor harmless from the claim of any other broker, consultants, agents, finders, or other persons or entities claiming through Licensee.

24. **CONFIDENTIALITY.** Each party agrees to hold all disclosed confidential or proprietary information or trade secrets of the other party in trust and confidence and such shall not be disclosed to any other person or entity without the express written consent of such other party.

25. **HAZARDOUS MATERIALS.** Licensee is responsible for, shall remove and shall indemnify Licensor in connection with all hazardous materials and substances created by Licensee.

26. **TRANSFER OF LICENSOR'S INTEREST.** Licensor reserves the right to terminate this Agreement, without cause, if Licensor elects to sell, assign or transfer that portion of the Shopping Center where the Licensee is located. Licensor shall provide notice to Licensee in all instances of an assignment or transfer of Licensor's interest in the Agreement.

[Remainder of page is blank; signatures follow]

IN WITNESS WHEREOF, this Agreement is executed the day and year first hereinabove written.

Licensor:

KROGER TEXAS L.P.

an Ohio limited partnership

By: KRGP LLC, an Ohio limited liability company,
its general partner

By:

Name: Rick J. Landrum

Its: Vice President

Licensee:

TEXX TEAM USA LLC, a Texas corporation

By:

Name: Miglena Minkova

Its: Development Manager

Exhibit A

Division	Store	Fee (\$)
035-Dallas Operating Division	00445	\$450
035-Dallas Operating Division	00451	\$450
035-Dallas Operating Division	00460	\$450
035-Dallas Operating Division	00495	\$450
035-Dallas Operating Division	00527	\$450
035-Dallas Operating Division	00530	\$450
035-Dallas Operating Division	00543	\$450
035-Dallas Operating Division	00548	\$450
035-Dallas Operating Division	00561	\$450
035-Dallas Operating Division	00562	\$450
035-Dallas Operating Division	00563	\$450
035-Dallas Operating Division	00565	\$450
035-Dallas Operating Division	00572	\$450
035-Dallas Operating Division	00574	\$450
035-Dallas Operating Division	00575	\$450
035-Dallas Operating Division	00576	\$450
035-Dallas Operating Division	00578	\$450
035-Dallas Operating Division	00579	\$450
035-Dallas Operating Division	00580	\$450
035-Dallas Operating Division	00584	\$450
035-Dallas Operating Division	00585	\$450
035-Dallas Operating Division	00592	\$450
035-Dallas Operating Division	00594	\$450
035-Dallas Operating Division	00596	\$450
035-Dallas Operating Division	00598	\$450
035-Dallas Operating Division	00695	\$450

- 1980 N GOLIAO ST, ROCKWALL
 - 2935 RIDGE RD, ROCKWALL
 ~

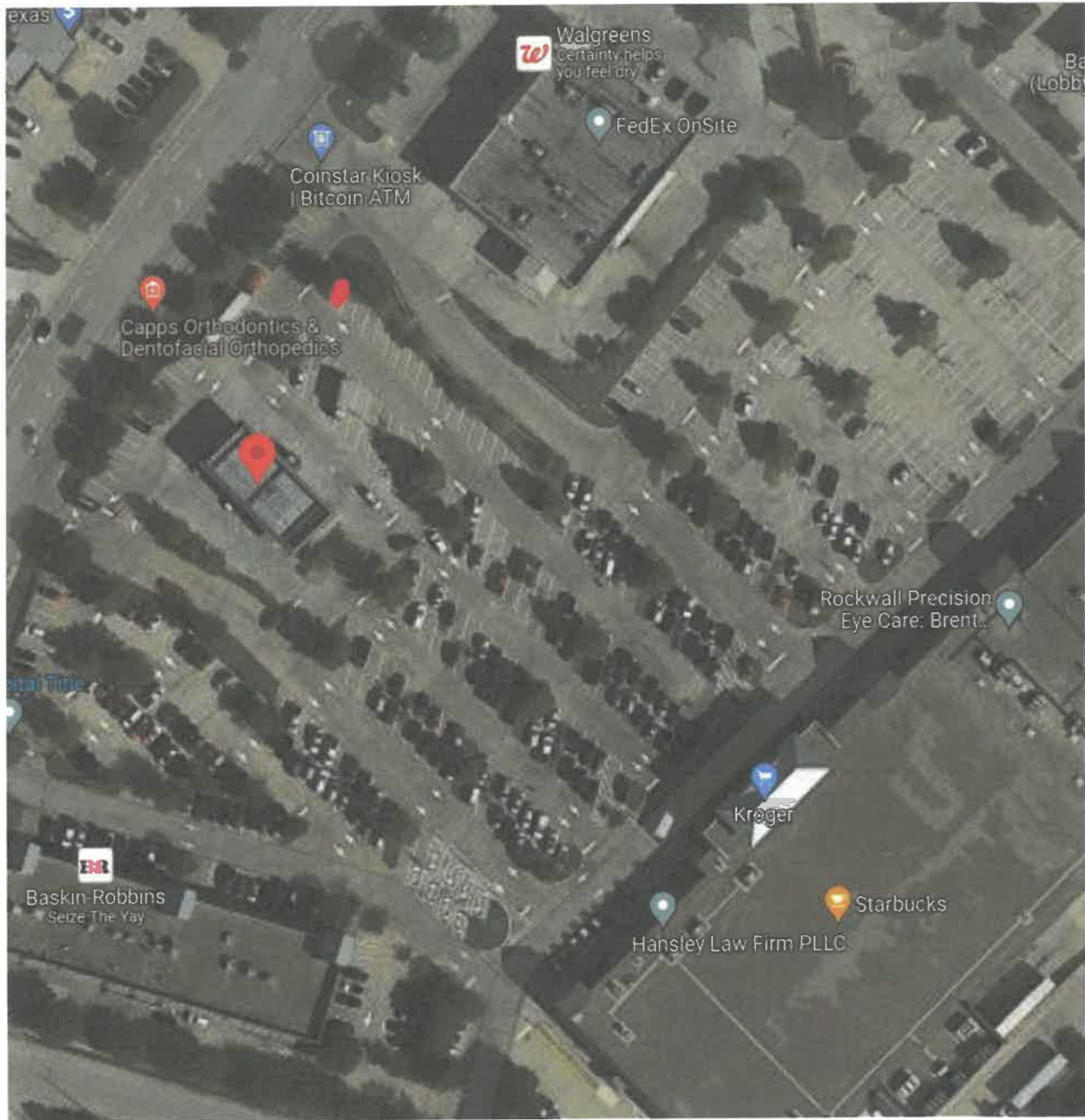
19180 N GOLIAD ST, ROCKWALL

035-00574



2935 RIDGE RD , ROCKWALL

035-00575





TO: Planning and Zoning Commission
FROM: Henry Lee, *Senior Planner*
DATE: October 29, 2024
SUBJECT: SP2024-036; *Amended Site Plan for 1980 N. Goliad Street*

The applicant, Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of The Kroger Co., is requesting the approval of an amended site plan for *Incidental Display* in conjunction with an existing *General Retail Store* (i.e. Kroger). The subject property is an 11.236-acre parcel of land located at 1980 N. Goliad Street, zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses, and situated within the North SH-205 Overlay (N. SH-205 OV) District. In April 2024, the applicant met with staff for a *Pre-Application Meeting* to discuss adding *Incidental Display* to the subject property. Through this meeting staff determined that there was existing *Incidental Display* (i.e. seasonal merchandise, propane exchange, and water cooler exchange) on the subject property that was not in conformance with the Unified Development Code (UDC). Based on this, the applicant has submitted a development application proposing to remedy the existing issue, and bring the subject property into conformance with the UDC; however, the majority of the submitted exhibits only related to the proposed donation bins. In response to this, staff has been working with the property owner (i.e. Kroger Co.) to delineate the *Incidental Display* areas. In the attached packet, staff has included the exhibits submitted by the applicant; however, the only issue being reviewed by the Planning and Zoning Commission is the area designated for *Incidental Display* and not the items being displayed.



FIGURES 1 & 2: STAFF PHOTOS OF SEASONAL INCIDENTAL DISPLAY (JULY 23, 2024)

According to the Subsection 02.03(F)(6), *Retail and Personal Service Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), *Incidental Display* shall meet the following requirements, [1] all outdoor sales and display must be delineated on a approved site plan, [2] outdoor sales and display may not exceed five (5) percent of the adjacent building floor area, [3] outdoor sales and display may occupy up to 30.00% of a covered sidewalk that is located within 20-feet of the building, and [4] any outside sales and display, not located on a covered sidewalk, must be screened. As is stands today, the existing incidental display is not delineated on an approved site plan, and is not all under a covered sidewalk. According to the site data table provided by the applicant, there is 2,831 SF of covered sidewalk and 516 SF of existing *Incidental Display* (i.e. ~64 SF is uncovered). In order to address this, the applicant is requesting to allow *Incidental Display* in an ~7,858.85 SF area as delineated on the proposed site plan. This request would delineate the *Incidental Display* on the site plan; however, it would not comply with the other aforementioned requirements for *Incidental Display* (i.e. Items 2-4 listed above). More specifically, the request exceeds five (5) percent of the adjacent building floor area [i.e. $100 * (7,858.85 \text{ SF} / 89,915 \text{ SF}) = 8.74\%$], it would occupy all of the covered sidewalk, and the uncovered portions would not be screened. With this being said, the majority of the incidental display would be for seasonal merchandise (i.e. it would not be

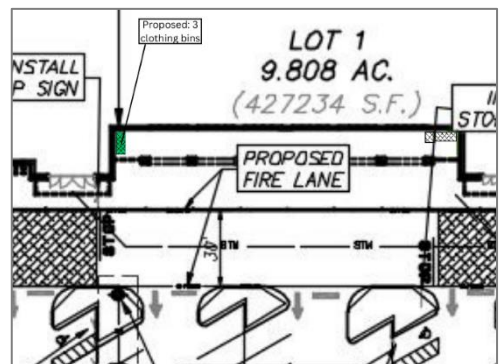


FIGURE 3: NEW PERMANENT INCIDENTAL DISPLAY

consistently all year), with the exception of three (3) permanent installations that are identified in *Figure 3*. Based on this, the applicant is requesting an exception from the Planning and Zoning Commission. Staff should clarify that the site data table and images provided by the applicant indicate that they are making a request to allow donation bins; however, donation bins are allowed *by-right* in an established incidental display area. The Planning and Zoning Commission is being tasked with determining if the *Incidental Display* proposed by the applicant -- *which is not in conformance with the requirements of the Unified Development Code (UDC)* -- is reasonable for the subject property and warrants the approval of an exception. Exceptions to the *General Standards* require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. Staff should note that the current *Incidental Display* has existed on the subject property without issue since the grocery store was established; however, requests for exceptions are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the October 29, 2024 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1980 N Goliad St, Rockwall, TX 75087

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION Kroger Marketplace

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING retail

CURRENT USE retail

PROPOSED ZONING _____

PROPOSED USE placement of 2 textile recycling bins

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER The Kroger Co.

APPLICANT Texx Team USA LLC

CONTACT PERSON Rick Landrum

CONTACT PERSON Miglena Minkova

ADDRESS 1014 Vine Street

ADDRESS 2614 Andjon Dr

CITY, STATE & ZIP Cincinnati, OH 45202

CITY, STATE & ZIP Dallas, TX 75220

PHONE 513.762.4231

PHONE 973-420-4634

E-MAIL rick.landrum@kroger.com

E-MAIL miglena.minkova@greenteamworldwide.com

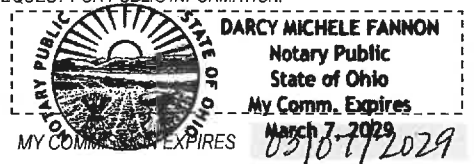
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Rick Landrum [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

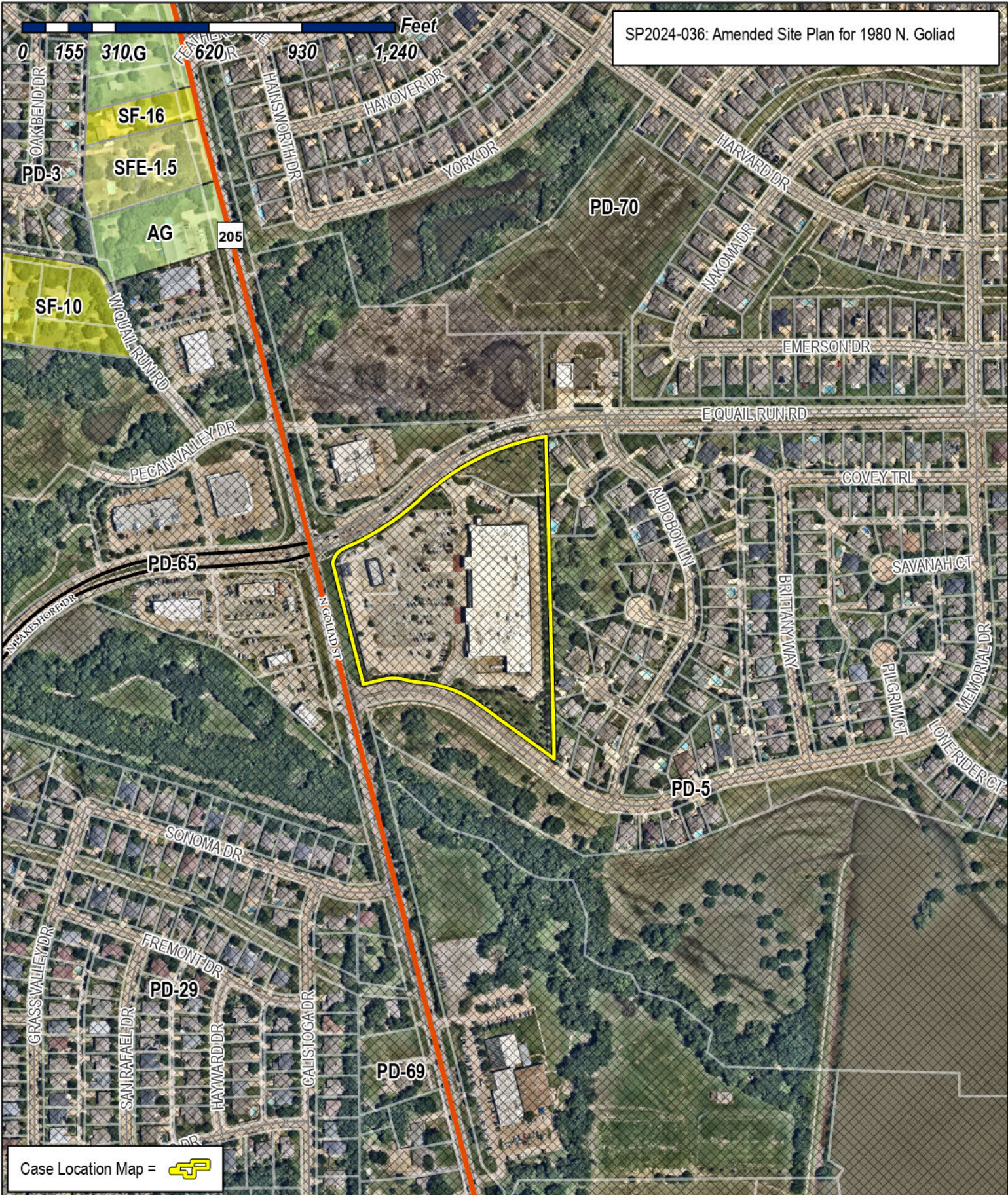
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th _____ DAY OF July _____, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF June, 2024
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Darcy Michele Jannon
DH16



Type text here



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Dear City of Rockwall ,

I hope this letter finds you well. I am writing to request permission to place one clothing bin on the property of Kroger Marketplace located at **1950 N Goliad St, Rockwall, TX 75087, USA**.

At Texx Team USA LLC, we specialize in providing textile recycling solutions to various communities, municipalities, and organizations. Our bins are monitored 24/7 via live feed cameras, ensuring constant surveillance and maintenance. Additionally, we operate seven days a week and visit each location **every single day (per agreement with Kroger Co.)**.

We believe that placing clothing bins at Kroger Marketplace will bring **several benefits to the Rockwall community**. Not only will it provide residents with a convenient and accessible means of recycling unwanted textiles, but it will also contribute to environmental sustainability efforts. Our bins allow for the recovery of non-mandated materials, such as clothing, shoes, and household textiles, which would otherwise end up in landfills. Through our recycling process, over 95% of the materials we collect are reused or recycled, minimizing waste, and conserving valuable resources.

Furthermore, we are committed to providing the City of Rockwall with a **tonnage report** for the location, allowing you to track the impact of our recycling efforts on your community. We have successfully partnered with numerous municipalities, schools, fire departments, and police departments, and we are eager to extend our services to Rockwall residents.

We believe that placing clothing bins at Kroger Marketplace aligns with the city's goals of promoting sustainability and environmental responsibility. We are confident that this initiative will be well-received by residents and contribute positively to the community.

Thank you for considering our request. We look forward to the opportunity to work together to make a difference in the Rockwall community. Should you have any questions or require further information, please do not hesitate to contact me at **973-420-4634** or **miglana.minkova@greenteamworldwide.com**

Sincerely,

Miglana Minkova

Government Relationship Manager

Greenteam Worldwide Recycling Group – part of which is Texx Team USA LLC

COMPUMERIC

To Whom It May Concern:

SECURR, a manufacturer of clothing collection bins and other public waste and recycling receptacles, offers a range of clothing collection bin models in varying sizes and with varying degrees of theft resistance. In response to certain customer applications where it is critical to deny physical entry into the bin to a potential thief through the chute area, SECURR developed a proprietary geared-chute mechanism.

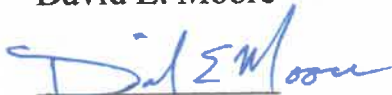
On these geared models, when the loading tray is lifted to deposit a bag or bundle of clothing into the bin, a gearbox to which the tray is attached simultaneously rotates a secondary baffle that blocks access to the inside of the bin until the tray has been lifted high enough for the clothing to drop into the bin. This second moving baffle severely restricts the ability to fish clothing out of the bin, and makes it impossible for a person to climb into the bin through the chute area. We have hundreds of bins in service with this geared-chute design, and it has proven to be 100% effective at keeping people from climbing into our bins.

We provide our customer Green Team Worldwide Environmental Group (aka Texima, aka TexGreen, aka Green Inspiration) with our model CB26G16 bin which uses this gear-driven chute design. We also provide them with retrofit chute assemblies utilizing the geared-chute design to upgrade their fleet of bins made by other manufacturers to restrict access through the chute area.

We can be reached at sales@securr.com if any further information is required on this matter.

Sincerely,

David E. Moore



VP and General Manager

Clothes & Shoes








Click QR code
remember what's behind it!
(714) 344-8222

Clothes & Shoes




Click QR code
remember what's behind it!
(714) 344-8222

We can accept the following textile items:

 Clothes	 Shoes	 Bags	 Accessories	 Bedding
--	---	---	--	--

LEAD
LAW ENFORCEMENT AGAINST DRUGS & MOLESTERS
"On the Street and in the Classroom"



Clothes & Shoes



Click QR code
remember what's behind it!
(714) 344-8222

We can accept the following textile items:

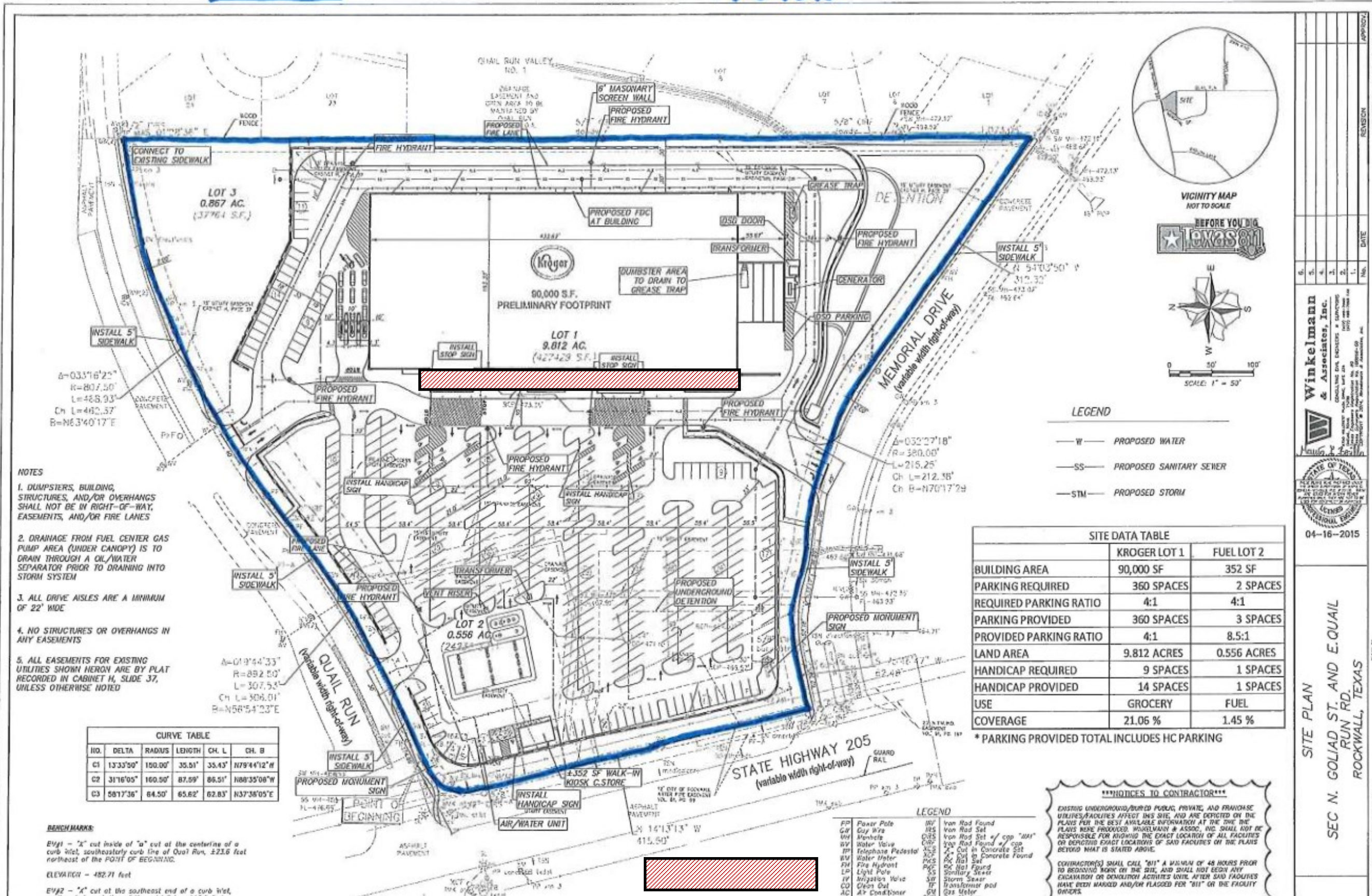
 Clothes	 Shoes	 Bags	 Accessories	 Bedding
--	--	---	--	--

LEAD
LAW ENFORCEMENT AGAINST DRUGS & MOLESTERS
"On the Street and in the Classroom"



DAL-574

- KROGER



- NOTES**
1. DUMPSTERS, BUILDING, STRUCTURES, AND/OR OVERHANGS SHALL NOT BE IN RIGHT-OF-WAY, EASEMENTS, AND/OR FIRE LANES
 2. DRAINAGE FROM FUEL CENTER GAS PUMP AREA (UNDER CANOPY) IS TO DRAIN THROUGH A OIL/WATER SEPARATOR PRIOR TO DRAINING INTO STORM SYSTEM
 3. ALL DRIVE AISLES ARE A MINIMUM OF 22' WIDE
 4. NO STRUCTURES OR OVERHANGS IN ANY EASEMENTS
 5. ALL EASEMENTS FOR EXISTING UTILITIES SHOWN HEREON ARE BY PLAT RECORDED IN CABINET H, SLIDE 37, UNLESS OTHERWISE NOTED

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CH. L.	CH. B.
C1	133°59'	100.00'	35.51'	35.43'	N79°44'12"W
C2	31°16'05"	160.50'	87.89'	86.51'	N89°35'08"W
C3	58°17'36"	84.50'	65.82'	62.83'	N37°38'05"E

BENCHMARKS

BM1 - "X" cut inside of "a" cut at the centerline of a curb inlet, southeasterly curb line of Quail Run, ±23.6 feet northeast of the POINT OF BEGINNING.

ELEVATION = 482.71 feet

BM2 - "X" cut at the southeast end of a curb inlet,

SITE DATA TABLE

	KROGER LOT 1	FUEL LOT 2
BUILDING AREA	90,000 SF	352 SF
PARKING REQUIRED	360 SPACES	2 SPACES
REQUIRED PARKING RATIO	4:1	4:1
PARKING PROVIDED	360 SPACES	3 SPACES
PROVIDED PARKING RATIO	4:1	8.5:1
LAND AREA	9.812 ACRES	0.556 ACRES
HANDICAP REQUIRED	9 SPACES	1 SPACES
HANDICAP PROVIDED	14 SPACES	1 SPACES
USE	GROCERY	FUEL
COVERAGE	21.06 %	1.45 %

* PARKING PROVIDED TOTAL INCLUDES HC PARKING

NOTICES TO CONTRACTOR

EXISTING UNDERGROUND/BURIED PUBLIC, PRIVATE, AND FRANCHISE UTILITIES/FACILITIES AFFECT THIS SITE, AND ARE DEPICTED ON THE PLANS FOR THE BEST AVAILABLE INFORMATION AT THE TIME THE PLANS WERE PROVIDED. WINKELMANN & ASSOC., INC. SHALL NOT BE RESPONSIBLE FOR PROVIDING THE EXACT LOCATION OF ALL FACILITIES OR IDENTIFYING EXACT LOCATIONS OF SAID FACILITIES ON THE PLANS BEYOND WHAT IS STATED ABOVE.

CONTRACTOR(S) SHALL CALL "811" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK ON THE SITE, AND SHALL NOT BEGIN ANY EXCAVATION OR DEMOLITION ACTIVITIES UNTIL AFTER SAID FACILITIES HAVE BEEN MARKED AND/OR FLAGGED PER "811" OR THE FACILITY OWNERS.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS & SURVEYORS
1000 W. GOLIAD ST., SUITE 100
ROCKWALL, TEXAS 75087
PH: 972.961.1111
WWW.WINKELMANN-AND-ASSOCIATES.COM

DATE: 04-16-2015

SITE PLAN
SEC. N. GOLIAD ST. AND E. QUAIL RUN RD., ROCKWALL, TEXAS

REVISION: APPROVED

PRELIMINARY FOOTPRINT

FF=488.00

LOT 1
9.808 AC.
(427234 S.F.)

INSTALL
STOP SIGN

Proposed: 3
clothing bins

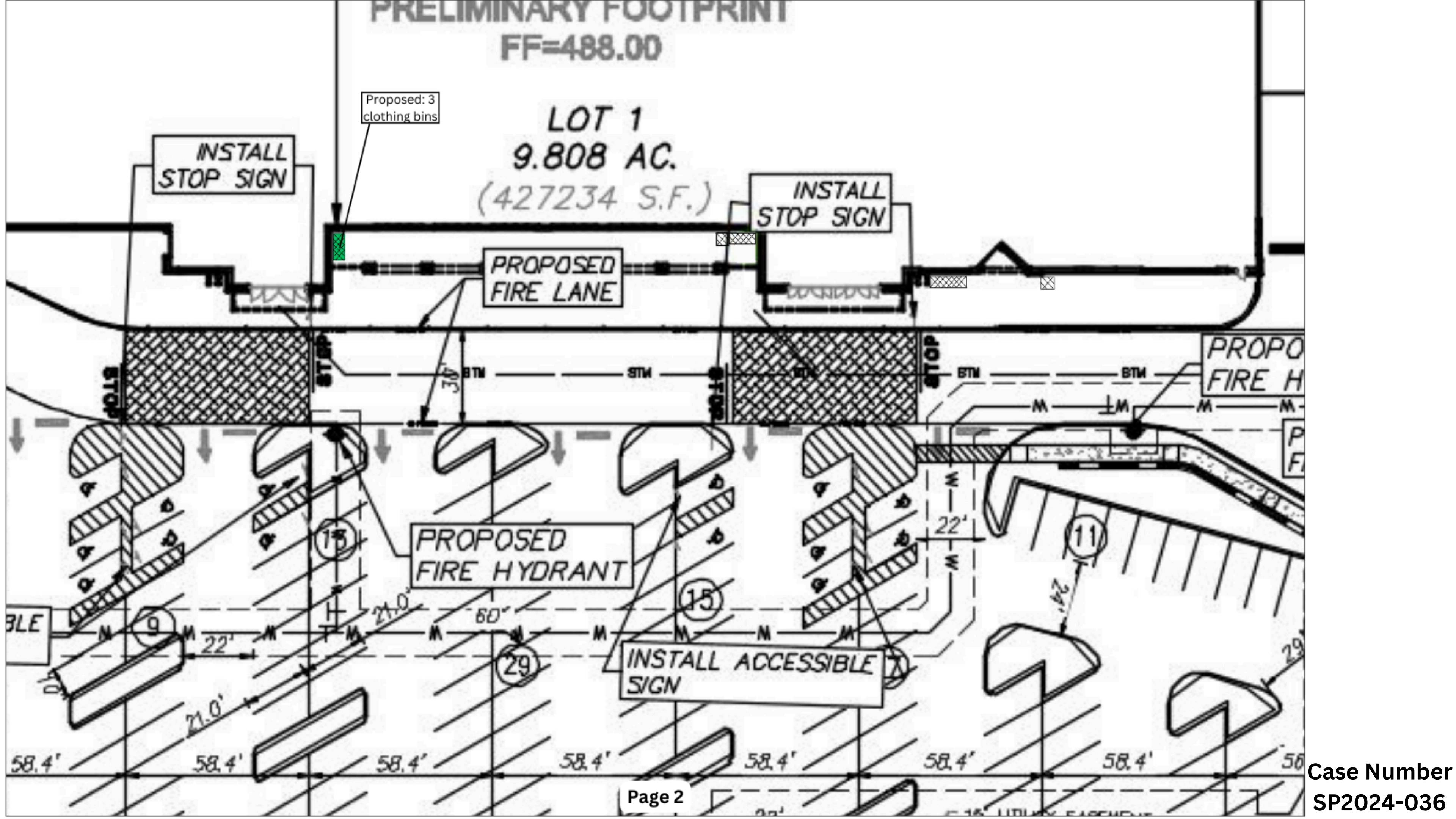
INSTALL
STOP SIGN

PROPOSED
FIRE LANE

PROPO
FIRE H

PROPOSED
FIRE HYDRANT

INSTALL ACCESSIBLE
SIGN



SITE DATA TABLE

ITEM	NOTES
TOTAL COVERED AREA	2831 Sq. Ft.
M.4 (2)	OUTDOOR SALES AND DISPLAYS ARE 1% OF THE ADJASENT BUILDING FLOOR AREA
M.4 (3)	TOTAL OUTDOOR SALES AND DISPLAY OCCUPY 20% OF A THE COVERED SIDEWALK, WITH MINIMUM 10 FT PASSABLE DISTANCE
CURRENT DISPLAYS AND SALES	516 Sq. Ft. TOTAL
PROPOSED 3 CLOTHING BINS	48 Sq. Ft. TOTAL

September 9, 2019
Project No. GI201909
Rev. 0

Green Inspiration BC
10-1091 Millcarch St
Richmond, BC
V6V 2H4

Attention: Pavel Lalev, Administrative and Development Manager

Regarding: Clothing Donation Bins - Type CB26G16

Dear Pavel:

West End Engineering Ltd. has completed an engineering assessment of the above-mentioned clothing donation bins proposed for installation in Vancouver. In our opinion, we feel that the construction, design and operation of the donation bins are safe. The key findings of our assessment are provided herein.

The construction and design of the bins is such that it minimizes the possibility of ingress and damage due to regular use. They are painted and therefore suitable for outdoor exposure.

We note that while the bins weigh 274 kg and are therefore difficult to move, permanent anchorage could be provided at the discretion of the owner. Our assessment did not address the issue of permanent anchorage or the possibility of using heavy machinery (forklifts, etc.) in order to handle the bins.

We note that the City of Delta has approved the use of these bins without engineering certification and that hundreds of this model of bin are in service in the United States.

This assessment was performed based solely on the information provided to us by Green Inspiration and is therefore limited to the data provided. The bin manufacturer does not disclose certain proprietary information. No guarantees as to the performance or safety of the bins are therefore given or implied aside from what could be readily determined from the data provided.

We trust that the above is satisfactory for your purposes but if you have any questions, please do not hesitate to contact us.

Kind regards,
West End Engineering Ltd.



Per: Igor Sikhimbaev, P.Eng
Principal Structural Engineer
604-721-0980
igor_ca@hotmail.com

MASTER LICENSE AGREEMENT

THIS MASTER LICENSE AGREEMENT (the "Agreement") is executed this ____ day of December, 2023 ("Effective Date"), by and between KROGER TEXAS L.P., an Ohio limited partnership, hereinafter referred to as "Licensor," and TEXX TEAM USA LLC, a Texas corporation, hereinafter referred to as "Licensee."

RECITALS

Licensor and Licensee desire to enter into an agreement allowing Licensee to utilize certain space within Licensor's shopping centers listed on Exhibit "A" (each a "Shopping Center" and collectively or in the plural, "Shopping Centers") for the operation of Green Team donation bins as hereinafter set forth.

AGREEMENT

NOW, THEREFORE, for and in consideration of Ten Dollars (\$10.00), the mutual promises set forth herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Licensor and Licensee hereby agree as follows.

1. **GRANT OF LICENSE/LICENSED AREA(S).** Licensor hereby grants a temporary, revocable license to Licensee to use space in the Shopping Centers for the purpose set forth in Section 4 of this Agreement, subject to any restrictions of record. The "Licensed Area" at each Shopping Center shall consist of that certain portion of the parking lot in each Shopping Center depicted on Exhibit "B" (each a "Licensed Area" and collectively or in the plural, "Licensed Areas"). Licensee shall confine its operations to be wholly within the applicable Licensed Area. Licensor shall have the right to relocate the Licensee to a different location in a particular Shopping Center if Licensor determines in its sole, but good faith opinion, that Licensee's operations would be better utilized or Licensor's space requirements would be better facilitated pursuant to such relocation. Nothing contained in this Agreement shall be deemed to create any interest in Licensee other than a revocable, temporary license. In no event shall this Agreement be deemed to have created a lease, possessory right, easement or greater estate notwithstanding any expenditure, action or reliance on the part of Licensee.

2. **TERM.** The term of this Agreement ("Term") shall be one (1) year, commencing on January 1, 2024, and expiring December 31, 2024, and shall continue thereafter on a month-to-month basis only, provided, however, that Licensor shall be entitled to terminate this Agreement at any time during the Term for any reason or no reason at all, with or without cause, upon forty-eight (48) hours prior written notice to the Licensee.

3. LICENSE FEE

3.01 Licensee agrees to pay to Licensor, without offset, demand or notice, a monthly license fee of FOUR HUNDRED AND FIFTY DOLLARS (\$450.00) per Shopping Center location ("License Fee") for the right to use each Licensed Area, which Licensed Area may contain no more than (3) donation bins. The applicable Licensee Fee shall be paid by checks or drafts to Licensor and mailed to such address as may from time to time be designated in writing by Licensor, but shall initially be sent to the address set forth in Section 3.04 of this Agreement below; and shall be payable in monthly installments, each due in advance on or before the first day of each month.

3.02 License Fees for any period which is for less than one (1) month shall be a prorated portion of the monthly installment herein based upon a thirty (30) day month.

3.03 In the event Licensor is required to increase Shopping Center clean-up and maintenance as a result of Licensee's services performed in a Licensed Area, Licensor shall provide Licensee with written notice of such amount of increase to Licensor, whereupon Licensee shall have three (3) days from the date of receipt of such written notice to remedy or otherwise perform, at Licensee's own expense, such increased clean-up and maintenance. In the event Licensee fails within said three-day period to take such action, Licensor shall assess Licensee for the reasonable estimated cost of the increased clean-up and maintenance, which assessments Licensee shall pay monthly as an increase in its monthly License Fees.

3.04 Initially, and until further notice from Licensor, Licensee shall make payment of the License Fees as follows:

Kroger Teas L.P.
c/o 1045, LLC
1045 South Woods Mill Road
St. Louis, Missouri 63017

4. USE

Licensee shall use the Licensed Areas for the sole purpose of a placement/operation of a Green Team clothing donation bin consistent with the majority of Licensee's donation bins in the region as proposed and approved by Licensor and for no other purpose. Licensor makes no warranties or representation as to Licensee's ability to conduct the Licensee's proposed license use. In the event that Licensee is unable to operate due to governmental restrictions, laws, ordinances, codes or similar mandates, or in the event any restrictions of record would prevent Licensee from operating from a particular Licensed Area, either Licensee or Licensor may terminate this Agreement with thirty (30) days' advance written notice from the terminating party to the other.

4.02 Licensee agrees to conform to all public authority, by whomsoever asserted, regarding the use, occupancy and/or condition of the Licensed Area and to indemnify and save Licensor harmless from all loss, cost and expense, including reasonable attorney's fees, which may result from a failure to do so.

4.03 [Intentionally Deleted]

4.04 Licensee agrees to operate a first-class business and to do nothing which would detract from or lessen the image of Licensor's business. Without limiting the foregoing, it is specifically agreed that (i) Licensee's employees shall be appropriately dressed and groomed at all times, consistent with Licensor's standards for its own employees; (ii) the appearance of the Licensed Area shall, at all times, be orderly, neat and clean; and (iii) Licensee shall not conduct its business in an unethical manner which may result in complaints by Licensor's customers regarding Licensee's business practices, products, or customer service practices.

4.05 Licensee shall keep a twenty-four hours/seven (24-7) days a week hotline number visibly posted on each bin. Upon receipt of any complaints and notice from Licensor or other parties, Licensee shall respond in no more than twelve (12) hours. Otherwise, Licensor shall exercise default remedies including but not limited to the termination of this Agreement as provided in sections two (2) and twelve (12) herein.

4.06 Licensee shall not, without Licensor's prior written consent, keep anything within the Licensed Area or use the Licensed Area for any purpose which increases the insurance premium cost for, or invalidates, any insurance policy carried by Licensor on the Premise(s) or other parts of Licensor's food and drug store(s). All property kept, stored or maintained within the Licensed Area by Licensee shall be at Licensee's sole risk.

4.07 Without limiting the restriction on use of the Licensed Area(s) set forth in Section 4.01 of this Agreement or otherwise of record, Licensee shall not conduct within the Licensed Area any fire, auction, bankruptcy, "going-out-of-business," "lost-our-lease," or similar promotional sales event, or sell from the Licensed Area "seconds" or "generics" or operate as a "surplus" store (provided the Licensed Area is permitted to receive donations that would otherwise be sold in a surplus store). Licensee shall not permit any objectionable or unpleasant odors to emanate from the Licensed Area; nor place or permit to be placed any radio, television, loudspeaker or amplifier within or about the Licensed Area which can be seen or heard from outside the Licensed Area; nor place any antenna, or satellite dish on the exterior of the Licensed Area; nor take any action which would constitute a nuisance or would disturb or endanger customers or employees within Licensor's store (s) or unreasonably interfere with their use of such stores; nor do anything which would tend to injure the reputation of the Licensor's store(s).

5. **TAXES.** Licensor shall pay all taxes and assessments upon the property on which the Licensed Area is located, which are assessed during the term of this Agreement. However, Licensee shall pay all taxes attributable to any equipment, trade fixtures or personalty of Licensee located in or on the Licensed Area at each location.

6. IMPROVEMENTS, MAINTENANCE, REPAIR AND RESTORATION OF DAMAGE, SIGNS

6.01 [Intentionally Deleted]

6.02 By placing its bin in a Licensed Area, Licensee shall be deemed to have accepted the Licensed Area as being in satisfactory condition and repair and in its "as-is," "where-is" and "with all faults" condition. Licensee shall, at Licensee's sole cost and expense, keep the Licensed Area and every part thereof in a neat and orderly good condition and clear of debris, refuse and free from dumping of same. Licensee shall, upon the expiration or sooner termination of this Agreement, return the Licensed Area to Licensor in the same condition as received, reasonable wear and tear excepted. Any damage to the common area of the applicable Shopping Center and/or adjacent property or improvements caused by Licensee's use of the Licensed Area and/or removal of Licensee's property from same shall be promptly (and in any event, prior to the termination of this Agreement) repaired at the sole cost and expense of Licensee.

6.03 Licensee shall maintain all parts of the Licensed Area and all improvements constructed or placed thereon, without exception, which Licensee shall maintain in good order and state of repair and in a safe and sanitary condition and repair as at the commencement of the term except for aging by the elements which cannot be corrected by good maintenance practice continuously conducted. Licensee further agrees to keep such Licensed Area orderly, attractive and clean at all times - free of debris and trash and from dumping of same.

6.04 Licensee agrees that it will at all times in the repair and maintenance and in the occupancy and use of the Licensed Area conform in all matters with every law, order, regulation and requirement of all governmental authorities and/or any and all Shopping Center rules and regulations, and restrictions of record, and will hold and save Licensor harmless and free of all expense and liability arising from Licensee's failure to comply with this paragraph, including attorney's fees.

6.05 If Licensee shall at any time fail to maintain or make any repair reasonably required of Licensee under this Agreement within five (5) days after receipt of Notice from Licensor so to do (except in the event of an emergency, in which case no prior notice from Licensor shall be required), Licensor may at its option enter upon the Licensed Area, make such maintenance or repair and charge the reasonable cost thereof to Licensee, which Licensee agrees to pay to Licensor, upon demand, together with interest

thereon at the rate often percent (10%) per annum (or the maximum interest rate permitted under applicable law) from the date incurred to the date paid.

6.06 [Intentionally Deleted]

7. **RIGHT TO ENTER.** The right is reserved to Licensor, Licensor's grantors, its agents and workmen, at all reasonable times, to enter upon any part of the Licensed Area for the purposes of inspecting same and making any repairs which Licensor may deem necessary for the health, safety or protection of the public, the protection or preservation of the building or its equipment or appurtenances and/or to exhibit the same to prospective purchasers. Under such circumstances, where Licensee is not in default pursuant to Paragraphs 6.02 or 6.03 above, Licensor shall be responsible for any damage it causes to Licensee's equipment or improvements or for any injury to persons.

8. **TITLE TO FIXTURES.** Licensor shall not acquire any title or interest in any fixtures or equipment placed by Licensee on the Licensed Area. Licensee may at any time, or from time to time, remove or exchange any or all such, equipment, property and materials, and Licensee prior to the termination of this Agreement, may remove from said Licensed Area all of such, equipment, property and materials constructed or installed by it. Licensee agrees to repair, at its sole expense, all damages that may result from the removal of such improvements and other property and restore the Licensed Area to its condition prior to the commencement of this Agreement, reasonable wear and tear excepted.

9. [Intentionally Deleted]

10. **LIABILITY INSURANCE.** Licensee covenants that at all times during the term of this Agreement it shall keep in effect insurance coverage with qualified insurance companies (as defined below) covering Workers' Compensation, Employers' Liability, Automobile Liability and Commercial General Liability, including product liability, all with such limits as are set forth below to protect Licensor and Licensee pursuant hereto and from the liabilities insured against by such coverages. Such coverage shall name Licensor as an additional insured. Licensee shall furnish Licensor with a certificate evidencing the insurance required by this paragraph and evidencing the obligation of its insurance carriers not to cancel or materially amend such policies without twenty (20) days prior written notice to Licensor. The insurance coverages required by this paragraph shall conform to the following:

Type of Insurance	Limits per Occurrence
Workers' Compensation	Statutory Limits
Employers' Liability or Stop gap coverage	\$ 500,000
Automobile Liability	\$ 500,000
Commercial General Liability	\$3,000,000 per occurrence
With contractual liability	\$3,000,000 aggregate,
Endorsement	\$ 500,000 property damage
Product Liability	\$2,000,000

To be a qualified insurance company hereunder, said insurance company must:

- (i) be licensed and admitted to do business in the state where the applicable Licensed Area is located;
- (ii) have a policy holders' rating of B+ or above and have a financial category rating of Class VII or above in the most recent edition of "Best's Key Rating Guide."

11. [Intentionally Deleted]

12. **DEFAULT AND ENFORCEMENT OF AGREEMENT.** If Licensee shall default in the fulfillment of any of the covenants or conditions hereof except payment of License Fees, Licensor may, at its option, after fifteen (15) days prior written notice to Licensee, terminate this Agreement unless within said interval Licensee shall have corrected the breach specified in said notice and thereupon such termination shall be as complete and effective as if this Agreement shall have expired by its terms, and Licensee shall thereupon quit and surrender the Licensed Area.

If Licensee shall default in the payment of License Fees, or any part thereof, or in making any other payment herein required, and such default shall continue for a period of ten (10) days after receipt of written notice to Licensee, or if the Licensed Area or any part thereof shall be abandoned, or if Licensee shall cease to operate from the Licensed Area, or if Licensee shall be dispossessed therefrom by or under any authority other than Licensor, or if Licensee shall institute any proceeding under any insolvency or bankruptcy act seeking to effect a reorganization or an arrangement with its creditors, or if in any proceeding based upon the insolvency of Licensee or relating to bankruptcy proceedings a receiver or trustee shall be appointed for Licensee, or the Licensed Area, or if any proceeding shall be commenced for the reorganization of Licensee, or if the Licensed Area shall be taken on execution or by any process of law (provided such involuntary proceedings are not dismissed within sixty (60) days), or if Licensee shall admit in writing its inability to pay its obligations as they become due, then Licensor may, at its option, terminate this Agreement, by written notice, and Licensor or its agents may immediately or at any time thereafter re-enter the Licensed Area and Licensee shall thereafter have no rights hereunder. After default, Licensee shall pay Licensor such reasonable damages as result from Licensee's breach. In addition to any other remedy provided by law or permitted herein upon Licensee's default, Licensor may, at its option, but without being obliged so to do, take possession of the Licensed Area, re-license the same on behalf of Licensee, applying any monies collected, first to the payment of expenses of obtaining possession; second, to the payment of costs of placing the Licensed Area in usable condition; and third, to the payment of License Fees due hereunder, and any other charges due Licensor; and Licensee shall remain liable for any deficiency in fees or royalty which shall be paid to Licensor upon demand. Any amount not paid within ten (10) days of the due date shall bear interest from the date due at the rate of one and one half percent (1 1/2%) per month or the highest legal rate of interest, whichever is lower, until paid. Licensee agrees to pay all costs and a reasonable attorney's fee incurred by Licensor in enforcing any provision hereof, or in obtaining possession of the Licensed Area or in following any other remedy provided Licensor by law, whether by suit or otherwise. Waiver of any of the covenants hereof by Licensor shall not be deemed or taken to be a waiver of any succeeding or other breach. Licensor may pursue any remedy herein provided or which it may have at law alternatively or concurrently and the pursuit of any remedy herein provided or which may be available at law shall not constitute a waiver of, or estoppel to, pursue any other such remedy.

13. **ATTORNEYS' FEES.** In the event of litigation or dispute arising from default in performance of any of the provisions of this Agreement by either Licensor or Licensee, the prevailing party shall be entitled to receive from the other party reasonable attorneys' fees and costs of action incurred. In the event that Licensor shall, by reason of acts or omissions by Licensee, or by any other reason arising out of the Licensor-Licensee relationship, be made a party to litigation commenced by a person other than the parties hereto, then Licensee shall pay all costs, expenses and reasonable attorneys' fees incurred by the other party which arise from or are in connection with such litigation.

14. **ASSIGNMENT AND SUBORDINATION OF AGREEMENT.** Licensee shall not sub-license, or assign all or any portion of the Licensed Area, either in whole or in part, or assign Licensee's rights in and to this Agreement, without the prior written consent of Licensor, which consent may be withheld in

Licensor's sole and arbitrary discretion. No permitted sub-license or assignment shall release Licensee from any of its obligations under the terms of this Agreement, and Licensor shall at all times have the right to look to Licensee for the performance of all of the covenants to be performed on the part of Licensee.

15. NOTICES

Any notice or other communication under this Agreement shall be in writing and shall be either personally delivered or mailed by first class registered or certified mail, postage prepaid, return receipt requested, addressed as follows:

Licensor: Kroger Texas L.P.
c/o The Kroger Co.
1014 Vine Street
Cincinnati, Ohio 45202
Attn: Real Estate Shared Services

With a copy to: The Kroger Co.
1014 Vine Street
Cincinnati, Ohio 45202
Attn: Law Dept. -- Division 035

With a copy to: 1045, LLC,
1045 South Woods Mill Road
St. Louis, Missouri 63017

Licensee: Texx Team USA LLC
Attn: Miglena Minkova
2614 Andjon Drive, Dallas, Texas 75220

Subject to the right of either party to designate by notice in writing any new address to which notices, demand and installments of License Fees may be sent.

16. SECURITY DEPOSIT. Concurrently with Licensee's execution of this Agreement, Licensee has deposited with Licensor the amount of FIVE THOUSDAD Dollars (\$5,000.00). Said sum shall be held by Licensor as security for the faithful performance by Licensee of all the terms, covenants and conditions of this Agreement to be kept and performed by Licensee. If Licensee defaults with respect to any provisions of this Agreement, including but not limited to the provisions relating to the payment of License Fees, Licensor may (but shall not be required to) use, apply or retain all or any part of the Security Deposit for the Payment of any License Fees or any other sum in default, or the payment of any amount which Licensor may spend or become obligated to spend by reason of Licensee's default, or to compensate Licensor for any other loss or damage which Licensor may suffer by reason of Licensee's default. If any portion of the Security Deposit is used or applied Licensee shall, within (5) days after written demand therefor, deposit cash with Licensor in an amount sufficient to restore the Security Deposit to its original amount and Licensee's failure to do so shall be a default under this Agreement. Licensor shall not be required to keep the Security Deposit separate from its general funds, and Licensee shall not be entitled to interest on such deposit. If Licensee shall fully and faithfully perform every provision of this Agreement to be performed by it, the Security Deposit or any balance thereof shall be

returned to Licensee (or, at Licensor's option, to the last assignee of Licensee's interest hereunder) within thirty (30) days following expiration of the Term.

17. **LIENS.** Licensee agrees and covenants that it will not cause or suffer the creation of any mechanic liens, or other liens for any labor performed or materials furnished for or on behalf of Licensee, which may cloud or impair Licensor's title or interest in the Store or the Licensed Area, and that if any such liens shall arise due to an act or omission of Licensee, Licensee shall promptly remove the same at its own expense or otherwise undertake the defense of an action to enforce or foreclose said lien; provided, however, for so long as Licensee in good faith resists the enforcement and foreclosure of said lien, Licensee shall not be in default under this Agreement. If Licensee does not promptly remove any lien as above provided, Licensor shall have the right at its option to do so and charge Licensee the amount thereof and Licensee shall immediately repay Licensor the amount thereof.

18. **INDEMNITY.** Licensee acknowledges and agrees that it enters onto the Licensed Area at its sole risk and expense and accepts the Licensed Area in its "as is," "where-is," and "with all faults" condition hereby releasing Licensor from any and all liability for injury or property damage occurring to Licensee while on the Licensed Area regardless of cause, including the negligence or fault of Licensor. Licensee shall indemnify and hold harmless Licensor against and from any and all claims arising from Licensee's use of the Licensed Area or from the conduct of its business or from any activity, work or other things done, permitted or suffered by Licensee in or about the Licensed Area, and shall further indemnify and hold harmless Licensor from and against any and all claims arising from any breach or default in the performance of any obligation on Licensee's part to be performed under the terms of this Agreement, or arising from any act or negligence of Licensee, or any officer, agent, employee, guest, or invitee of Licensee, and from all costs, attorneys' fees, and liabilities incurred in or about the defense of any such claim or any action or proceedings brought thereon. If any action or proceeding be brought against Licensor by reason of such claim, Licensee upon notice from Licensor shall defend the same at Licensee's expense by counsel reasonably satisfactory to Licensor. Licensee, as a material part of the consideration to Licensor, hereby assumes all risk of damage to property or injury to persons in, upon or about the Licensed Area; and Licensee hereby waives all claims in respect thereof against Licensor or any of its contractors, agents, employees, customers or others for whom Licensor might otherwise be responsible. Licensee shall give prompt notice to Licensor in case of casualty or accidents in the Licensed Area.

Licensor or its agents shall not be liable for any loss or damage to persons or property resulting from fire, explosion, steam, gas, electricity, water or rain which may leak, drain, or spread from any part of the Shopping Center or from the pipes, appliances or plumbing works therein, street or subsurface or from any other place resulting from dampness or any other cause whatsoever. Licensor or its agents shall not be liable for interference with the light, air or for any latent defect in the Licensed Area.

19. **EXUSABLE DELAYS (FORCE MAJEURE).** If either party is delayed, prevented, or hindered from the performance of any covenant or condition of this Agreement other than the payment of money (for which there will be no period of delay) because of acts of the other party, acts of God, action of the elements, war invasion, insurrection, acts of public enemy, riot, mob violence, civil commotion, sabotage, labor disputes, inability to procure or general shortage of labor, materials, facilities, equipment, or supplies on the open market, failure of or delay in transportation, laws, rules, regulations, or orders of governmental or military authorities, or any other cause beyond the reasonable control of the party so obligated, whether similar or dissimilar to the foregoing, such performance shall be excused for the period of the delay, and the period for such performance shall be extended for a period equivalent to the period of such delay.

20. **ADVERTISING; DEMOGRAPHIC INFORMATION.** Licensee shall not use the Licensor's brand names for Licensee's advertising and promotions except only to the extent reasonably necessary to identify Licensee's business location(s) and for no other use, and in any event, only with the prior written consent of Licensor. Any unauthorized use of otherwise shall automatically terminate the rights of Licensee in this Agreement and subject Licensee to all remedies available in this Agreement, at law and in equity.

21. **COMMON AREA.** Licensee, its customers, agents, contractors and employees, shall be permitted to use Licensor's parking area on a non-exclusive basis. However, Licensee agrees to require its employees to park in the area designated by Licensor for pick-ups. In no way shall Licensee block drive aisles or additional parking spaces other than the temporary use of a parking space next to bin for donation retrievals.

22. **SUBROGATION.** As long as their respective insurers so permit, Licensor and Licensee hereby mutually waive their respective rights of recovery against each other for any loss insured by fire, extended coverage and other property insurance policies existing for the benefit of the respective parties. Each party shall apply to their insurers to obtain said waivers. Each party shall obtain any special endorsements, if required by their insurer to evidence compliance with the aforementioned waiver.

23. **MISCELLANEOUS**

23.01 **Waiver.** The waiver by either party of any of the covenants contained herein shall not be deemed a waiver of such party's rights to enforce the same or any other covenant contained herein. The rights and remedies given to the parties hereunder shall be in addition to, and not in lieu of any right or remedy as provided by law.

23.02 **Use of Terms.** The terms, "Licensor" and "Licensee," shall include the plural, if necessary. All terms used in the singular or in the masculine gender shall apply to the plural or to the feminine or neutral gender as the context may require. If there is more than one Licensee named herein, their obligations hereunder shall be joint and several.

23.03 **Time is of the Essence.** Time is of the essence of the Agreement.

23.04 **Relationship.** This Agreement shall not nor shall any part thereof be construed as a joint enterprise, a partnership, or any other relationship except that of Licensor and Licensee.

23.05 **Successors and Assigns.** This Agreement shall apply to and bind the heirs, executors, administrators, successors and assigns of all of the parties hereto (and with respect to Licensor, the rights and benefits of Licensor shall inure to the benefit of its parent, affiliates, and subsidiaries and may be directly enforced by such parent, affiliates, and subsidiaries).

23.06 **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the state in which the applicable Licensed Area is located.

23.07 **Counterparts.** This Agreement may be signed in multiple counterparts which, including via electronic means and signatures (such as fax, pdf, DocuSign and the like, which signatures will be considered original) when signed by all parties, shall constitute a binding agreement.

23.08 **Entire Agreement.** This Agreement reflects, supersedes and merges all the prior agreements and negotiations of the parties hereto with respect to its subject matter, and contains their entire agreement.

23.09 **Further Assurances.** The parties agree to promptly sign all documents reasonably required to give effect to the provisions of this Agreement.

23.10 **Severability.** If any one or more of the provisions contained herein shall, for any reason, be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision of this Agreement, but this Agreement shall be construed as if such invalid, illegal or unenforceable provision had not been contained herein.

23.11 **Legal Advice.** Each party has received independent legal advice from its attorneys with respect to the advisability of executing this Agreement and the meaning of the provisions hereof. The provisions of this Agreement shall be construed as to the fair meaning and not for or against any party based upon any attribution of such party as the sole source of the language in question.

23.12 **Consents.** Licensor and Licensee each represent and warrant to the other that each respective party has the full right, legal power and actual authority to enter into this Agreement, and has obtained the consent of any and all persons, firms or entities, including lenders, as is required to enter into this Agreement.

23.13 **Incorporation of Recitals.** Licensor and Licensee hereby acknowledge and agree that the facts stated in the Recitals above are true and correct and are hereby incorporated into this Agreement.

23.14 **Brokers and Consultants.** Licensor and Licensee each represent and warrant to the other that they have not dealt with or been represented by any brokers, consultants, agents, finders, or other persons or entities in connection with this transaction other than 1045, LLC, as real estate consultant for Licensor. Licensor agrees to indemnify, defend and hold Licensee harmless from the claim of any other broker, consultants, agents, finders, or other persons or entities claiming through Licensor and Licensee agrees to indemnify, defend and hold Licensor harmless from the claim of any other broker, consultants, agents, finders, or other persons or entities claiming through Licensee.

24. **CONFIDENTIALITY.** Each party agrees to hold all disclosed confidential or proprietary information or trade secrets of the other party in trust and confidence and such shall not be disclosed to any other person or entity without the express written consent of such other party.

25. **HAZARDOUS MATERIALS.** Licensee is responsible for, shall remove and shall indemnify Licensor in connection with all hazardous materials and substances created by Licensee.

26. **TRANSFER OF LICENSOR'S INTEREST.** Licensor reserves the right to terminate this Agreement, without cause, if Licensor elects to sell, assign or transfer that portion of the Shopping Center where the Licensee is located. Licensor shall provide notice to Licensee in all instances of an assignment or transfer of Licensor's interest in the Agreement.

[Remainder of page is blank; signatures follow]

IN WITNESS WHEREOF, this Agreement is executed the day and year first hereinabove written.

Licensor:

KROGER TEXAS L.P.

an Ohio limited partnership

By: KRGP LLC, an Ohio limited liability company,
its general partner

By:

Name: Rick J. Landrum

Its: Vice President

Licensee:

TEXX TEAM USA LLC, a Texas corporation

By:

Name: Miglena Minkova

Its: Development Manager

Exhibit A

Division	Store	Fee (\$)
035-Dallas Operating Division	00445	\$450
035-Dallas Operating Division	00451	\$450
035-Dallas Operating Division	00460	\$450
035-Dallas Operating Division	00495	\$450
035-Dallas Operating Division	00527	\$450
035-Dallas Operating Division	00530	\$450
035-Dallas Operating Division	00543	\$450
035-Dallas Operating Division	00548	\$450
035-Dallas Operating Division	00561	\$450
035-Dallas Operating Division	00562	\$450
035-Dallas Operating Division	00563	\$450
035-Dallas Operating Division	00565	\$450
035-Dallas Operating Division	00572	\$450
035-Dallas Operating Division	00574	\$450
035-Dallas Operating Division	00575	\$450
035-Dallas Operating Division	00576	\$450
035-Dallas Operating Division	00578	\$450
035-Dallas Operating Division	00579	\$450
035-Dallas Operating Division	00580	\$450
035-Dallas Operating Division	00584	\$450
035-Dallas Operating Division	00585	\$450
035-Dallas Operating Division	00592	\$450
035-Dallas Operating Division	00594	\$450
035-Dallas Operating Division	00596	\$450
035-Dallas Operating Division	00598	\$450
035-Dallas Operating Division	00695	\$450

- 1980 N GOLIAO ST, ROCKWALL
 - 2935 RIDGE RD, ROCKWALL
 ~

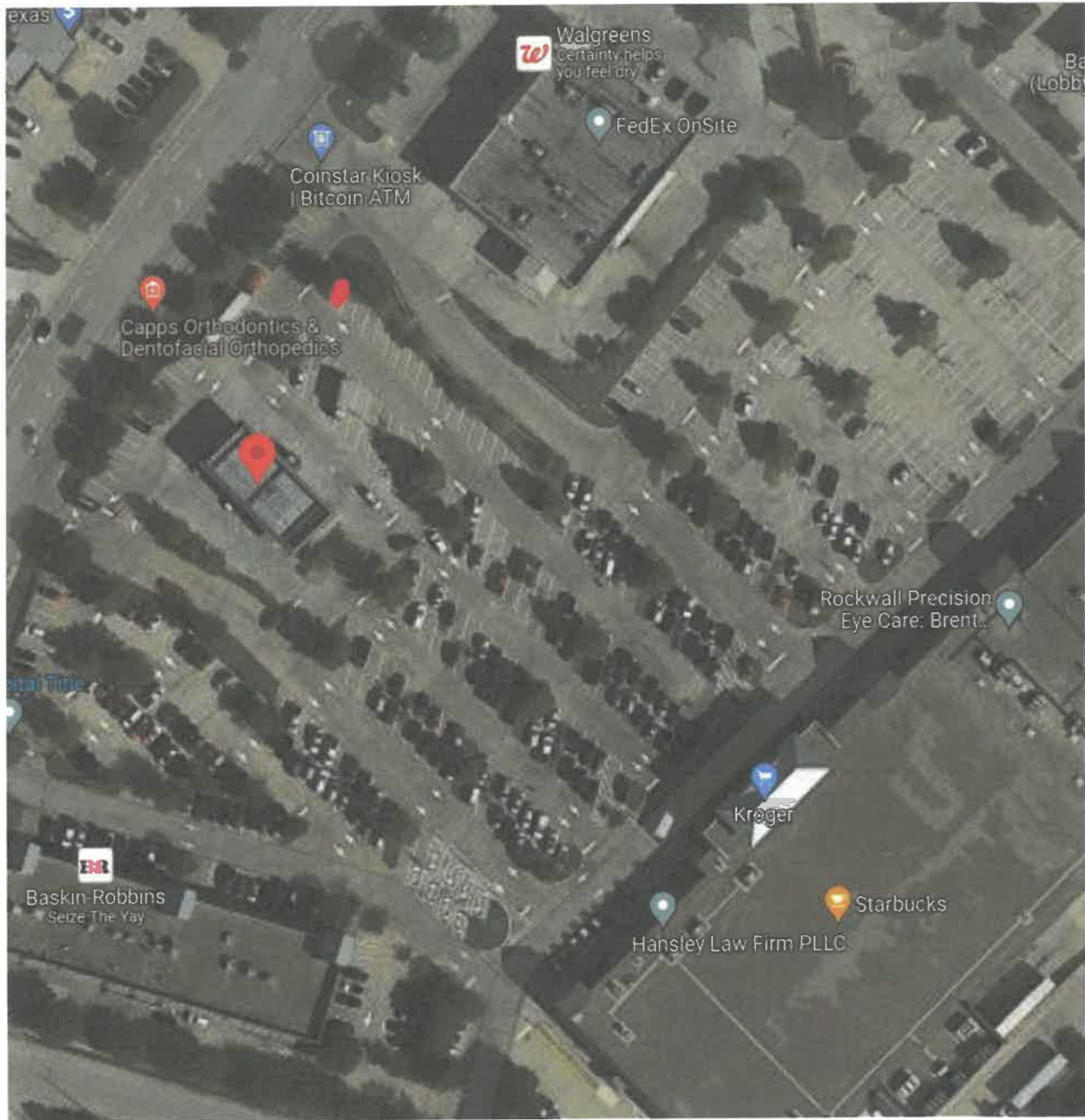
19180 N GOLIAD ST, ROCKWALL

035-00574



2935 RIDGE RD , ROCKWALL

035-00575





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 29, 2024
APPLICANT: Will Winkelmann; *Winkelmann & Associates, Inc.*
CASE NUMBER: SP2024-041; *Site Plan for Large Format Retailer (IKEA)*

SUMMARY

Discuss and consider a request by Will Winkelmann of Winkelmann & Associates, Inc. on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Site Plan for *General Retail Store and Restaurant (i.e. IKEA)* on a 18.663-acre tract of land identified as a portion of Lot 1, Block B and Lot 1R, Block C, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 102 (PD-102) for Commercial (C) District land uses, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the December 7, 1993 *Zoning Map*, a portion of the subject property was zoned Highway Commercial (HC) District at some point between annexation and December 6, 1993. This designation was later changed to a Light Industrial (LI) District between December 8, 1993 and April 5, 2005 according to the City's *Historic Zoning Maps*. On January 6, 2020, the City Council approved *Case No. P2019-048 (filed on April 9, 2021)* establishing the subject property as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition. On October 2, 2023, the City Council adopted *Ordinance No. 23-56 [Case No. Z2023-041]* changing the zoning of the subject property from an Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District. On October 21, 2024, the City Council approved a zoning change [*Case No. Z2024-035; Ordinance No. 24-42*] that entitled the subject property for a *Large Format Retailer*. The subject property has remained vacant since annexation.

PURPOSE

On October 18, 2024, the applicant -- *Will Winkelmann of Winkelmann & Associates, Inc.* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an ~108,517 SF *General Retail Store and Restaurant (i.e. IKEA)* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of Stodghill Road (*i.e. FM-3549*) and the IH-30 Westbound Frontage Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 36.56-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Commercial Addition*) zoned Agricultural (AG) District. North of this parcel is a 120-foot railroad right-of-way, which is owned by the *M. K. & T. Railroad*. Beyond this are 11 tracts of land (*i.e. Tracts 1, 11, 13, 15, 22, 24, 25, 25-01, 25-2, 30, & 31 of the E. M. Elliott Survey, Abstract No. 77*) that are zoned Agricultural (AG) District and Single-Family Estate 1.5 (SFE-1.5) District. Eight (8) of these properties have existing single-family homes situated on them. Beyond this is Airport Road, which is designated as a M4U (*i.e. major collector, four [4] Lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are two (2) tracts of land (i.e. a portion of Lot 1, Block C, Rockwall Commercial Park Addition and Tract 5-1 of the J. Lockhart Survey, Abstract No. 134) that are zoned Light Industrial (LI) District. Both of these properties have existing industrial buildings situated on them. Beyond this is the westbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the eastbound lanes of the IH-30 Frontage Road.

East: Directly east of the subject property is Stodghill Road, which is identified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant tracts of land (i.e. Tracts 10 & 10-3 of the R. Irvine Survey, Abstract No. 120) zoned Commercial (C) District. East of this are the City limits between the City of Rockwall and the City of Fate and the City of Mobile City.

West: Directly west of the subject property are multiple vacant parcels of land zoned Agricultural (AG) District, Light Industrial (LI) District, and Commercial (C) District. Beyond this is John King Boulevard, which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), and Exhibit 'G', *Development Standards*, of Planned Development District 102 (PD-102; Ordinance No. 24-42), a *General Retail Store*, a *Restaurant*, and *Warehouse/Distribution* are permitted *by-right* land uses on the subject property. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within Planned Development District 102 (PD-102) and the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=18.664-Acres; In Conformance
<i>Minimum Lot Width</i>	60-Feet	X= 1,156-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=522-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=43.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=13.35%; In Conformance
<i>Minimum Number of Parking Spaces</i>	361 Parking Spaces Required	X=467; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=25.33%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates that the development will result in the removal of 143 caliper inches of trees. Based on the landscape plan provided by the applicant, the development is proposing to plant 644 caliper inches of trees on-site, which will satisfy the tree mitigation requirements of the Unified Development Code (UDC).

CONFORMANCE WITH THE CITY'S CODES

Based on the site plan provided by the applicant, the proposed *Large Format Retailer* (i.e. IKEA) will incorporate three (3) land uses. These land uses will be a *General Retail Store*, a *Restaurant*, and a *Warehouse/Distribution Center*. According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *General Retail Store* is defined as "(a) facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale. Typical general merchandise includes clothing and other apparel; equipment for hobbies or sports; gifts; flowers and household plants; dry goods; groceries, convenience, and specialty foods; toys; furniture; books and stationery; pets; drugs; hardware; and similar

consumer goods.” In addition, a *Restaurant* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on premise or off-premise and does not provide facilities that allow the serving and consumption of food in personal vehicles on or near the restaurant premises.” In this case, the *Large Format Retailer* (i.e. *IKEA*) primarily engages in the sale of home furnishings and goods, and incorporates an interior restaurant for customers. The proposed *Large Format Retailer* (i.e. *IKEA*) also includes a *Warehouse/Distribution Center* component, and according to Article 13, *Definitions*, of the Unified Development Code (UDC), *Warehouse/Distribution* is defined as “(a) building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment...” In this case, the *Warehouse/Distribution Center* is used as fulfillment center for customer that make purchases in the store and for online orders.

In reviewing Planned Development District 102 (PD-102) [*Ordinance No. 24-42*], the subject property is located within *Subdistrict A*, and is subject to specific requirements for landscaping, building location and setbacks, parking layout, and building material and articulation standards. The proposed site plan and landscape plans show conformance to the landscaping, parking, density and dimensional requirements. According to *Ordinance No. 24-42*, the building elevations “...shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict A* contained in *Exhibit ‘F’*...” of the ordinance. In this case, the proposed building elevations do generally conform to the building elevations depicted in *Exhibit ‘F’* of Planned Development District 102 (PD-102). In addition, the proposed site plan, landscape plans, and building elevations generally conform to all applicable requirements of the *General Commercial District Standards* and the *General Overlay District Standards* stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variance(s) and exception(s) being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant’s request generally conforms to the majority of the City’s codes and the requirements of Planned Development District 102 (PD-102) [*Ordinance No. 24-42*]; however, staff has identified the following variance(s) and exception(s):

- (1) *Construction Standards*. According to Subsection 04.01(A)(1), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “...parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.” In lieu of painting the TPO membrane to match the exterior wall -- *which is a typical request for commercial buildings* --, the applicant is proposing to cover the TPO with a black EPDM. EPDM is a black synthetic rubber membrane that adds additional water proofing around the parapet. Since this is a synthetic rubber membrane it is not conducive to painting; however, the proposed product should have a better aesthetic for any visible areas of the parapet compared to the stark white TPO membrane. With this being said, this request will require an *exception* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) *Sidewalks*. According to Section 2.14, *Parkways, Grades, and Sidewalks*, of the *Engineering Standards of Design and Construction Manual*, “(s)idewalks shall be provided for all streets.” In this case, the applicant is requesting to not install the sidewalk along the portion of Conveyor Street that was not abandoned as part of the establishment of Planned Development District 102 (PD-102). This portion is approximately 240-feet. This will require an *exception* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide two (2) compensatory measures that directly offset each requested variance and/or exception. In this case -- *and in lieu of providing the required sidewalk* --, the applicant is proposing to construct a five (5) foot sidewalk along the east side of the detention pond. This represents a 523-foot sidewalk that will connect the future *Urban Residential Style Condominiums* to the IH-30 Frontage Road. This request is compensatory to the requested exception in that it will [1] increase connectivity, and [2] will provide twice as much sidewalk as required. When considering this exception, staff should also point out that this request appears to be a good substitute to the ordinance requirements, which -- *if followed* -- would leave a 236-foot sidewalk that would terminate at the property line of the *Large*

Format Retailer. In addition, the applicant has indicated they prefer to install the sidewalk along the detention pond to reduce pedestrian interaction with the loading areas and truck dock at the rear of the *Large Format Retailer*. Taking into account the applicant's proposed compensatory requests and justifications, these requests appear to be justified; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) will review the proposed building elevations at the October 29, 2024 meeting, and will provide a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an ~108,517 SF *General Retail Store, Restaurant, and Warehouse/Distribution Center (i.e. IKEA)* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/18/2024

PROJECT NUMBER: SP2024-041
PROJECT NAME: Site Plan for IKEA
SITE ADDRESS/LOCATIONS: Northwest Corner of FM 3549 & I-30
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	10/18/2024	Needs Review

10/18/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Large Format Retailer on an 18.663-acre tract of land identified as Lot 1, Block B, Lot 1R, Block C, Rockwall Commercial Addition, and Lot 1, Block D, Rockwall Commercial Park Addition, zoned Planned Development District 102 (PD-102) for limited Commercial (C) District land uses, generally located north of the intersection of the IH-30 Frontage Road and Conveyor Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-041) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish lot lines, and establish or abandoned easements.

M.5 Is the building being constructed in phases? Based on the Planned Development District 102 (PD-102) ordinance, it appears the north portion of the building (north of the loading docks) is not being constructed at this time. If there are future phases, please delineate these areas and indicate them as Future Phase.

M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.7 Site Plan.

- (1) Please provide the perimeter dimensions for the subject property. (Subsection 03.04.B, of Article 11, UDC)
- (2) Please indicate the distance between the building and the property lines. (Subsection 03.04.B, of Article 11, UDC)
- (3) Based on the changes to the Lot and Block designations identified with the Preliminary Plat, please update the site plan callouts in order to maintain consistency. (Subsection 03.04.B, of Article 11, UDC)
- (4) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04.B, of Article 11, UDC)
- (5) Please indicate the 5-foot sidewalk along Conveyor Street as detailed within the Planned Development District Ordinance. (PD-102)
- (6) Please provide a breakdown of the land use (e.g. Office, Retail, Restaurant...) square footages, and please indicate the number of outdoor seats. Staff needs to determine conformance to the parking standards established with the Planned Development District 102 (PD-102) ordinance. (PD-102)
- (7) Please indicate the type and depth of paving material(s), and provide a detail. (Subsection 03.02, of Article 06, UDC)
- (8) Please clarify how the "Outdoor Sales" area indicated on the site plan is being used. If it is merchandise for sale, this is considered incidental display, which must meet the requirements of Subsection 02.03(F)(6), of Article 04, UDC. Please contact staff if you have specific questions about these requirements. (Subsection 02.03(F)(6), of Article 04, UDC)
- (9) Please add a wing wall just north of the "employee parking" area at the rear of the building. See the staff mark-up for clarification on the location. (Article 08, UDC)
- (10) Please indicate the 10-foot utility easement followed by the 10-foot landscape buffer along Conveyor Street. (Engineering Standards of Design and Construction; Article 08, UDC)
- (11) Please indicate the 10-foot utility easement followed by the 20-foot landscape buffer along the IH-30 Frontage Road. (Engineering Standards of Design and Construction; Article 08, UDC)
- (12) All parking spaces are to be 9'x20'. (Engineering Standards of Design and Construction)
- (13) Please indicate if there is any existing fencing remaining or if there is any proposed fencing. Please indicate the height and material of any proposed fencing. (Subsection 08.02.F, of Article 08, UDC)
- (14) Please note that all roof top equipment (i.e. RTUs) must be fully screened in accordance with Subsection 01.05.C, of Article 05, UDC. (Subsection 01.05.C, of Article 05, UDC)
- (15) Please provide a note that there will be no above ground storage tanks or outside storage. (Subsection 01.05, of Article 05, UDC)
- (16) Please clarify the dumpster situation. Are the "Trash Bins and Recycling" at the rear of the building the only waste containers? They are required to be in an eight (8) foot masonry enclosure that matches the materials used on the primary structure? Please provide a note that the dumpsters shall drain into an oil water separator before entering the storm system. In addition, provide a detail (including elevations) of the dumpster enclosure. (Subsection 01.05, of Article 05, UDC)
- (17) All ground mounted signage may not be within a utility easement. Please verify that all signage is moved out of the utility easements. (Engineering Standards of Design and Construction)

M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please indicate the pervious vs. impervious area for the development. (Subsection 01.01.B, of Article 05, UDC)
- (3) All canopy trees are required to be four (4) inch caliper at the time of planting. At this time, they are indicated to be three (3) inches on the landscape table. (Subsection 05.03.B, of Article 08, UDC)
- (4) All parking spaces shall be within 80-feet of a canopy tree. Please review the staff mark-up that shows where two (2) canopy trees will need to be located. (Subsection 05.03.E, of Article 08, UDC)
- (5) Please only provide the landscape buffer calculations for this development (i.e. IKEA). (Article 08, UDC)
- (6) The detention landscaping requirement are: one (1) canopy tree per 750 SF, and one (1) accent tree per 1,500 SF. In this case, there needs to be 24 more canopy trees and four (4) more accent trees. (Subsection 05.03.D, of Article 08, UDC)
- (7) The landscape buffer along the IH-30 Frontage Road requires two (2) canopy and four (4) accent trees per 100 linear feet. In this case, there needs to be one (1) more canopy tree and two (2) more accent trees. Please correct this. (PD-102)
- (8) Please identify visibility triangles on all lots for all driveway intersections and public streets. (Subsection 01.08, of Article 05, UDC)
- (9) Please provide a note that all irrigation will meet the requirements of the Unified Development Code (UDC). (Subsection 05.04, of Article 08, UDC)

M.9 Treescap Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)

M.10 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please better delineate the property line to aid in evaluating the plans conformance to the Unified Development Code (UDC) requirements. (Article 07, UDC)
- (3) Please note that up lighting is not permitted. (Subsection 03.03, of Article 07, UDC)
- (4) The light levels may not exceed 0.2 FC at any property line. Currently it appears that the southern property line does not meet this requirement. Please correct the plan to address this. (Subsection 03.03.G, of Article 07, UDC)

M.11 Building Elevations

- (1) Please provide a table indicating the percentage surface area for each of the proposed materials. This does not include doors or glazing. (Subsection 04.01, of Article 05, UDC)
- (2) Please move the tri-wing monopole to the signage plan. (Subsection 03.04.B, of Article 11, UDC)
- (3) Please clarify and provide a detail of sign PK_12, as it appears it is in the truck dock area. (Subsection 04.01, of Article 05, UDC)
- (4) Please remove the Parking Memorizer Signs from the sign plan, as these were removed from the PD Ordinance. (PD-102)
- (5) Please clarify the type of CMU being proposed for the equipment screening and loading dock wing wall; light weight block and smooth faced CMU is prohibited. The wing wall should match the design/construction of the primary building (i.e. tilt wall). (Subsection 04.01, of Article 05, UDC)
- (6) Please provide a note that the back side of the parapet will be finished in the same material as the exterior facing façade. If the exterior wall is painted tilt wall, then the backside of the parapet shall be painted to match. (Subsection 04.01, of Article 05, UDC)

I.12 Revised and corrected plans are due by 3:00 PM on October 23, 2024.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/public hearing meeting will be held on October 29, 2024.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/14/2024	Approved w/ Comments

- 10/14/2024:
- 1. All parking spaces must be minimum 9'x20'
 - 2. All dumpster/trash/recycle/compactor areas shall require an oil/water separator that drains to the storm drainage system.
 - 3. Ensure all proposed fire hydrants have at least 5' of clearance from BOC when adjacent to a parking space.
 - 4. All fire hydrants and meters must be located within min 20' water easement.
 - 5. All parking spaces must be minimum 9'x20'
 - 6. Proposed retaining wall cannot be located within 10' utility easement along frontage.
 - 7. A min 5' sidewalk will be required along Conveyor St. The portion of Conveyor St. that will remain ROW will need to be reconstructed.
 - 8. No trees to be with 5' of any public water, sewer, or storm line that is less than 10" or structure.
 - 9. No trees to be with 5' of any public water, sewer, or storm line that is less than 10" or structure.
 - 10. No trees to be with 5' of any public water, sewer, or storm line that is less than 10" or structure.

General comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.

- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines will need to be placed underground.
- A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
- An Infrastructure study is required. Review fees apply. Improvements identified within the infrastructure must be constructed at a minimum.
- City driveway spacing requirements must be met along Justin. TXDOT driveway spacing requirements must be met along I-30 frontage and FM 3549 (Stodghill).
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
- Existing flow patterns must be maintained.
- Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- An emergency spillway is required for the detention pond.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.
- For drainage areas over 20 acres, the drainage design and study is sent to 3rd party consultant for review. Review fees apply.
- Must comply with the results of the drainage study, once completed.

Property drains in multiple directions. Multiple detention systems may be required depending on proposed drainage patterns. Drainage may not increase flowing off site from any basin.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Any utility connects across existing roadways must be completed by dry bore.
- Any utility work in TXDOT ROW will require TxDOT permit.
- Must install 12" water mains per City master plans. Dedicate easements. - Must continue 12" sewer main along Justin Road.
- Must comply with the results of the Water/Sewer Infrastructure study, once completed.
- Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
- Water to be 10' separated from storm and sewer lines.
- Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.
- 12" Water main must be connected from existing 12" along Conveyor to Water main along IH30.
- 10' utility easement required along remaining Conveyor ROW.

Roadway Paving Items:

- All new paving to be steel reinforced concrete.
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking allowed without a city approved turn around.
- Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.

- Sidewalk required along public and TXDOT roadways.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Must build the second half of Justin Road per the City master thoroughfare plans, along with street lights, irrigation sleeve, and sidewalks
- No median cuts will be allowed in FM 3549 (N. Stodghill Road) due to driveway spacing requirements.
- TXDOT spacing requirements along I-30 for 40MPH posted speed limit is 305 ft and you may not have a driveway in the ramp gore area. Driveway spacing from gore must meet TXDOT standards.
- TXDOT permit will be submitted by the City.
- Must comply with the results of the TIA, once completed.
- Must construct the remaining width (35' B-B) of Conveyor
- All median (including median nose) construction must meet City requirements

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/18/2024	Needs Review

10/18/2024: * ONLY 8 FLAGS ARE ALLOWED - SITE PLAN INDICATES 12 FLAG POLE SIGNS

* WALL SIGNS -

- NORTH ELEVATION - REDUCE WALL SIGNAGE TO 5% - CURRENTLY EXCEEDS WITH 5.5%
- SOUTH ELEVATION - REDUCE WALL SIGNAGE TO 15% - CURRENTLY EXCEEDS WITH 17.07%
- EAST ELEVATION - ALLOWED 20% WALL SIGNAGE - ELEVATION STATES 15%

* NAVIGATION TOWER SIGN - COMPLIES WITH DRAFT ORDINANCE

* BANNER SIGN - COMPLIES WITH DRAFT ORDINANCE

* SHOPPING CENTER SIGN ILLUSTRATION WAS NOT PROVIDED BUT WILL NEED TO MEET THE CRITERIA IN THE DRAFT ORDINANCE

* ALL OTHER SIGNAGE IS REQUIRED TO COMPLY WITH MEASUREMENTS IN THE DRAFT ORDINANCE.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/10/2024	Needs Review

10/10/2024: Provide additional details on the building construction to determine compliance with the exception for the following code section or provide an aerial fire apparatus access road that meets the location requirements:

Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Exception: Where approved by the fire code official, buildings of Type IA, Type IB or Type IIA construction equipped throughout with an automatic sprinkler system in accordance with IFC Section 903.3.1.1 and having fire fighter access through an enclosed stairway with a Class I standpipe from the lowest level of fire department vehicle access to all roof surfaces.

One or more of the required aerial apparatus access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official.

Show the proposed locations for the Fire Department Connections.

Per NFPA 14 10.7.2.2, a minimum of two FDCs shall be provided for each zone for buildings exceeding 900 ft perimeter distance

The FDCs shall be located on opposite corners of the building closest to the fire department vehicle access. Where FDCs cannot be located on opposite corners, they shall be separated to the greatest extent possible.

FDCs shall be visible and recognizable from the street or the nearest point of the fire department apparatus access.

FDCs shall be located within 50 ft of the street or the nearest point of fire department apparatus access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Olesya Powers	10/18/2024	Approved w/ Comments

10/18/2024: Contact Lance Singleton for Addressing. lsingleton@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/09/2024	Approved

No Comments

CC #2021000008470

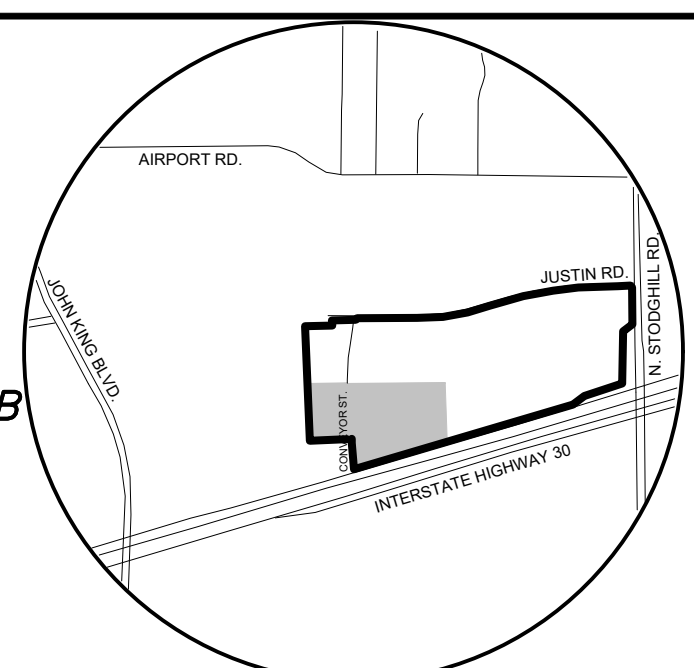
LEGEND	
	PROPERTY BOUNDARY/R.O.W.
	FIRE LANE CONCRETE PAVEMENT

LOT 1R-A, BLOCK B
4.639 AC.
(202,072 S.F.)

SITE PLAN NOTES:

- DIMENSIONS ARE TO FACE OF CURB OTHERWISE NOTED.
- ALL NEW PAVEMENT IS CONCRETE.
- TYPICAL PARKING STALL DIMENSIONS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED:
-TYPICAL PARKING SPACES: 9'x20'
-CUSTOMER LOADING PARKING SPACES: 10'x20'
-FAMILY SPACES: 12'x20'
-ADA VAN SPACE: 8'x20' & 8' AISLE
-ADA STANDARD SPACE: 9'x20' & 5' AISLE
-EV PARKING SPACE: 9'x20' & 3' AISLE
- FRONT LANDSCAPE BUFFER: 20'
- FRONT BUILDING SETBACK: 25'
- MINIMUM SIDE & REAR SETBACKS: 10'

LOT 2, BLOCK B
10.924 AC.
(475,849 S.F.)



VICINITY MAP
NOT TO SCALE

General Site Data	
Zoning	
Land Use(s)	
Lot Area (square feet)	
Building Footprint	
Building Height (# of stories)	
Building Height (feet)	
Building Lot Coverage	
Floor Area Ratio (Front)	
Parking	
Parking Ratio (Proposed)	
Required Parking (Minimum)	
Provided Parking (Minimum)	
Accessible Parking	
Accessible Parking	

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18' or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines will need to be placed underground.
- A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
- An Infrastructure study is required. Review fees apply. Improvements identified within the infrastructure must be constructed at a minimum.
- City driveway spacing requirements must be met along Justin. TXDOT driveway spacing requirements must be met along I-30 frontage and FM 3549 (Stodghill).
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
- Existing flow patterns must be maintained.
- Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- An emergency spillway is required for the detention pond.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.
- For drainage areas over 20 acres, the drainage design and study is sent to 3rd party consultant for review. Review fees apply.
- Must comply with the results of the drainage study, once completed. Property drains in multiple directions. Multiple detention systems may be required depending on proposed drainage patterns. Drainage may not increase flowing off site from any basin.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Any utility connects across existing roadways must be completed by dry bore.
- Any utility work in TXDOT ROW will require TxDOT permit.
- Must install 12" water mains per City master plans. Dedicate easements.
- Must continue 12" sewer main along Justin Road.
- Must comply with the results of the Water/Sewer Infrastructure study, once completed.
- Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
- Water to be 10' separated from storm and sewer lines.
- Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.
- 12" Water main must be connected from existing 12" along Conveyor to Water main along IH30.
- 10' utility easement required along remaining Conveyor ROW.

Roadway Paving Items:

- All new paving to be steel reinforced concrete.
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking allowed without a city approved turn around.
- Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
- Sidewalk required along public and TXDOT roadways.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Must build the second half of Justin Road per the City master thoroughfare plans, along with street lights, irrigation sleeve, and sidewalks
- No median cuts will be allowed in FM 3549 (N. Stodghill Road) due to driveway spacing requirements.
- TXDOT spacing requirements along I-30 for 40MPH posted speed limit is 305 ft and you may not have a driveway in the ramp gore area. Driveway spacing from gore must meet TXDOT standards.
- TXDOT permit will be submitted by the City.
- Must comply with the results of the TIA, once completed.
- Must construct the remaining width (35' B-B) of Conveyor
- All median (including median nose) construction must meet City requirements

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:	
ROCKWALL 549/I30 PARTNERS, LP & CONVEYOR I30 PARTNERS, LP	
8750 N CENTRAL EXPY	
DALLAS, TEXAS 75231	
DEVELOPER:	
IKEA	
400 ALAN WOOD ROAD	
CONSHOHOCKEN, PA 19428	
TEL: (610) 834-0180	

CASE NUMBER:

A min 5' sidewalk will be required along Conveyor St.
The portion of Conveyor St. that will remain ROW will need to be reconstructed.

Proposed retaining wall cannot be located within 10' utility easement along frontage.

All parking spaces must be minimum 9'x20'

All fire hydrants and meters must be located within min 20' water easement.

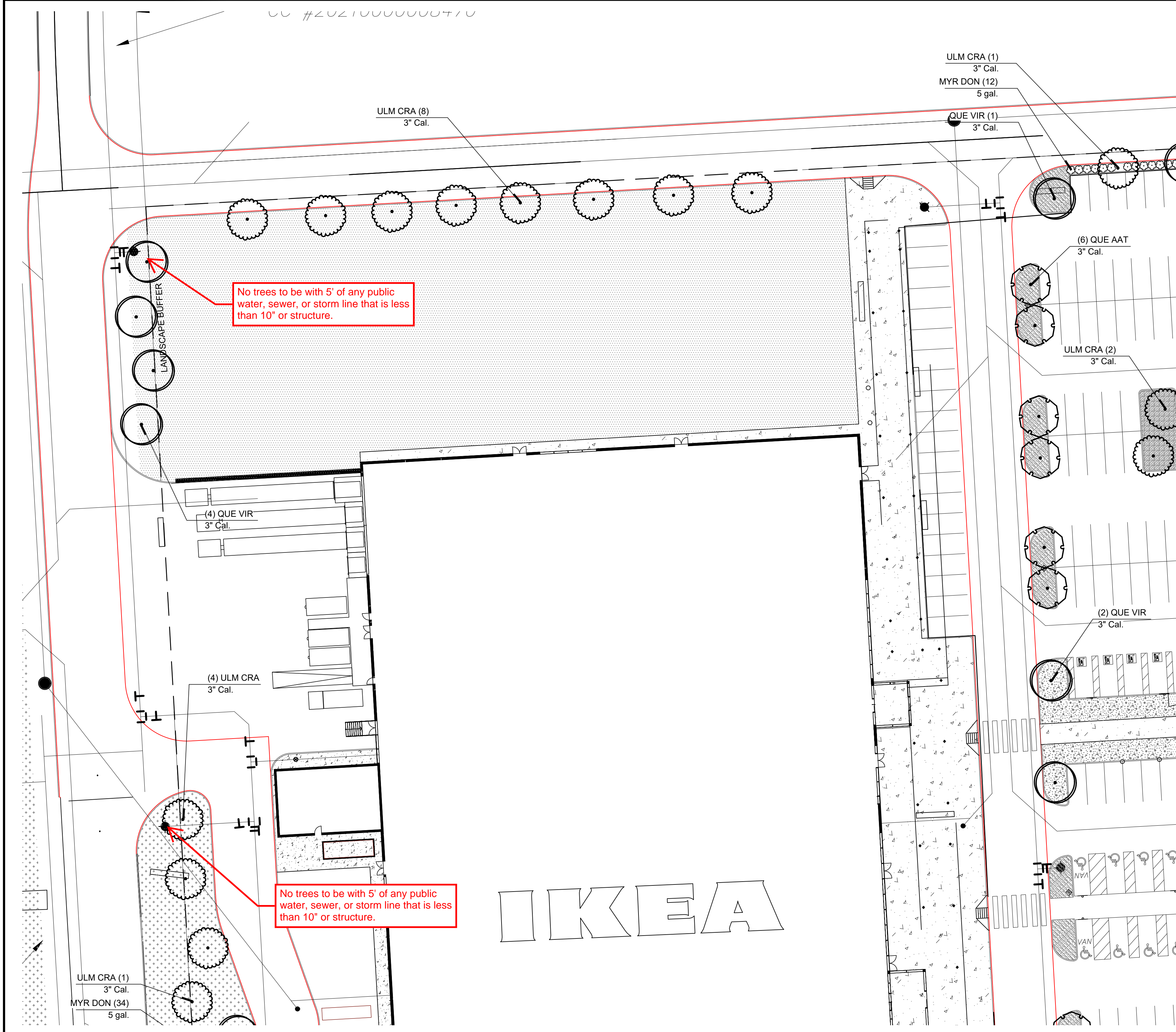
All dumpster/trash/recycle/compactor areas shall require an oil/water separator that drains to the storm drainage system.

Ensure all proposed fire hydrants have at least 5' of clearance from BOC when adjacent to a parking space.

All parking spaces must be minimum 9'x20'

Winkelmann & Associates, Inc.	
CONSULTING CIVIL ENGINEERS & SURVEYORS	
6750 HILGREET PLAZA DR., SUITE 215	
ROCKWALL, TEXAS 75087	
PHONE: (972) 490-7090	
FAX: (972) 490-7098	
E-MAIL: info@winkelmann.com	
WWW: www.winkelmann.com	
CIVIL ENGINEER: [Signature]	
DATE: 10-08-2024	
SITE PLAN	
NWC OF I-30 & STODGILL RD.	
ROCKWALL, TEXAS 75087	
1	
APPROVED	

LAST SAVED BY: COLUDSKA, October 4, 2024



No trees to be with 5' of any public water, sewer, or storm line that is less than 10' or structure.

No trees to be with 5' of any public water, sewer, or storm line that is less than 10' or structure.

IKEA

CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5



NOTE:
 NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.

REF SHEET L-5 FOR PLANT LEGEND

CITY OF ROCKWALL LANDSCAPE REQUIREMENTS

LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER	
	REQUIRED	PROVIDED
	10'	10'

STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE	
	REQUIRED (NORTH)	PROVIDED
	1115'/50 = 22 TREES	XX TREES
REQUIRED (SOUTH)	PROVIDED	
	1156'/50 = 23 TREES	23 TREES
REQUIRED (EAST)	PROVIDED	
	522'/50 = 10 TREES	10 TREES
REQUIRED (WEST)	PROVIDED	
	762'/50 = 15 TREES	15 TREES

PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING	
	REQUIRED	PROVIDED
	204,189 X 5% = 10,210 SF	16,529 SF

PARKING LOT TREES	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES	
	REQUIRED	PROVIDED
	448 SPACES/10 = 45 TREES	45 NEW TREES

PARKING LOT TREES	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE	
	REQUIRED	PROVIDED
	ALL SPACES WITHIN 80'	ALL SPACES WITHIN 80'

LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA	
	REQUIRED	PROVIDED
	812,982 X 15% = 121,947 SF	205,947 SF

LANDSCAPE AREA	50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD	
	REQUIRED	PROVIDED
	92,163 X 50% = 46,082 SF	172,587 SF

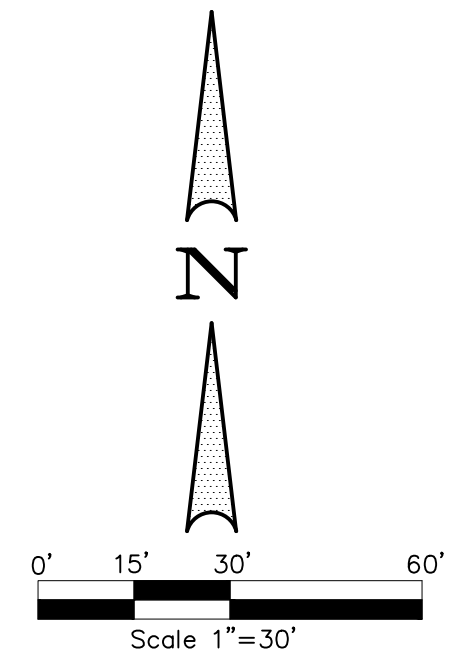
DETENTION AREA REQUIRED TREES	ONE (1) TREE PER 750 SQ FT OF DETENTION AREA	
	REQUIRED	PROVIDED
	56,250 SF / 750 = 75 TREES	75 TREES

OVERLAY DISTRICT LANDSCAPE REQUIREMENTS

STREET LANDSCAPING	(2) 4" CANOPY TREES AND (4) ACCENT TREES FOR EACH 100' OF STREET FRONTAGE	
	REQUIRED	PROVIDED
	1156'/100 X 2 = 23 TREES	23 TREES
	1156'/100 X 4 = 46 ACCENT TREES	46 TREES
	20' LANDSCAPE BUFFER	
	BUILT UP BERM AND/OR SHRUBS 30" - 48" MAX.	

- NOTE:**
- NO TREES SHALL BE PLANTED WITHIN 5' (HORIZONTALLY) FROM ANY PUBLIC UTILITY
 - FOR ALL PLANTING ALONG 18' (LENGTH PARKING SPACES: ALL PLANTS MUST BE PLANTED A MINIMUM OF 4' FROM BACK OF CURB)

- PLANTING NOTES:**
- PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO APPROVE NEW TREES ON SITE. LANDSCAPE ARCHITECT SHALL MAKE ONE TRIP TO SITE TO INSPECT TREES. ALL TREES SHALL BE STORED AND HEELED IF REQUIRED PRIOR TO CONTACTING LANDSCAPE ARCHITECT FOR INSPECTION.
 - ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
 - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
 - ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
 - ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
 - CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
 - MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
 - PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
 - SEE DETAIL SHEET L-8 FOR PLANTING DETAILS.
 - CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
 - EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE WITH APPROVAL OF OWNER AND CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES, AS WELL AS BRANCHES THAT OBSTRUCT SIGN VISIBILITY. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 - QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
 - INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
 - INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUND COVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
 - AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
 - BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
 - PRIOR TO TREE PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.



FAIN • CUPPET
LANDSCAPE ARCHITECTS, LLC
 8233 Mid Cities Blvd., Suite B
 North Richland Hills, TX 76182-4761 817-479-0730
 PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 1/30/15, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON SHALL MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

SITE PLAN SIGNATURE BLOCK:

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.663 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CIVIL ENGINEER:
WINKELMANN & ASSOCIATES, INC.
 6750 HILL CREST PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75230
 TEL: (972) 490-7090/203
 CONTACT: WILL WINKELMANN

IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180
 CONTACT: JEANNIE.DE.FAZIO@INGKA.IKEA.COM

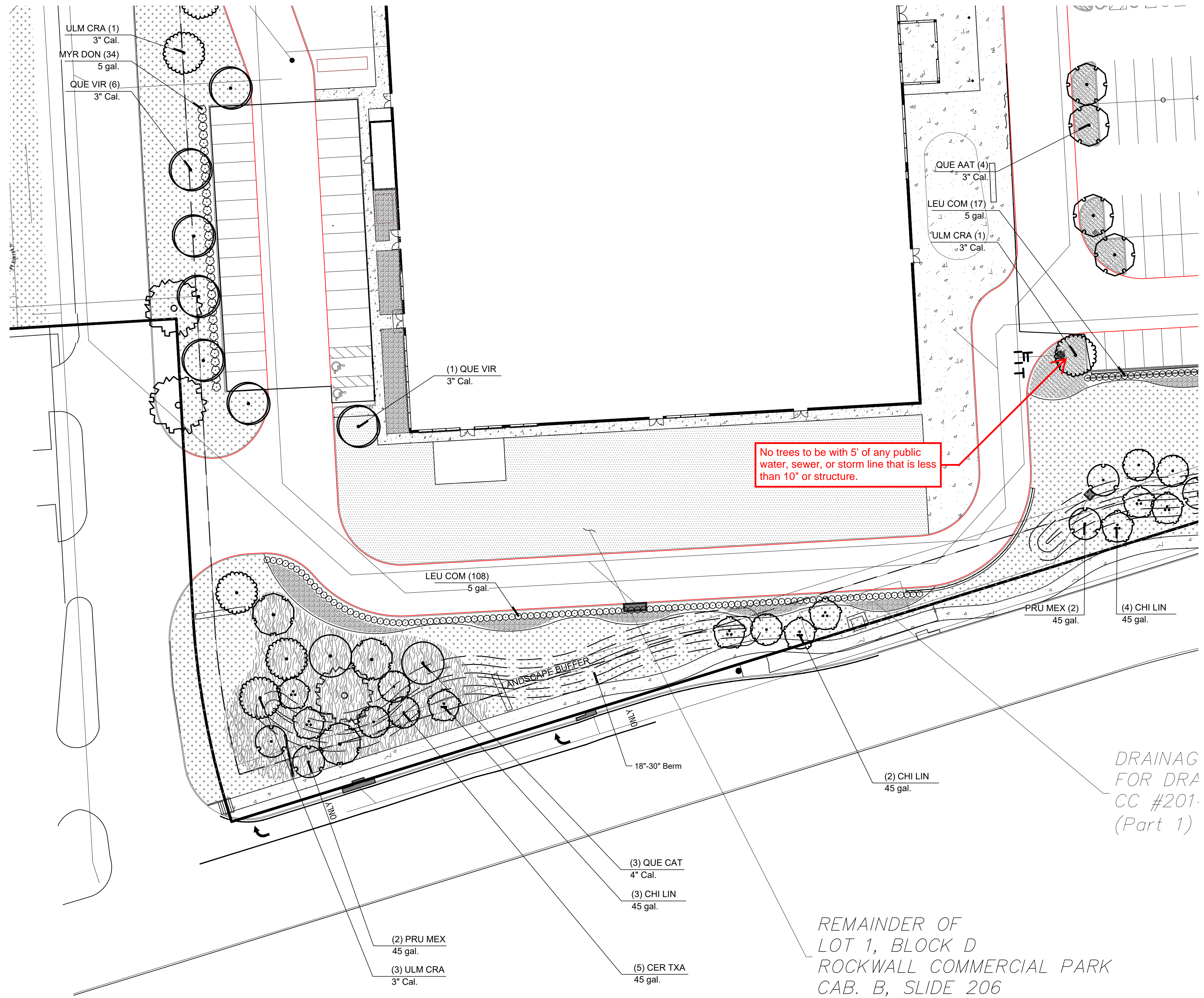
LANDSCAPE PLAN
 NWC OF I-30 & STODGILL RD.
 ROCKWALL, TEXAS 75087

L-2

No.	DATE	REVISION	APPROV.
6.			
5.			
4.			
3.			
2.			
1.			

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 6750 HILL CREST PLAZA DRIVE, SUITE 215 (972) 490-7090 FAX (972) 490-7099 FAX
 Texas Engineers Registration No. 89 06866-01
 Copyright © 2020, Winkelmann & Associates, Inc.

J. Cuppett
 REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 2672
 100124



No trees to be with 5' of any public water, sewer, or storm line that is less than 10' or structure.

DRAINAG FOR DRA CC #201 (Part 1)

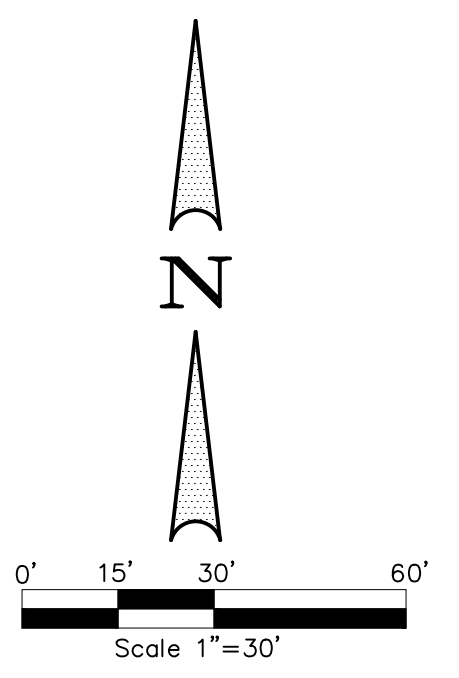
REMAINDER OF LOT 1, BLOCK D ROCKWALL COMMERCIAL PARK CAB. B, SLIDE 206

REF SHEET L-5 FOR PLANT LEGEND

CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5



BEFORE YOU DIG...



FAIN • CUPPETT
LANDSCAPE ARCHITECTS, LLC
 8233 Mid Cities Blvd., Suite B
 North Richland Hills, TX 76182-4761 817-479-0730
 PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 1/20/15, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

SITE PLAN SIGNATURE BLOCK:

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.663 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CIVIL ENGINEER:
 WINKELMANN & ASSOCIATES INC.
 6750 HILL CREST PLAZA DRIVE, SITE 215
 DALLAS, TEXAS 75230
 TEL: (972) 490-7090x203
 CONTACT: WILL WINKELMANN

IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180
 CONTACT: JEANNIE.DE.FAZIO@INGKA.IKEA.COM

<p>LANDSCAPE PLAN</p> <p>NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087</p> <p>L-4</p>	<p>Winkelmann & Associates, Inc.</p> <p>CONSULTING CIVIL ENGINEERS ■ SURVEYORS</p> <p>6750 HILLCREST PLAZA DRIVE, SUITE 215 DALLAS, TEXAS 75230 (972) 490-7090 FAX (972) 490-7099 FAX Copyright © 2015 Winkelmann & Associates, Inc.</p>	<p>100124</p>
	<p>6.</p>	<p>5.</p>
	<p>4.</p>	<p>3.</p>
	<p>2.</p>	<p>1.</p>
	<p>No.</p>	<p>DATE</p>
	<p>REVISION</p>	<p>APPROV.</p>



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Northwest corner of FM 3549 & I-30

SUBDIVISION Rockwall Commercial

LOT 1, 1R, 1 BLOCK A,B,C

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE Vacant

PROPOSED ZONING Planned Development

PROPOSED USE Large Format Retail

ACREAGE 18.663

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ROCKWALL 549/I-30 PARTNERS LP / CONVEYOR I-30 PARTNERS LP

APPLICANT Winkelmann & Associates, Inc.

CONTACT PERSON JAMES J. MELINO

CONTACT PERSON Will Winkelmann

ADDRESS 8750 N. CENTRAL EXPRESSWAY
SUITE 1735

ADDRESS 6750 Hillcrest Plaza Dr.

Suite 215

CITY, STATE & ZIP DALLAS, TX 75231

CITY, STATE & ZIP Dallas, TX 75230

PHONE 214-532-3924

PHONE 214-549-7296

E-MAIL jim@CAMBRIDGECOS.COM

E-MAIL will@winkelmann.com

NOTARY VERIFICATION [REQUIRED]

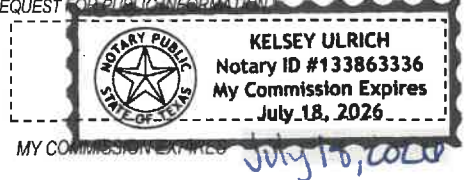
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James J. Melino, Authorized Representative of [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: Rockwall 549/I-30 Partners, L.P. and Conveyor/I-30 Partners, L.P.

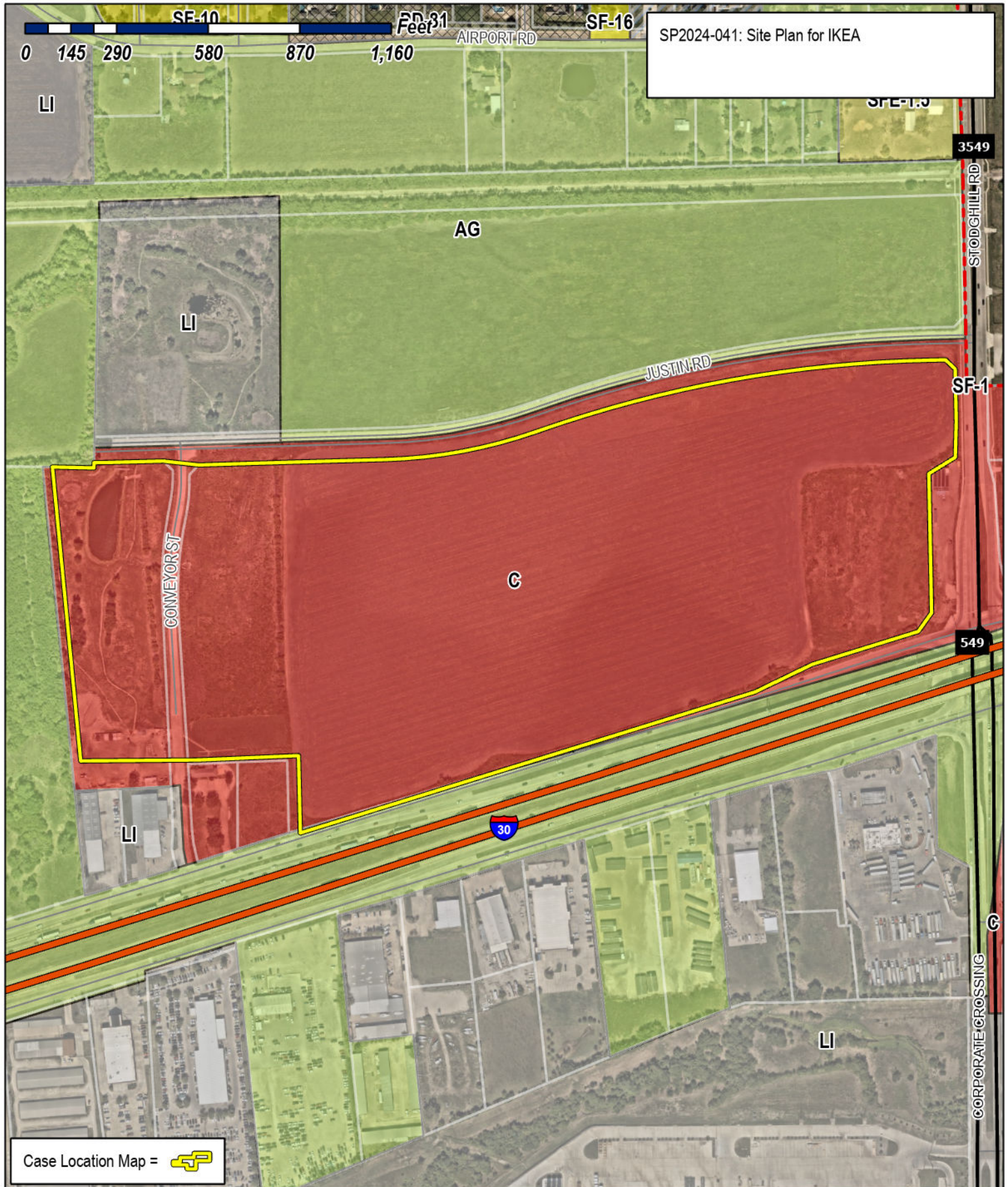
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 4th DAY OF September, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024.


OWNER'S SIGNATURE *James J. Melino*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS *Kelsey Ulrich*





SP2024-041: Site Plan for IKEA

Case Location Map = 

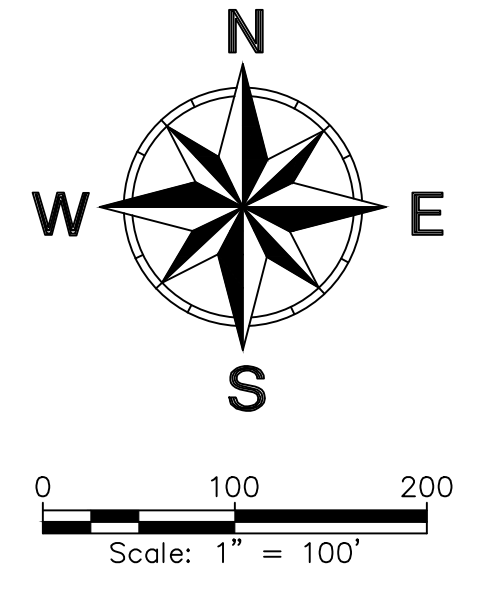
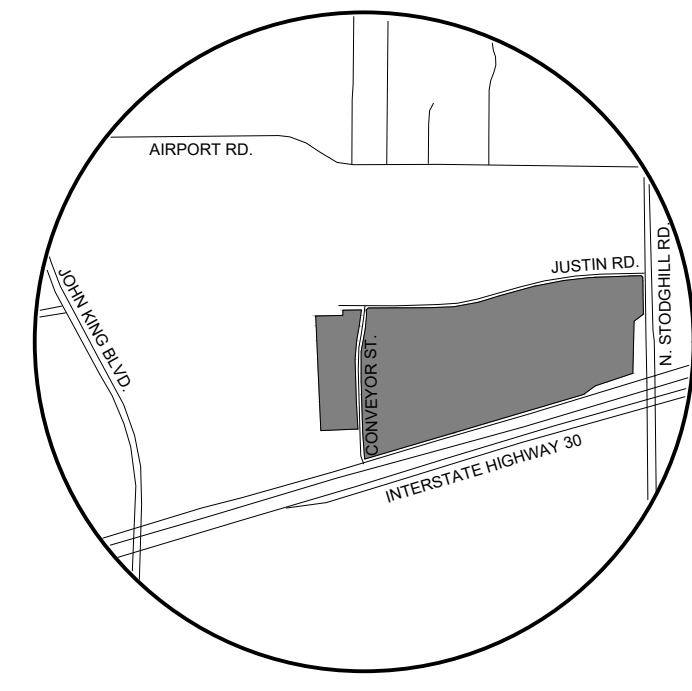


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

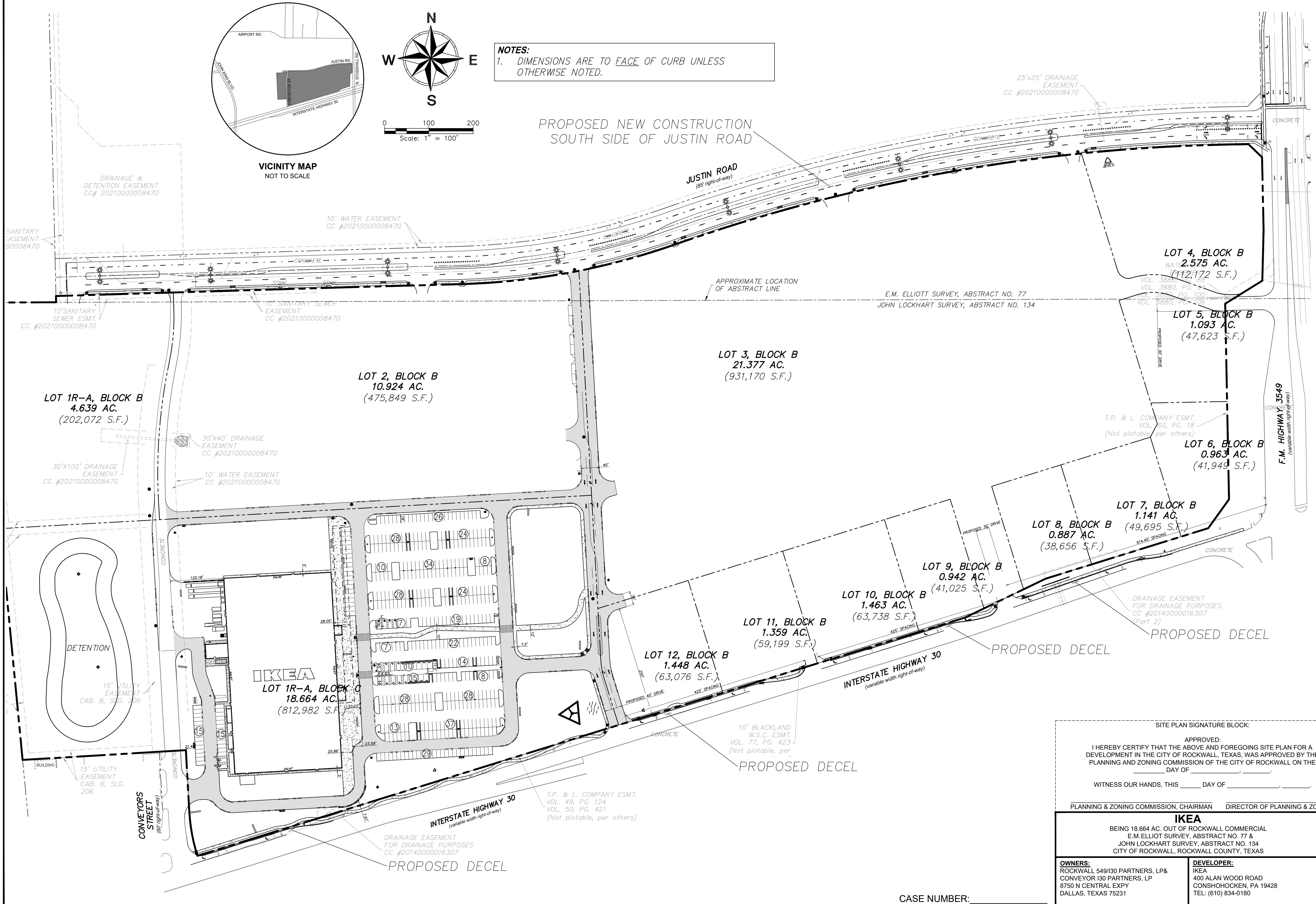
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





NOTES:
 1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

PROPOSED NEW CONSTRUCTION SOUTH SIDE OF JUSTIN ROAD



SITE PLAN SIGNATURE BLOCK:
 APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____
 WITNESS OUR HANDS, THIS _____ DAY OF _____

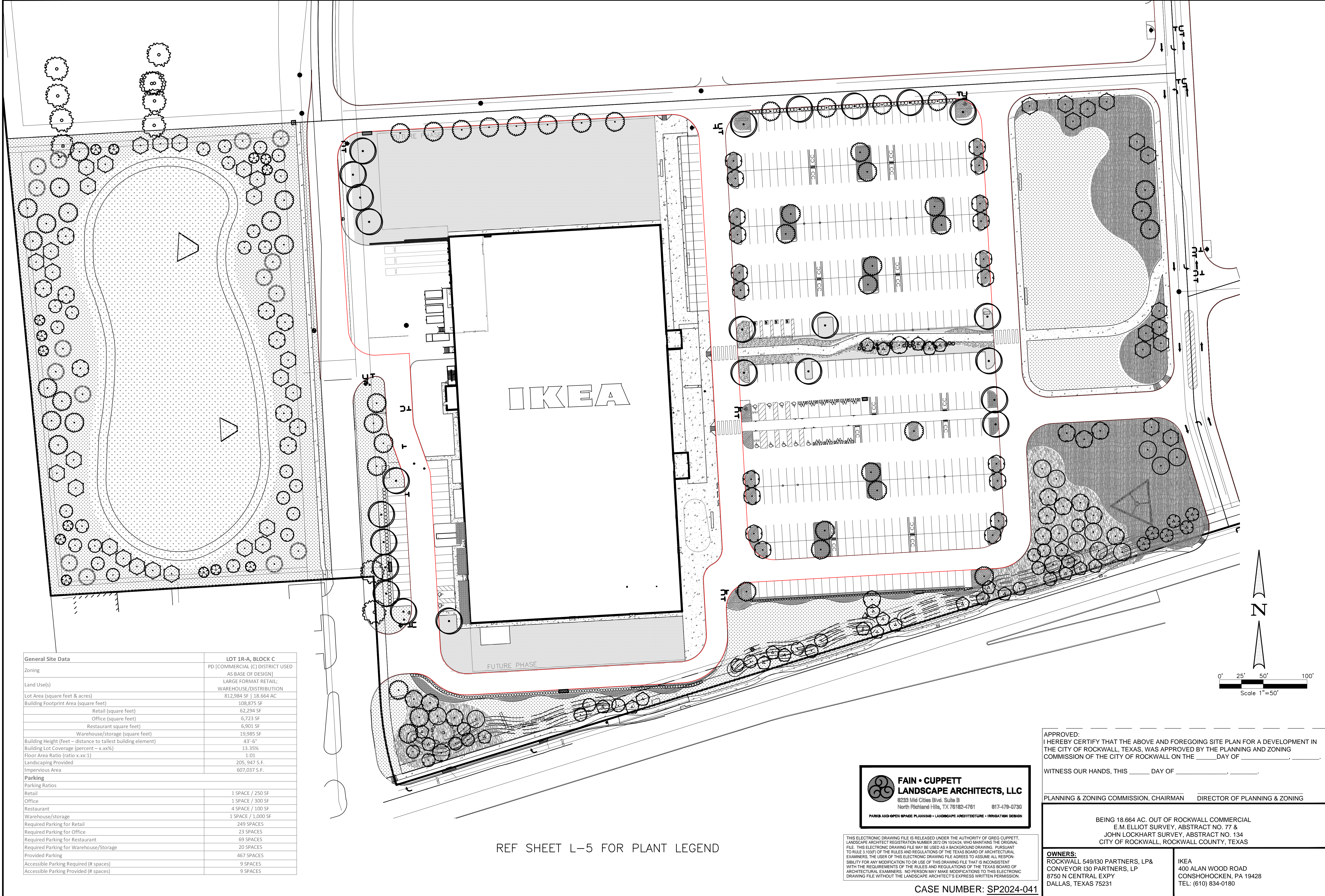
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING
IKEA
 BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL
 E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 &
 JOHN LOCKHART SURVEY, ABSTRACT NO. 134
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP &
 CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

DEVELOPER:
 IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

CASE NUMBER:

CIVIL ENGINEER Winkelmann & Associates, Inc. <small>CONSULTING CIVIL ENGINEERS & SURVEYORS 6750 HILGREET PLAZA DRIVE, SUITE 215 ROCKWALL, TEXAS 75087 Phone: 972-960-7090 Fax: 972-960-7099 Texas Surveyors Registration No. 107866-00 Contractor Registration No. 107866-00 Contractor # 12226, Measurement & Associates, Inc.</small>	10-08-2024	OVERALL CITY SITE PLAN NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087
	1	
	REVISION No. DATE	
	6. 5. 4. 3. 2. 1.	
	APPROVED	
	LAST SAVED BY: CDJ/MSA, October 6, 2024	



General Site Data	LOT 1R-A, BLOCK C
Zoning	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]
Land Use(s)	LARGE FORMAT RETAIL, WAREHOUSE/DISTRIBUTION
Lot Area (square feet & acres)	812,984 SF 18.664 AC
Building Footprint Area (square feet)	108,875 SF
Retail (square feet)	62,294 SF
Office (square feet)	6,723 SF
Restaurant (square feet)	6,901 SF
Warehouse/storage (square feet)	19,985 SF
Building Height (feet - distance to tallest building element)	43'-6"
Building Lot Coverage (percent - x.xx%)	13.35%
Floor Area Ratio (ratio x.xx:1)	1:01
Landscaping Provided	205,947 S.F.
Impervious Area	607,037 S.F.
Parking	
Parking Ratios	
Retail	1 SPACE / 250 SF
Office	1 SPACE / 300 SF
Restaurant	4 SPACE / 100 SF
Warehouse/storage	1 SPACE / 1,000 SF
Required Parking for Retail	249 SPACES
Required Parking for Office	23 SPACES
Required Parking for Restaurant	69 SPACES
Required Parking for Warehouse/Storage	20 SPACES
Provided Parking	467 SPACES
Accessible Parking Required (# spaces)	9 SPACES
Accessible Parking Provided (# spaces)	9 SPACES

REF SHEET L-5 FOR PLANT LEGEND

FAIN • CUPPETT
LANDSCAPE ARCHITECTS, LLC
 8233 Mid Cities Blvd, Suite B
 North Richland Hills, TX 76182-4761 817-479-0730
 PARS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • INNOVATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING, PURSUANT TO RULE 3.100(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

CASE NUMBER: SP2024-041

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING


BEING 18.664 AC, OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231


IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

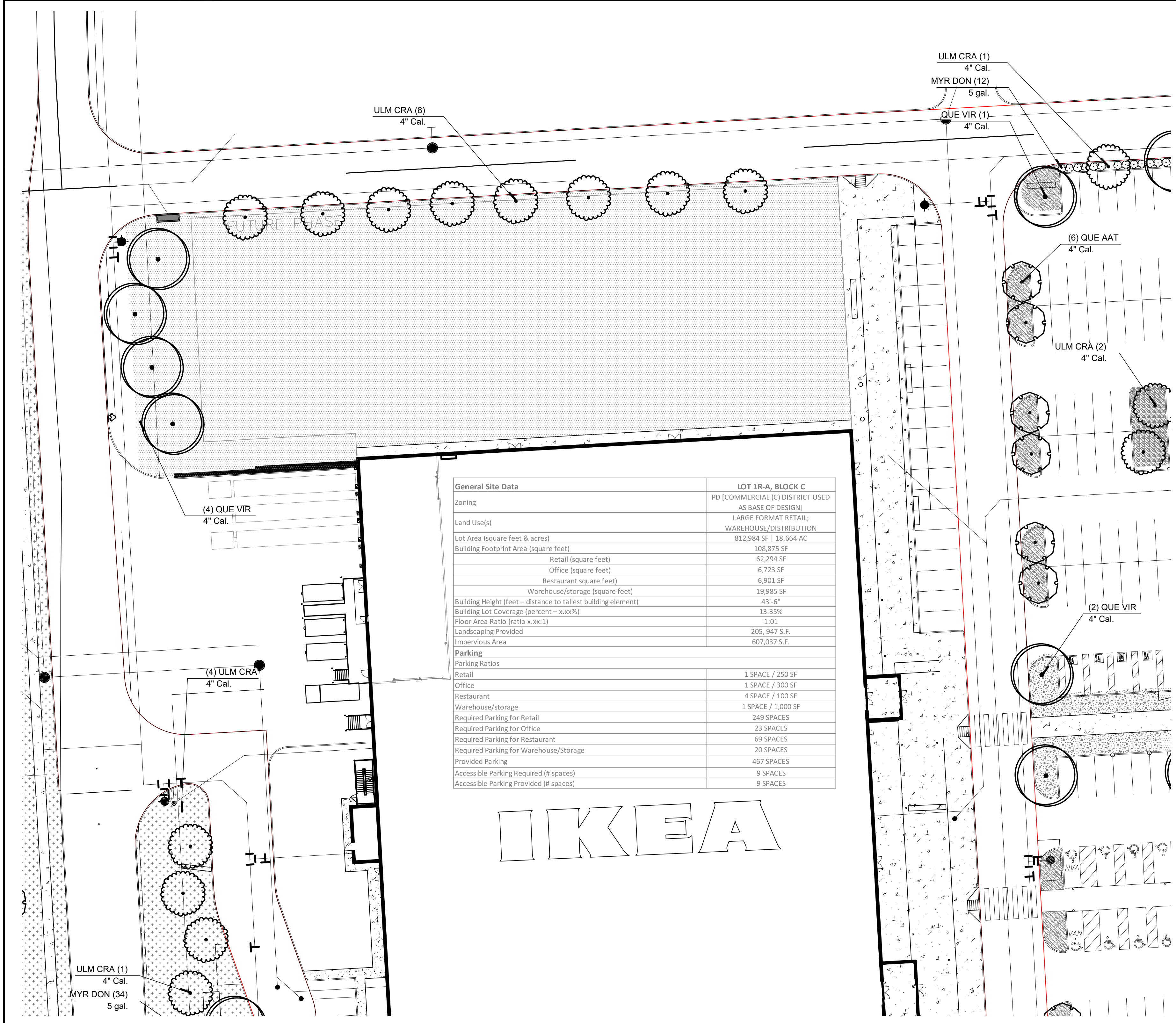
LANDSCAPE PLAN
 NWC OF I-30 & STODGILL RD.
 ROCKWALL, TEXAS 75087

6.		No.	DATE	REVISION	APPROV.
5.					
4.					
3.					
2.					
1.					



Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 6720 HILDBEST PLAZA DRW. SUITE 215
 TEXAS ENGINEERS REGISTRATION NO. 89
 COPYRIGHT © 2024 Winkelmann & Associates, Inc.





General Site Data		LOT 1R-A, BLOCK C	
Zoning		PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]	
Land Use(s)		LARGE FORMAT RETAIL; WAREHOUSE/DISTRIBUTION	
Lot Area (square feet & acres)		812,984 SF 18.664 AC	
Building Footprint Area (square feet)		108,875 SF	
Retail (square feet)		62,294 SF	
Office (square feet)		6,723 SF	
Restaurant (square feet)		6,901 SF	
Warehouse/storage (square feet)		19,985 SF	
Building Height (feet - distance to tallest building element)		43'-6"	
Building Lot Coverage (percent - x.xx%)		13.35%	
Floor Area Ratio (ratio x.xx:1)		1.01	
Landscaping Provided		205,947 S.F.	
Impervious Area		607,037 S.F.	
Parking			
Parking Ratios			
Retail		1 SPACE / 250 SF	
Office		1 SPACE / 300 SF	
Restaurant		4 SPACE / 100 SF	
Warehouse/storage		1 SPACE / 1,000 SF	
Required Parking for Retail		249 SPACES	
Required Parking for Office		23 SPACES	
Required Parking for Restaurant		69 SPACES	
Required Parking for Warehouse/Storage		20 SPACES	
Provided Parking		467 SPACES	
Accessible Parking Required (# spaces)		9 SPACES	
Accessible Parking Provided (# spaces)		9 SPACES	

IKEA

REF SHEET L-5 FOR PLANT LEGEND

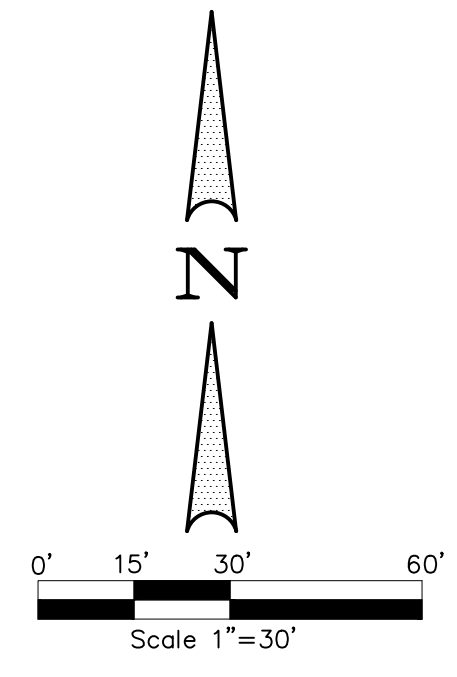
CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
 TEXAS EXCAVATION SAFETY SYSTEM (TESS)
 1-800-344-8377
 TEXAS ONE CALL SYSTEMS
 1-800-245-4545
 LONE STAR NOTIFICATION CENTER
 1-800-669-8344 EXT. 5

BEFORE YOU DIG...

CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER	
	REQUIRED	PROVIDED
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE	
	REQUIRED (NORTH)	PROVIDED
	1115'/50 = 22 TREES	XX TREES
	REQUIRED (SOUTH)	PROVIDED
	1156'/50 = 23 TREES	23 TREES
	REQUIRED (EAST)	PROVIDED
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING	
	REQUIRED	PROVIDED
	204,189 X 5% = 10,210 SF	16,529 SF
	REQUIRED (WEST)	PROVIDED
PARKING LOT TREES	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES	
	REQUIRED	PROVIDED
PARKING LOT TREES	448 SPACES/10 = 45 TREES	
	REQUIRED	PROVIDED
PARKING LOT TREES	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE	
	REQUIRED	PROVIDED
PARKING LOT TREES	ALL SPACES WITHIN 80'	
	REQUIRED	PROVIDED
LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA	
	REQUIRED	PROVIDED
LANDSCAPE AREA	812,982 X 15% = 121,947 SF	
	REQUIRED	PROVIDED
LANDSCAPE AREA	50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD	
	REQUIRED	PROVIDED
LANDSCAPE AREA	92,163 X 50% = 46,082 SF	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	ONE (1) TREE PER 750 SQ FT OF DETENTION AREA	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	ONE (1) ACCENT TREE PER 1500 SQ FT OF DETENTION AREA	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	56,250 SF / 750 = 75 TREES	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	56,250 SF / 1500 = 38 TREES	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	50 TREES	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	53 TREES	
	REQUIRED	PROVIDED
OVERLAY DISTRICT LANDSCAPE REQUIREMENTS		
STREET LANDSCAPING	(2) 4" CANOPY TREES AND (4) ACCENT TREES FOR EACH 100' OF STREET FRONTAGE	
	REQUIRED	PROVIDED
STREET LANDSCAPING	1156'/100 X 2 = 23 TREES	
	REQUIRED	PROVIDED
STREET LANDSCAPING	1156'/100 X 4 = 46 ACCENT TREES	
	REQUIRED	PROVIDED
STREET LANDSCAPING	20' LANDSCAPE BUFFER	
	REQUIRED	PROVIDED
STREET LANDSCAPING	BUILT UP BERM AND/OR SHRUBS 30" - 48" MAX.	
	REQUIRED	PROVIDED

- PLANTING NOTES:**
- PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO APPROVE NEW TREES ON SITE. LANDSCAPE ARCHITECT SHALL MAKE ONE TRIP TO SITE TO INSPECT TREES. ALL TREES SHALL BE STORED AND HELED IF REQUIRED PRIOR TO CONTACTING LANDSCAPE ARCHITECT FOR INSPECTION.
 - ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
 - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
 - ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
 - ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
 - CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
 - MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
 - PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
 - SEE DETAIL SHEET L-8 FOR PLANTING DETAILS.
 - CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
 - EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE WITH APPROVAL OF OWNER AND CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES, AS WELL AS BRANCHES THAT OBSTRUCT SIGN VISIBILITY. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 - QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
 - INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
 - INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUNDCOVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
 - AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
 - BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
 - PRIOR TO TREE PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

NOTE:
 NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.



- NOTE:**
- NO TREES SHALL BE PLANTED WITHIN 5' (HORIZONTALLY) FROM ANY PUBLIC UTILITY
 - FOR ALL PLANTING ALONG 18' (LENGTH PARKING SPACES: ALL PLANTS MUST BE PLANTED A MINIMUM OF 4' FROM BACK OF CURB>

CASE NUMBER: SP2024-041

FAIN • CUPPETT
LANDSCAPE ARCHITECTS, LLC
 8233 Mid Cities Blvd., Suite B
 North Richland Hills, TX 76182-4761 817-479-0730
 PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

LANDSCAPE PLAN

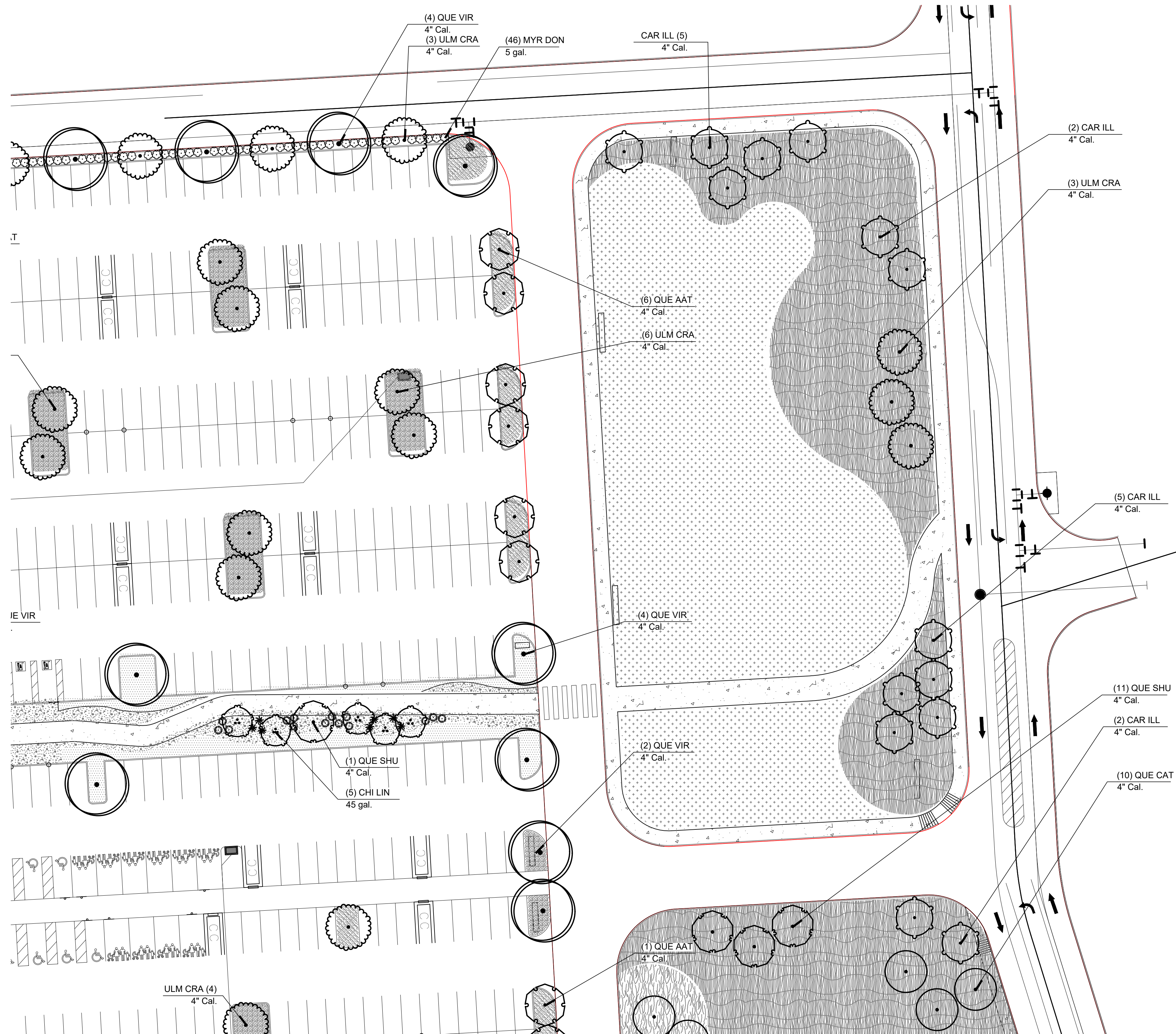
NWC OF I-30 & STODGILL RD.
 ROCKWALL, TEXAS 75087

L-2

No.	DATE	REVISION	APPROV.
6.			
5.			
4.			
3.			
2.			
1.			

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 8750 HILDBEST PLAZA DR., SUITE 215 (972) 492-7090 FAX (972) 492-7099 FAX
 Texas Engineers Registration No. 89 0666-01
 Texas Surveyors Registration No. 20000-00000
 Copyright © 2024, Winkelmann & Associates, Inc.

10/24/24

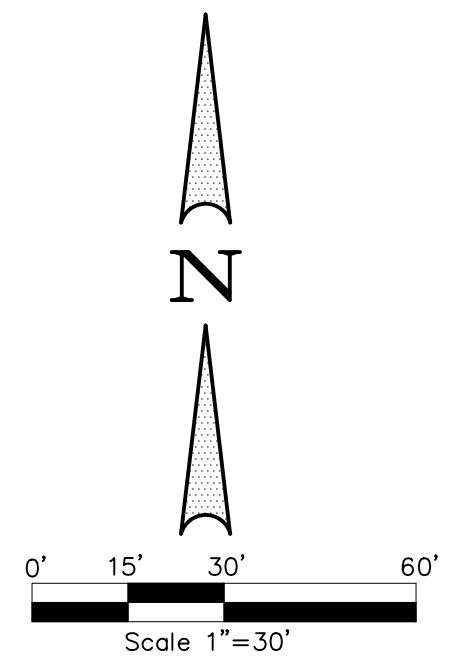


REF SHEET L-5 FOR PLANT LEGEND

CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5



BEFORE YOU DIG...



FAIN • CUPPETT
LANDSCAPE ARCHITECTS, LLC
 8233 Mid Cities Blvd, Suite B
 North Richland Hills, TX 76182-4761 817-479-0730
 PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

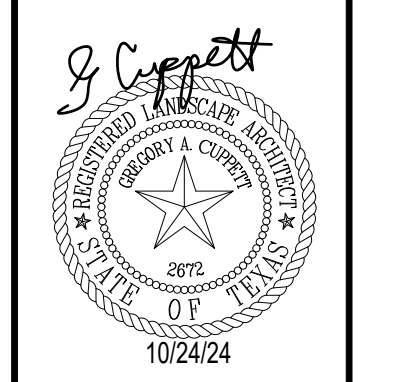
BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M.ELLIOTT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP&
 CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

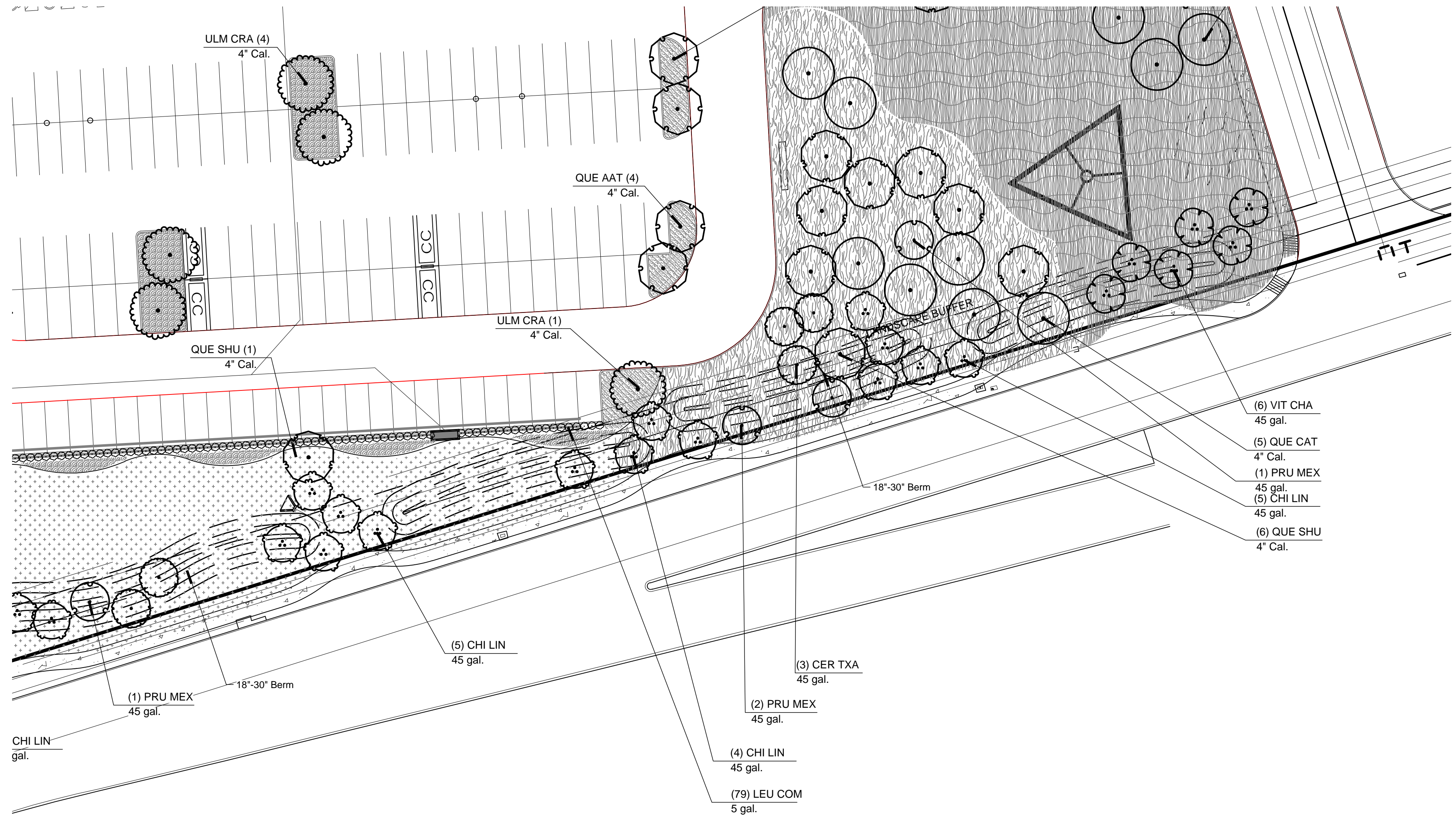
IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

<p>LANDSCAPE PLAN NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087</p>	6.								
	5.								
	4.								
	3.								
	2.								
	1.								
	No.	DATE	REVISION	APPROV.					

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 8750 HILDCREST PLAZA DRIVE, SUITE 215
 ROCKWALL, TEXAS 75087
 (972) 498-7096
 (972) 498-7099 FAX
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.



L-3

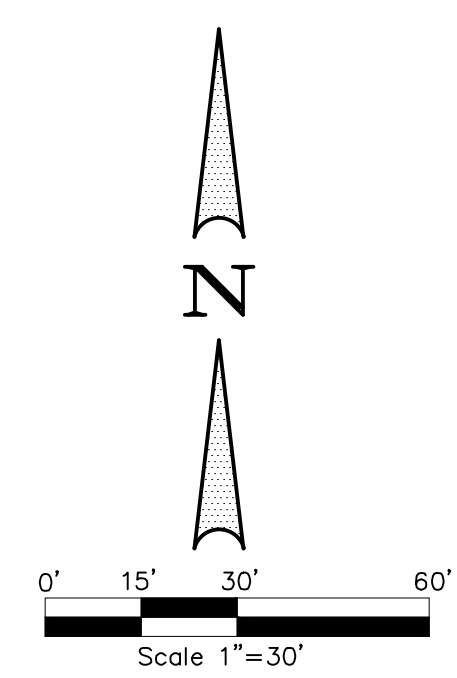


REFERENCE NOTES SCHEDULE

SYMBOL	ROCK DESCRIPTION	QTY	DETAIL
K-101	Decomposed Granite	34.39 cy	

CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5

BEFORE YOU DIG...



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

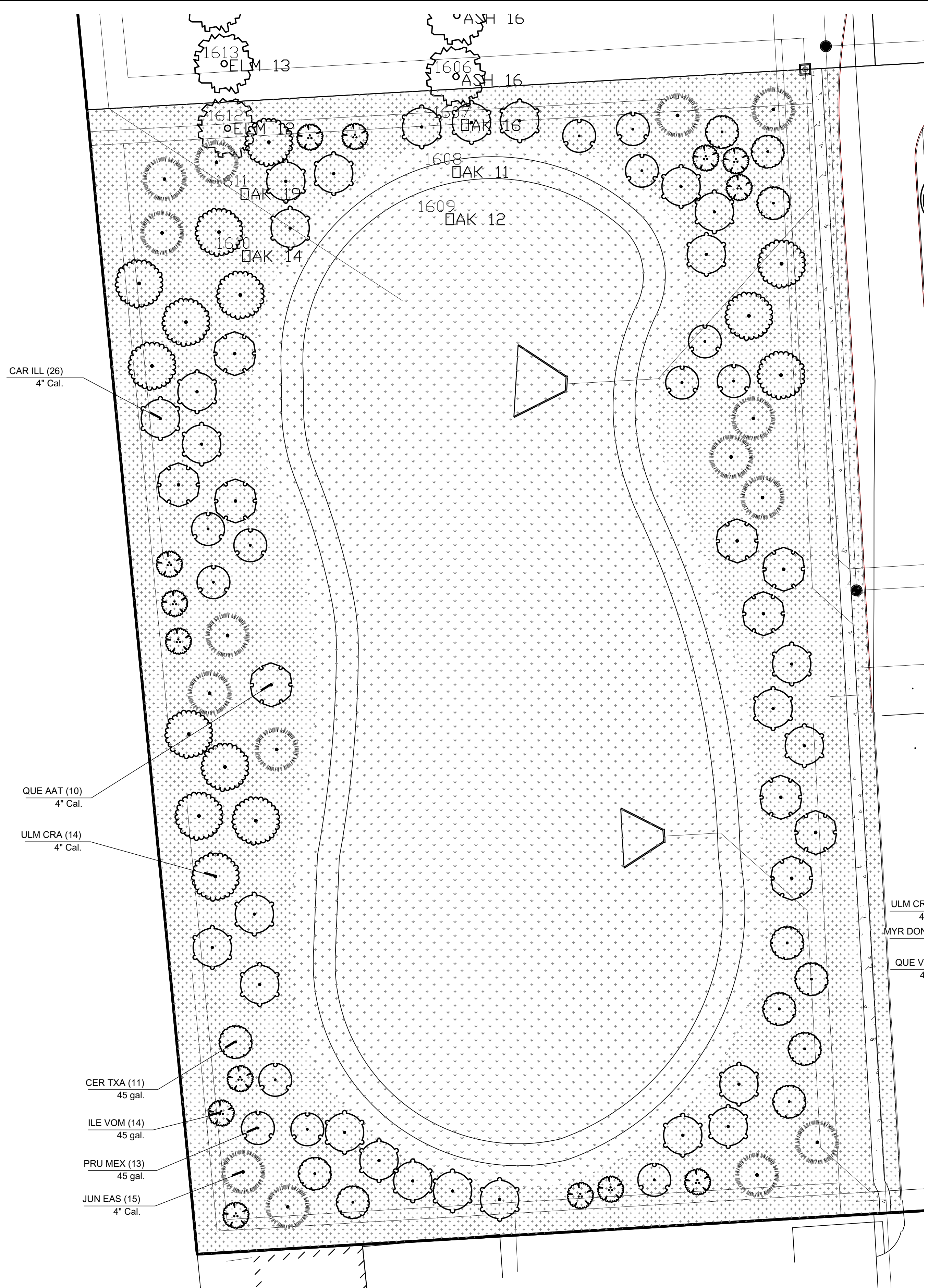
BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M.ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP&
 CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

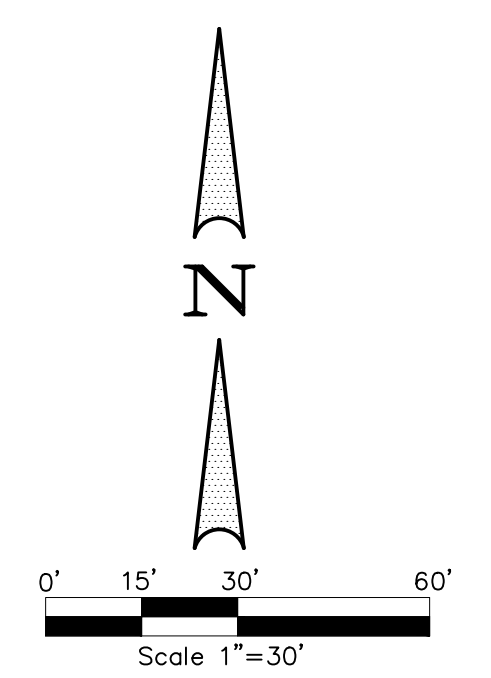
CASE NUMBER: SP2024-041

<p>Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS ■ SURVEYORS 6720 HILDBERT PLAZA BLDG. SUITE 215 TEXAS ENGINEERS REGISTRATION NO. 89 8720 HILDBERT PLAZA BLDG. SUITE 215 ROCKWALL, TEXAS 75087 (972) 498-7999 FAX (972) 498-7999 FAX COPYRIGHT © 2024 Winkelmann & Associates, Inc.</p>		No.	DATE	REVISION	APPROV.
		6.			
<p>LANDSCAPE PLAN NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087</p>					
<p>L-5</p>					



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
TREES								
	CAR ILL	40	Carya illinoensis	Pecan	4" Cal.	12' Height Min	As Shown	Single Straight Trunk
	JUN EAS	15	Juniperus virginiana	Eastern Redcedar	4" Cal.	10' Min.	As Shown	Single Straight Trunk
	QUE AAT	30	Quercus buckleyi	Texas Red Oak	4" Cal.	12' Height Min	As Shown	Single Straight Trunk
	QUE SHU	17	Quercus shumardii	Shumard Oak	4" Cal.	12' Height Min	As Shown	Single Straight Trunk
	QUE VIR	24	Quercus virginiana	Southern Live Oak	4" Cal.	12' Height Min	As Shown	Single Straight Trunk
	QUE CAT	12	Quercus virginiana 'SDLN'	Cathedral™ Live Oak	4" Cal.	12' Height Min	As Shown	Single Straight Trunk
	ULM CRA	51	Ulmus crassifolia	Cedar Elm	4" Cal.	12' Height Min	As Shown	Single Straight Trunk
ORNAMENTAL TREES								
	CER TXA	22	Cercis canadensis texensis	Texas Redbud	45 gal.	6' Min Ht	As Shown	Single Straight Trunk, 3" Cal'
	CHI LIN	28	Chilopsis linearis	Desert Willow	45 gal.	8' Min.	As Shown	Tree Form
	ILE VOM	14	Ilex vomitoria	Yaupon Holly	45 gal.	6' Min Ht	As Shown	Tree Form
	PRU MEX	21	Prunus mexicana	Mexican Plum	45 gal.	8' Min.	As Shown	Single Straight Trunk
	VIT CHA	6	Vitex agnus-castus	Chaste Tree	45 gal.	6' Min Ht	As Shown	
SHRUBS								
	HES PAR	7	Hesperaloe parviflora	Red Yucca	5 gal.	18"-24"	48" O.C.	
	LEU COM	196	Leucophyllum frutescens 'Compacta'	Compact Texas Sage	5 gal.	24" min.	36" O.C.	
	MUH CAP	14	Muhlenbergia capillaris	Pink Muhly Grass	5 gal.	18"-24"	48" O.C.	
	MYR DON	87	Myrica cerifera 'Don's Dwarf'	Don's Dwarf Wax Myrtle	5 gal.	18"-24"	48" O.C.	Native
GROUND COVERS								
	BUC DAC	146,611 sf	Buchloe dactyloides	Buffalo Grass	seed			Spread at recommended rate
	CAR CHE	2,668	Carex cherokeensis	Cherokee Sedge	1 gal.		18" O.C. 18" o.c.	Native
	CYN DA2	61,633 sf	Cynodon dactylon	Bermudagrass	Solid Sod			
	NAS TEN	1,813	Nassella tenuissima	Mexican Feather Grass	1 gal.		24" O.C. 24" o.c.	
	NAT LSX	86,785 sf	Native American Seed drainfield mix	Native American Seed 'Drainfield Mix'	seed			Apply at recommended rate
	NAT DTD	35,723 sf	Native American Seed eastern savannah mix	Native American Seed 'Eastern Savannah Mix'	seed			Spread at recommended rate
	NAT NLH	21,122 sf	Native American Seed shade friendly grass mix	Native American Seed 'Shade Friendly Grass mi'	seed			Spread at recommended rate



CASE NUMBER: SP2024-041

CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5

FAIN • CUPPET
LANDSCAPE ARCHITECTS, LLC
 8233 Mid Cities Blvd., Suite B
 North Richland Hills, TX 76182-4761 817-479-0730
 PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPET, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING & ZONING _____

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

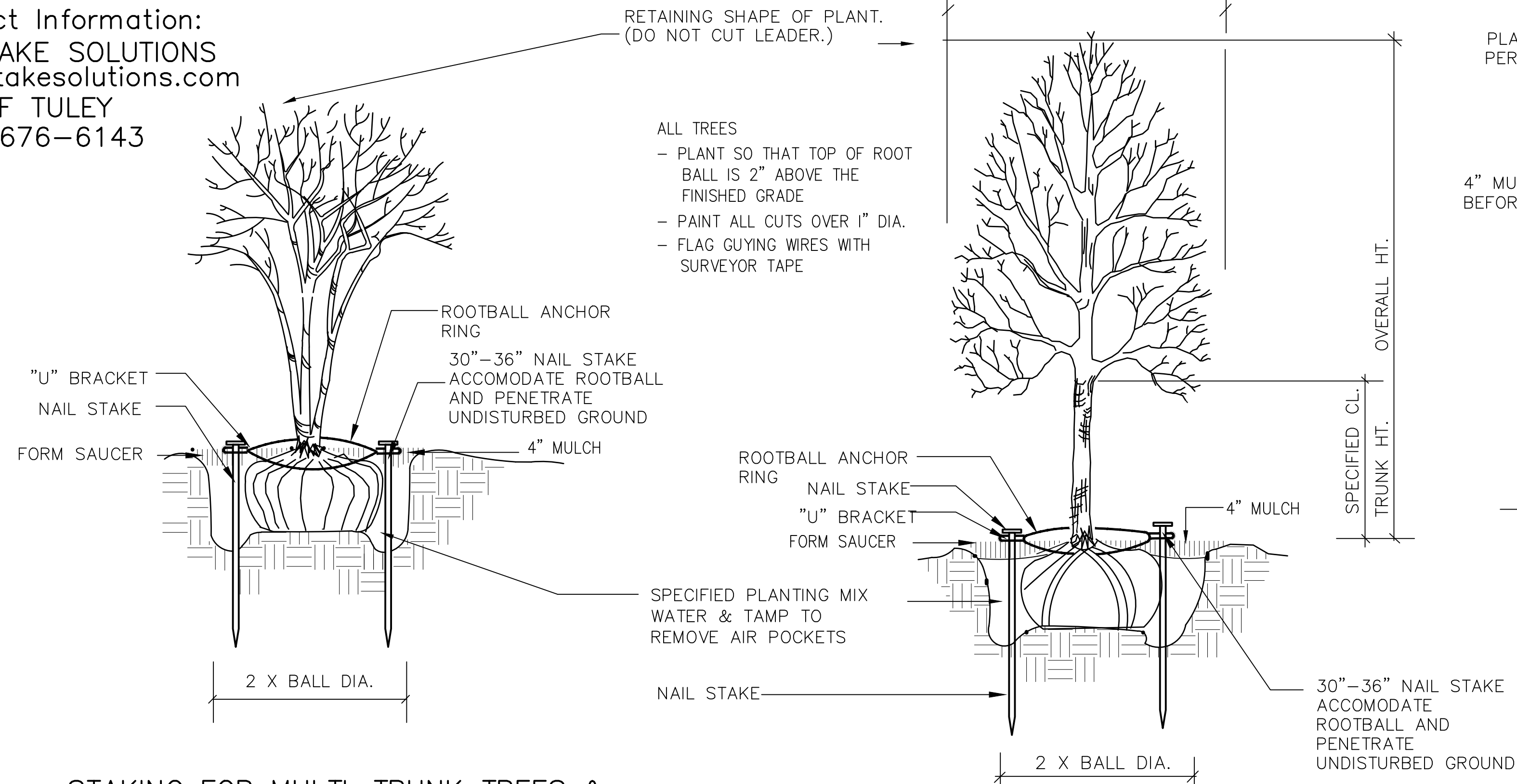
LANDSCAPE PLAN
 NWC OF I-30 & STODGILL RD.
 ROCKWALL, TEXAS 75087

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 6750 HILDBEST PLAZA DR., SUITE 215
 FORT WORTH, TEXAS 76116
 (817) 498-7096
 (817) 498-7098 FAX
 COPYRIGHT © 2024 Winkelmann & Associates, Inc.

REVISION
 No. 1. DATE
 No. 2. DATE
 No. 3. DATE
 No. 4. DATE
 No. 5. DATE
 No. 6. DATE

APPROV.

Contact Information:
TREE STAKE SOLUTIONS
 www.treestakesolutions.com
 JEFF TULEY
 903-676-6143

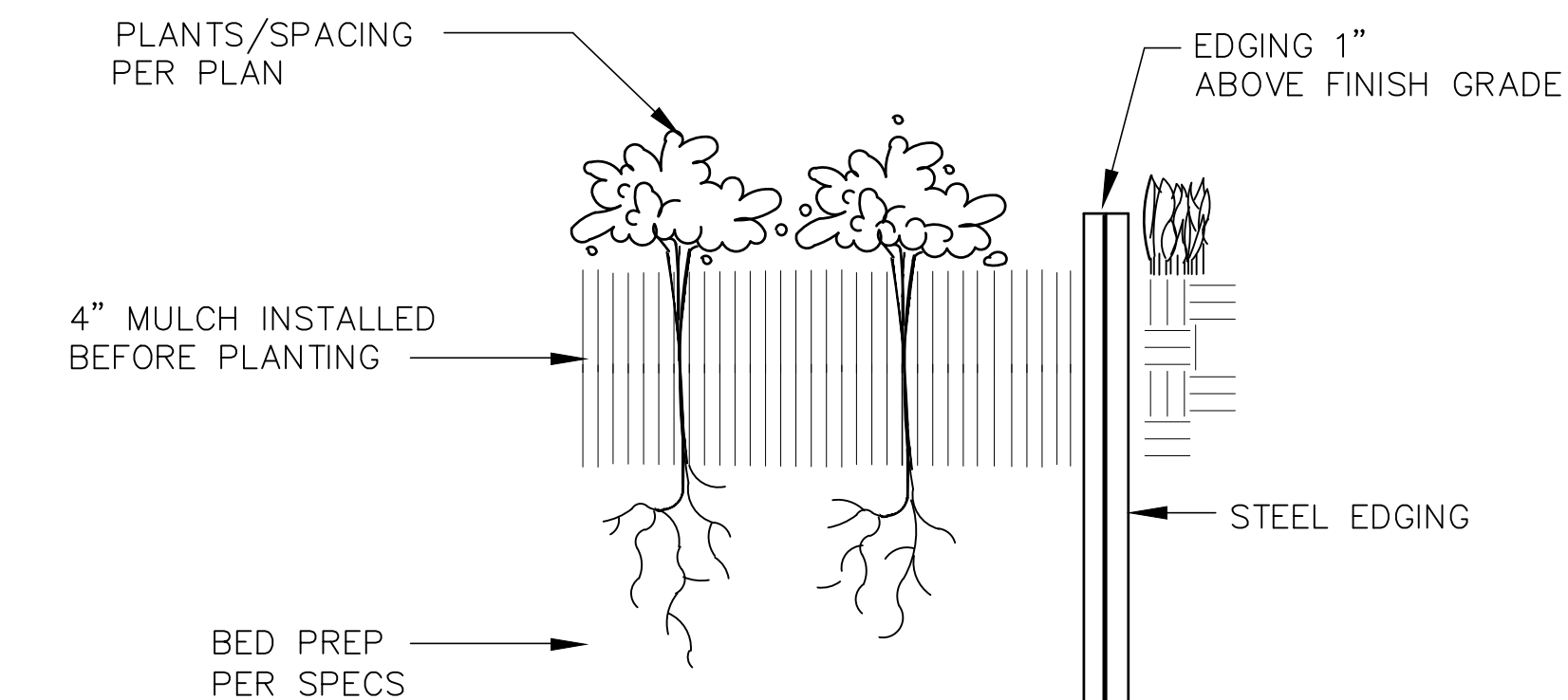


STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER

SCALE: NOT TO SCALE

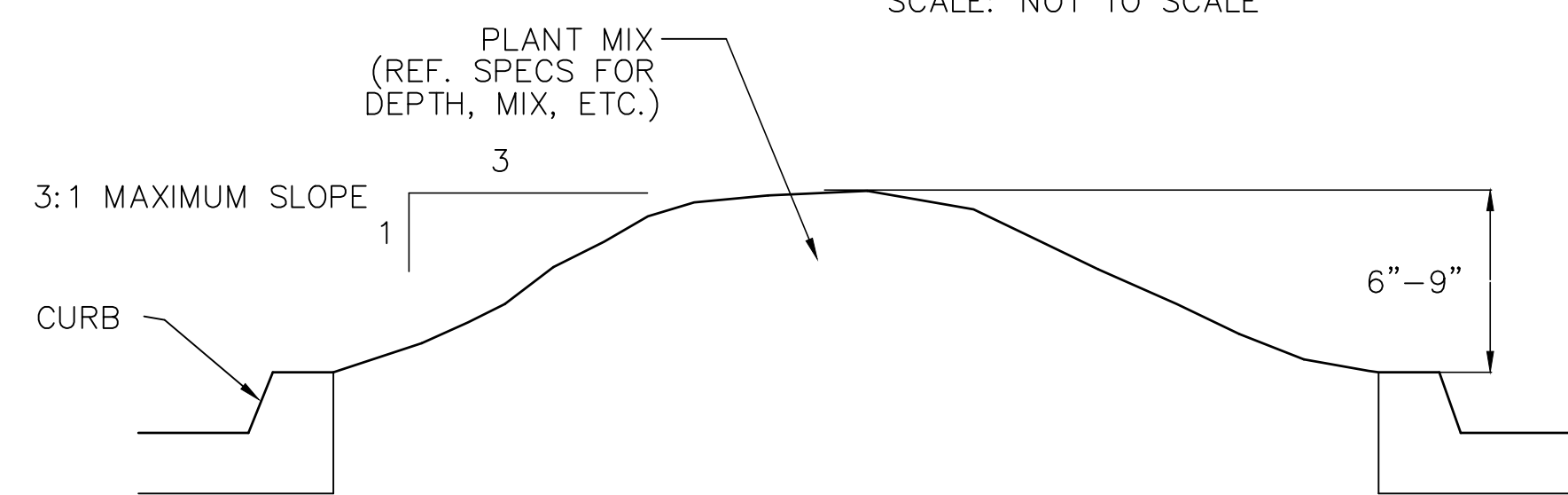
SAFETY STAKE BY TREE STAKE SOLUTIONS

SCALE: NOT TO SCALE



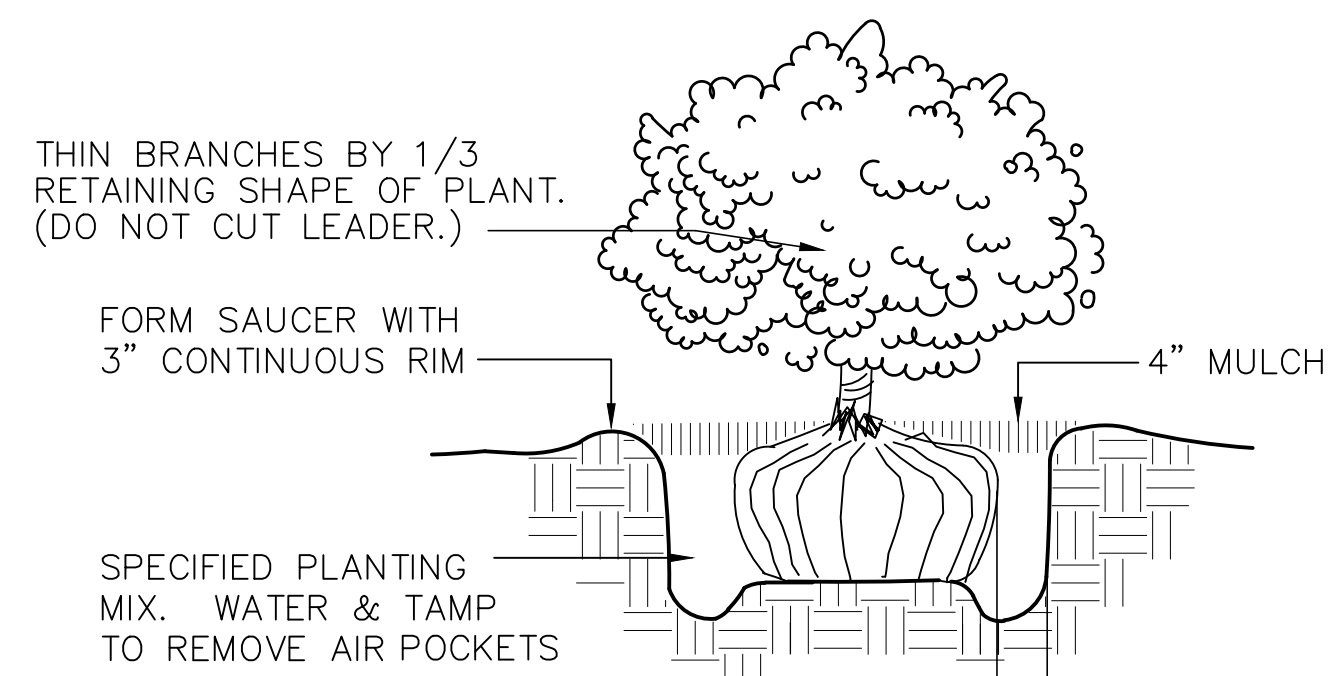
BEDDING PLANTS/ EDGING DETAIL

SCALE: NOT TO SCALE



TYPICAL PARKING LOT ISLAND MOUNDING

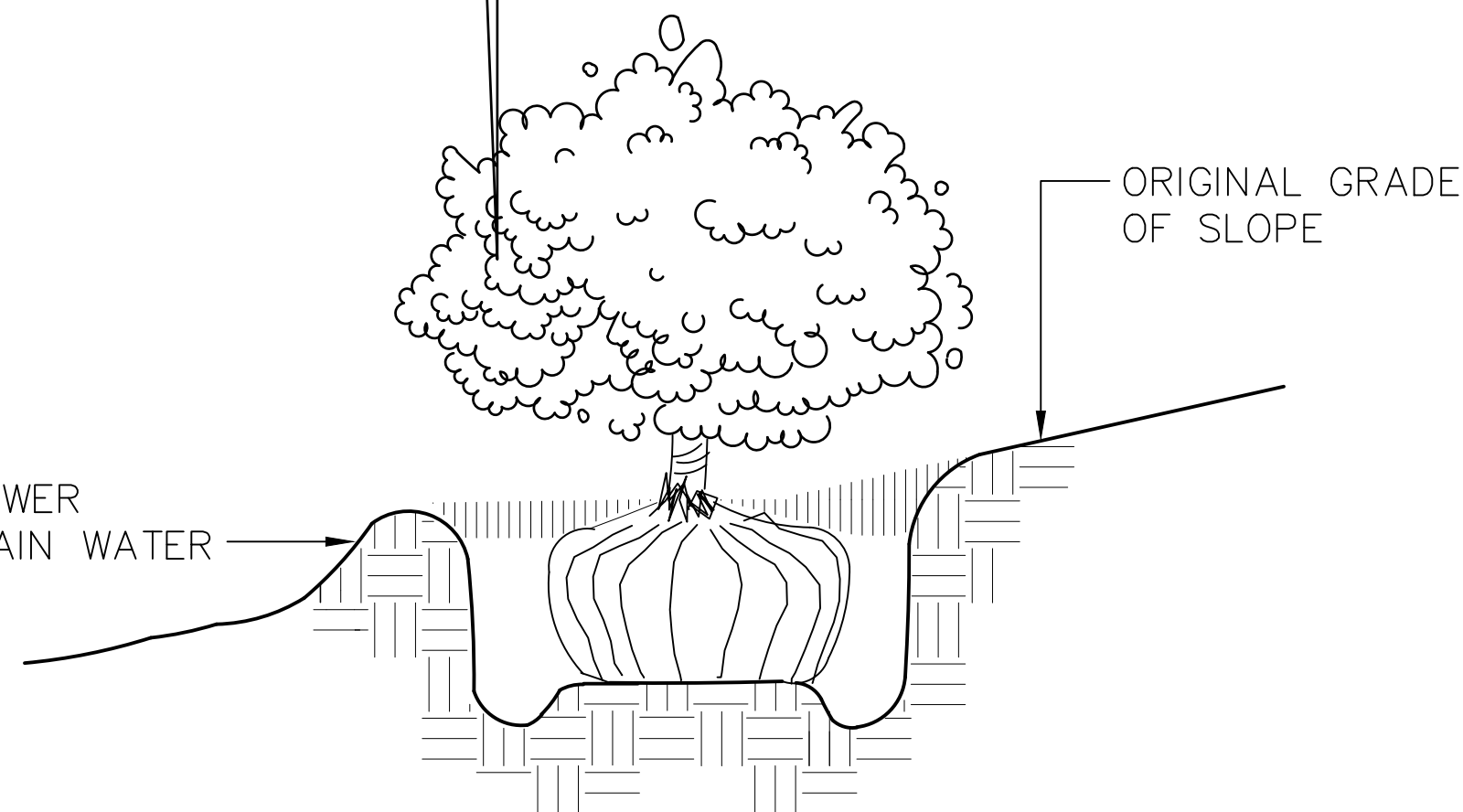
SCALE: NOT TO SCALE



NOTE: 6" WIDTH IS MINIMUM. IF PLANTED IN DEFINED BED, PREP, ENTIRE BED AS SHOWN ON DRAWINGS.

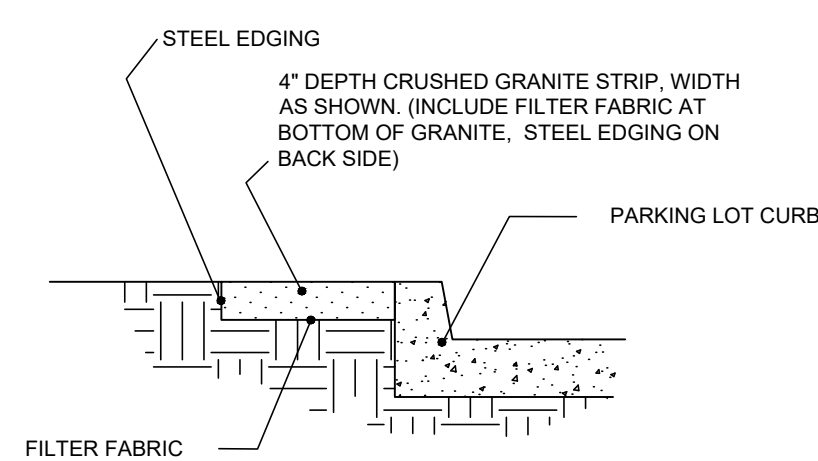
SHRUB PLANTING

SCALE: NOT TO SCALE



TREE/SHRUB PLANTING ON SLOPES

SCALE: NOT TO SCALE



GRANITE STRIP

NTS

CASE NUMBER: SP2024-041

FAIN • CUPPET
LANDSCAPE ARCHITECTS, LLC
 8233 Mid Cities Blvd., Suite B
 North Richland Hills, TX 76182-4761 817-479-0730
 PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

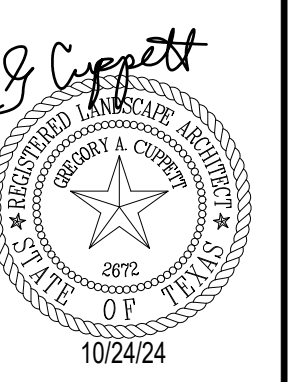
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS SURVEYORS
 6750 HILDBRETT PLAZA DR., SUITE 215
 FORT WORTH, TEXAS 76116
 (817) 498-7096
 (817) 498-7098 FAX
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.



PLANTING DETAILS
 NWC OF I-30 & STODGILL RD.
 ROCKWALL, TEXAS 75087

L-7

No.	DATE	REVISION	APPROV.
6.			
5.			
4.			
3.			
2.			
1.			

SECTION 02800

FINISH GRADING, LAWN WORK, WILD FLOWERS

PART I - GENERAL

1.01 DESCRIPTION

A. Work includes turf establishment (sod, hydromulch, etc.) as described on drawings.

B. Make required analysis and material tests for topsoil, fertilizers, and other materials of similar character per current methods of the Association of Official Agricultural Chemists, when required.

C. Grass seed shall conform to tolerances for germination and purity per applicable standards of U.S. Department of Agriculture.

D. The turf contractor shall have a stand of grass established prior to substantial completion of the project. If this is not possible due to time of year or schedule, he shall maintain and protect the seeded areas until the grass is established.

PART II - PRODUCTS

2.01 TOPSOIL MATERIAL

A. Topsoil material (stockpiled, as specified in Specifications) has been saved for use in finish grading. After siting out all plant growth, rubbish, and stones, use for areas designated to receive grass. If stockpiled topsoil is not sufficient quantity to complete work, furnish acceptable topsoil from another approved source to provide four inches (4") of topsoil for grass areas unless otherwise noted on drawings. Grass areas shall be defined as the graded areas disturbed during construction not to be paved or built upon.

B. Acceptable topsoil material shall be defined as natural, fertile, agricultural soil, capable of sustaining vigorous plant growth, uniform composition throughout admixture of subsoil, free of stones, lumps, plants, and their roots, sticks, or other extraneous matter; do not deliver while in a frozen or muddy condition.

2.02 FERTILIZER

A. Provide a commercial balanced fertilizer delivered to the job in bags labeled with manufacturer's guaranteed analysis. Store in weatherproof storage, place in such a manner that its effectiveness will not be impaired.

B. Fertilizer shall be a grade containing the percentages of plant food elements by weight as specified elsewhere in these specifications.

C. Availability of various elements shall be per Standards of the Association of Official Agricultural Chemists.

2.03 GRASS SEED

A. Grass seed shall be of the previous season's crop and the date of analysis shown on each bag shall be within nine (9) months of the time of delivery to the project. When requested by the Owner or Representative, the seeding contractor shall furnish a sample of seed from each bag for testing.

B. The seed shall comply with all provisions of the U.S. Department of Agriculture as to labeling, purity, and germination.

2.04 MULCHING

A. Dry straw or hay of good quality, free of seeds of competing plants and at such rate of 1 1/2 - 2 tons per acre; or,

B. Wood cellulose or cane fiber mulch at a rate of 1,000 pounds per acre when the slope is 3/4:1 and steeper; or,

C. A combination of good quality dry straw or hay free of seeds of competing plants at a rate of 2 1/2 tons per acre and wood cellulose or cane fiber mulch at a rate of 500 pounds per acre. This combination shall be used when the slope is flatter than 3/4:1; or,

D. Sericea lespedza seed bearing hay at a rate of 3 tons per acre. This mulch may be applied green or air dried, but must contain mature seed.

E. Manufactured mulch materials, such as soil retention blankets, erosion control netting, or others that may be required on special areas of high water concentration or unstable soils. When these materials are used, follow the manufacturer's recommendations for installation.

2.05 HYDRO-MULCHING

Wood cellulose fiber or cane fiber mulch will be applied with hydraulic seeding and fertilizing equipment. All slurry ingredients shall be mixed to form a homogeneous slurry and spray applied within one hour after the mixture is made.

When wood cellulose or cane fiber mulch is used at the 500 pound per acre rate, straw or hay mulch with asphalt emulsion is applied over this to complete the mulch.

Wood cellulose or cane fiber mulch at the 1,000 pound per acre rate is used alone where other mulch material will not stick.

Wood cellulose or cane fiber mulch is self anchoring.

PART III - EXECUTION

3.01 RESPONSIBILITY

The site grading contractor will be responsible to stockpile acceptable topsoil in a sufficient quantity to provide four inches (4") minimum cover for all grass areas, including but not limited to all curbed islands, and topsoil planting mounds/berms at the appropriate height and width as defined and shown on the landscaping and/or planting drawings. The topsoil and grass areas shall be further defined as any area disturbed during the grading and construction process.

The site grading contractor, shall be responsible to spread the topsoil within all perimeter graded areas and future building areas only.

The site grading contractor shall be responsible for backfilling of all curbed islands and planting mounds/berms. They shall also be responsible for removal of all stones, roots, and raking of all topsoil areas that are to be seeded and/or planted. It will also be the site grading contractor's responsibility to provide fertilizer, grass seed, and any additional topsoil required and mulching.

3.02 GRASS SEEDING

A. Remove stones, roots, rubbish and other deleterious materials from topsoiled areas that are to be seeded.

B. Immediately prior to sowing seed, scarify ground as necessary; rake until surface is smooth and friable. Sow seed evenly, lightly wood rake into 02800-3 C. ground, then roll ground with suitable roller; water thoroughly with fine spray.

During any weather, keep lawn watered with sprinklers or other approved methods. Re-seed any areas not doing well or damaged. At intervals as may be required according to seasonal conditions, mow and water grass and execute necessary weeding until acceptable and full stand of grass has been obtained.

D. Provide permanent grass seeding for lawn areas so indicated. Seed in accordance with the following schedule (unless otherwise directed by Owner or Owner's Representative):

1. Sow areas ready for seeding between March 1 and October 1 with Hulled Common Bermuda at a rate of 85 pounds per acre.

2. Sow areas ready for seeding between October 1 and March 1 with Unhulled Common Bermuda at a rate of 90 pounds per acre, and Annual Rye Grass at the rate of 50 pounds per acre.

3. Apply fertilizer at a rate of 20/25 pounds per 1,000 square feet.

3.03 WILD FLOWERS

A. Areas indicated on plans to receive wild flower coverage shall be fine graded, fertilized, and prepared in a manner similar to traditional turf establishment.

B. Area to be hydromulched with seed mix as follows:

Tickseed	10 pounds/acre
Cosmos	15 pounds/acre
Ox-Eyed Daisy	5 pounds/acre
Side Oats Grama	4 pounds/acre
Showy Primrose	0.5 pounds/acre
Plains Coreopsis	2 pounds/acre
Black Eyed Susan	2 pounds/acre
Indian Blanket	10 pounds/acre
Texas Bluebonnet	4 pounds/acre
Little Bluestem	4 pounds/acre

3.04 MULCH

A. All areas to be seeded shall be mulched. B. Mulch materials shall be applied uniformly over the seeded area. Mulch shall be straw and shall be at the rate of 1 1/2 - 2 tons per acre.

B. Mulch shall be anchored with an emulsified asphalt binder at the rate of 10 gallons per 1,000 square feet.

3.05 PROTECTION

Provide, at no additional cost to Owner, fencing, railing, wire or other types of protection for topsoiled and seeded areas against trespassing and damage. If lawns are damaged prior to Final Acceptance, treat or replace them as directed. Remove protection when so directed.

3.06 MAINTENANCE

Provide maintenance from start of work until Final Acceptance. Maintenance includes watering of lawns, weeding, mowing, edging, repairs of wash-outs and gullies, repairs to protection, and other necessary work of maintenance. Maintain slopes against erosion.

3.07 REHYDROMULCHING

The Owner's representative will designate areas to be replanted. Areas on which a stand of growing grass is not present in a reasonable length of time, (Bermuda grass seed should be germinating in 6-8 days) shall be prepared, reseeded and remulched, as specified for original planting at no additional cost to Owner. A stand shall be defined as live plants from seed occurring at a rate of not less than 1,000 growing plants per square foot. Replanting required because of faulty operations or negligence on the part of the Contractor shall be performed without cost to Owner.

3.08 FINAL CLEAN-UP

A. At time of final inspection of work, and before final acceptance, clean paved areas that are soiled or stained by operations of work of this section. Clean by sweeping or washing, and remove all defacements or stains.

B. Remove construction equipment, excess material and tools. Cart away from site any debris resulting from work of this section and dispose of as directed.

SECTION 02922

SODDING

PART I - GENERAL

1.01 DESCRIPTION

A. Work included

- Sod bed preparation
- Fertilizing
- Sodding
- Miscellaneous management practices

B. Related Work Specified Elsewhere

- Finish Grading, Section 02800
- Lawns and Grasses, Section 02930

1.02 REFERENCE STANDARDS

A. Standardized Plant Names

American Joint Committee of Horticultural Nomenclature, Second Edition, 1942.

B. Texas Highway Department - Standard Specifications for Construction, Item 164, Seeding for Erosion Control.

1.03 SUBMITTALS

A. Vendors Certification That Sod Meets Texas State Sod Law

- Include labeling requirements.
- Include purity and type.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Sod:

- Previous season's crop with date of analysis on each bag.
- Furnish and deliver each variety in separate bags or containers.
- Sod to be cut no more than three days before delivery.

B. Fertilizer:

- Unopened bags labeled with the analysis.
- Conform to Texas Fertilizer Law.

1.05 JOB CONDITIONS

A. Planting Season:

- Only during suitable weather and soil conditions.
- As specifically authorized by the Owner's Representative.

B. Schedule - Only after all other construction is complete.

C. Protect and Maintain Sodded Areas

- From traffic and all other use.
- Until sodding is complete and accepted.

PART II - PRODUCTS

2.01 MATERIALS

A. Sod:

- Sod: As specified on drawings, weed, insect, and disease free having a minimum of 1 inch of topsoil attached to the roots and cut no more than three days prior to installation.
- The sod shall be cut in strips of at least 1/2 sq. yd. and not more than 1 sq. yd. Sod shall be cut into strips not less than 12" in width or more than 9' in length. At the time of harvest, the top growth shall not exceed 3" in length.
- All sod shall conform to the laws of the State and shall be obtained from sources meeting the approval of the Department of Agriculture, Division of Entomology.

B. Fertilizer:

- Uniform in composition, free flowing.
- Suitable for application in approved equipment.
- Analysis of 16-20-0, 16-8-8 or as directed.

C. Water:

- Free of oil, acid, alkali, salts or other substances harmful to growth of grasses.

PART III - EXECUTION

3.01 SOD BED PREPARATION

A. Cultivate to a depth of four (4") inches by disking and tilling with a power tiller.

B. Clear surfaces of all materials:

- Stumps, stones, and other objects larger than one inch (1").
- Roots, brush, wire, stakes, etc.
- Any objects that may interfere with sodding or maintenance.

C. Prepare sod bed:

- Remove soil clods larger than one inch (1").
- Grade areas to smooth, even surface, removing ridges and filling depressions. Final grade to be below finish grade of curbing and edging as shown on details. All grades shall meet approval of Owner's Representative before sodding.

3.02 SODDING

A. Sodding:

- Lightly water prepared grade, lay sod with staggered joints and with edges touching. Topdress with topsoil at edges if necessary to provide smooth surface. On slopes of 2 to 1 and greater, fasten sod in place with wood pegs (two each piece) or other approved method. Sod damaged by storage or during installation shall be rejected. Following settling, topdress with screened, approved topsoil.
- Water and fertilize at 5 lbs. per 1,000 sq. ft.
- Sod shall not be placed during a drought, nor during periods when sod is not normally placed in the area, and shall not be placed on frozen ground. No dry or frozen sod is acceptable.
- The contractor shall keep all sodded areas moist and growing until Final Acceptance. All areas shall be maintained in an acceptable condition until acceptance by Owner.

B. Rolling:

- After placing sod, roll with a hand roller, weighing not more than 100 lbs. per foot of width, in two directions.
- Eliminate all air pockets; finished surface should be free of excessive undulations.

3.05 MAINTENANCE AND MANAGEMENT

A. Includes protection, replanting, maintaining grades, repair of erosion damage. Also includes weekly mowing at 1 1/2" height until final acceptance.

B. Resodding:

- Resod damaged or unacceptable areas.
- Ruts, ridges, and other surface irregularities shall be corrected.

CASE NUMBER: SP2024-041



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____, _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M.ELLIOTT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS: ROCKWALL 549/130 PARTNERS, LP& CONVEYOR 130 PARTNERS, LP 8750 N CENTRAL EXPY DALLAS, TEXAS 75231

IKEA 400 ALAN WOOD ROAD CONSHOHOCKEN, PA 19428 TEL: (610) 834-0180

TURF SPECIFICATIONS
NWC OF I-30 & STODGILL RD.
ROCKWALL, TEXAS 75087

L-9

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
6750 HILDBEST PLAZA DR., SUITE 215 (972) 492-7996
Texas Engineers Registration No. 89 (972) 492-7996 FAX
CORPORATE OFFICE: 1725 W. Hurst Avenue, Dallas, TX 75245



No.	DATE	REVISION	APPROV.
6.			
5.			
4.			
3.			
2.			
1.			

SECTION 02750 – IRRIGATION

PART I – GENERAL

1.01 DESCRIPTION

- A. Work Included – The contractor shall be required to design/repair and install an automatic, underground irrigation system consistent with all local, state, and federal codes, laws and regulations.
 1. System will include separate circuits for shrub/ground cover areas.
 2. Heads in lawns to be 4" pop-ups; drip irrigation is to be used in beds.
 3. All trees shall be watered separately, 2 pop-up bubblers per tree.
 4. Submit plan to owner for review and approval prior to construction.
- B. Includes:
 1. Piping and fittings.
 2. Connection to existing water lines.
 3. Valves, bubblers, quick couplers, dripline, filters, pressure regulators, spray heads, and rotary heads.
 4. All miscellaneous fittings and accessories required to complete and operate system.
 5. Excavation and backfill.
 6. Testing and adjusting.
 7. Clean up.

1.02 QUALITY ASSURANCE

- A. Codes and Standards:
 1. All applicable local, state and national Plumbing Ordinances, Electrical Codes, Building Codes and Irrigation Codes Regulations or Ordinances.
 2. National Plumbing Code.
- B. Licenses:
 1. All work shall be performed by or under the direct supervision of an irrigator or plumber licensed to install an irrigation system under the authority of the State of Texas.
- C. Reference Standards:
 1. ASTM D-2241-78
 2. CS 256-63

1.03 SUBMITTALS

- A. Maintenance Materials : At completion of the job, furnish spare parts and all special tools and equipment required to operate and maintain system.
- B. Maintenance Data: Furnish two copies of parts list and repair manuals and all special tools and equipment required to operate and maintain system.
- C. Manufacturer's Literature: Submit catalogue data indicating performance, weight, size and function of each item of equipment and material. Also provide manufacturer's operating manual.

- D. Project Record Documents: Record on a clean set of plans in colored pencil and also a reproducible mylar:
 1. All piping and wiring, including control wires by dimensions.
 2. Locate all valves by dimension from two directions.

- E. Provide digital file in .dwg format.

PART II – PRODUCTS

2.01 GENERAL

A. Equipment and Material Requirements:

1. Standard product of acceptable manufacturer.
2. In-service performance records to verify published capabilities.
3. New and unused.

2.02 MATERIALS

A. PVC Pipe and Fittings:

1. Polyvinyl chloride pipe (PVC) in accordance with ASTM D-2241-78 made to SDR-PR dimensions and approved by National Sanitation Foundation.
2. All mainline and laterals 3" and larger shall be gasketed bell pipe.
3. All pipe downstream of backflow preventer to be Class 200 PVC; all swing joints and risers to be Schedule 80.

B. Joints and Fittings:

1. Nipples and risers: Schedule 80 threaded PVC pipe.
2. Fittings: Schedule 80 PVC.

C. Valves:

1. Double Check Double Gate Valve
 - a. Approved Product: FEBCO.
 - b. In plastic valve box with cover
 - c. Ball valve and wye strainer installed upstream of double check double gate valve.
2. Electric Control Valve/Master Valve
 - a. Electric control, in-line, Hunter ICV.
 - b. Size to match upstream pipe or as shown on drawings.
 - c. Install in jumbo plastic valve box with plastic manual cutoff on upstream side.

D. Sprinkler Heads

1. Match existing spray heads on swing joints
2. Match existing rotors on swing joints

E. Drip Zone Control Kit

1. Hunter PCZ-101-40
 - a. Install in jumbo plastic valve box with plastic manual cutoff on upstream side.

F. Drip Line Tubing

1. Hunter PLD-04-18
 - a. Install at grade below mulch 18" O.C.
 - b. Use 1 staple every 5' to hold down tubing. Do not puncture tubing.
 - c. Do not place dripline under paving. Use ¾" PVC
 - d. Install PLDBV at end of each run in box.
2. Hunter PLD-BLKN when no emission device is needed
3. Drip Zone Winter Flushing
 - a. Install two (2) ¾" ball valve down stream from drip zone valve in box.
 - b. Install first valve between Drip Zone valve and dripline
 - c. Tee into line down stream of first valve and install second valve upstream of Dripline tubing.
 - d. Leave end of second valve unattached on discharge side for future connection to air supply.

- G. Controller – Confirm exist works and will meet the required # of zones.

- H. Quick Couplers – Include ¾ inch quick coupler on main line in jumbo box at 100 feet on center.

PART III – EXECUTION

3.01 GENERAL

Install all equipment and products in accordance with manufacturer's recommendations.

3.02 INSTALLATION

- A. PVC Pipe and Fittings:
 1. Handle and install PVC pipe, couplings, and fittings in accordance with manufacturer's recommendations and industry standards.
 2. All PVC fittings shall be molded of the same material as the pipe and shall be suitable for solvent weld, slip joint ring tight seal, or screwed connections.
 3. Minimum 12" trench depth, laterals; 18" main
- B. Leak Test:
 1. When the main line or sections of the main line, e.g. loops with swing joints and valves have been installed, the system (or section) will then be pressurized to the operating pressure indicated on the drawings. The pressure will then be maintained for a 24 hour test period prior to backfilling.
 2. All leaks will be repaired and retested prior to backfilling lines.

3.03 TREE PROTECTION

- A. When possible run trenches along edges of paving and curbs or building walls to minimize tree root disturbance.
- B. When trenching within tree drip line is absolutely necessary, trench radially into tree's root system. Do not trench across roots.
- C. Supply trenching plan to owner for approval.

3.04 CLEANUP

- A. Make final cleanup of all parts of work before final acceptance.
- B. Remove all construction materials and equipment.
- C. Prepare site in an orderly and finished appearance.
- D. Remove from site any rock or extra soil that resulted from this work and restore site to its original condition.

END OF SECTION

NOTE: IN THE EVENT ANY PORTION OF THESE SPECIFICATIONS OR DETAILS CONFLICTS WITH LOCAL OR STATE LAWS AND REGULATIONS, LOCAL/STATE STANDARDS SHALL SUPERSEDE.

CASE NUMBER: SP2024-041



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREGORY CUPPETT, LICENSED IRRIGATOR & LANDSCAPE ARCHITECT (LICENSED IRRIGATOR NUMBER 0023539, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672) ON 10/24/24 WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 8.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE RULES AND REGULATIONS OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE TEXAS DEPARTMENT OF LICENSING AND REGULATION. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE IRRIGATOR/LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED: _____
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____.
 WITNESS OUR HANDS, THIS _____ DAY OF _____, _____.

 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

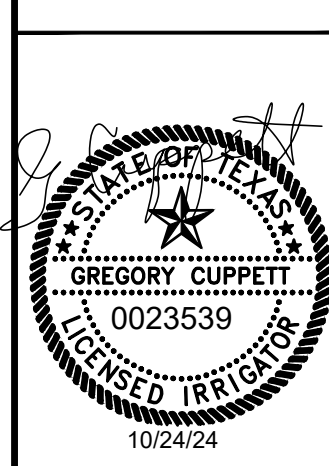
IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180

IRRIGATION PERFORMANCE SPEC
 NWC OF I-30 & STODGILL RD.
 ROCKWALL, TEXAS 75087

1-1

No.	DATE	REVISION
6.		
5.		
4.		
3.		
2.		
1.		

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 6750 HILDEBERT PLAZA, DRMC, SUITE 215 (972) 492-7000
 Texas Engineers Registration No. 89 (972) 492-7000 FAX
 Copyright © 2024, Winkelmann & Associates, Inc.

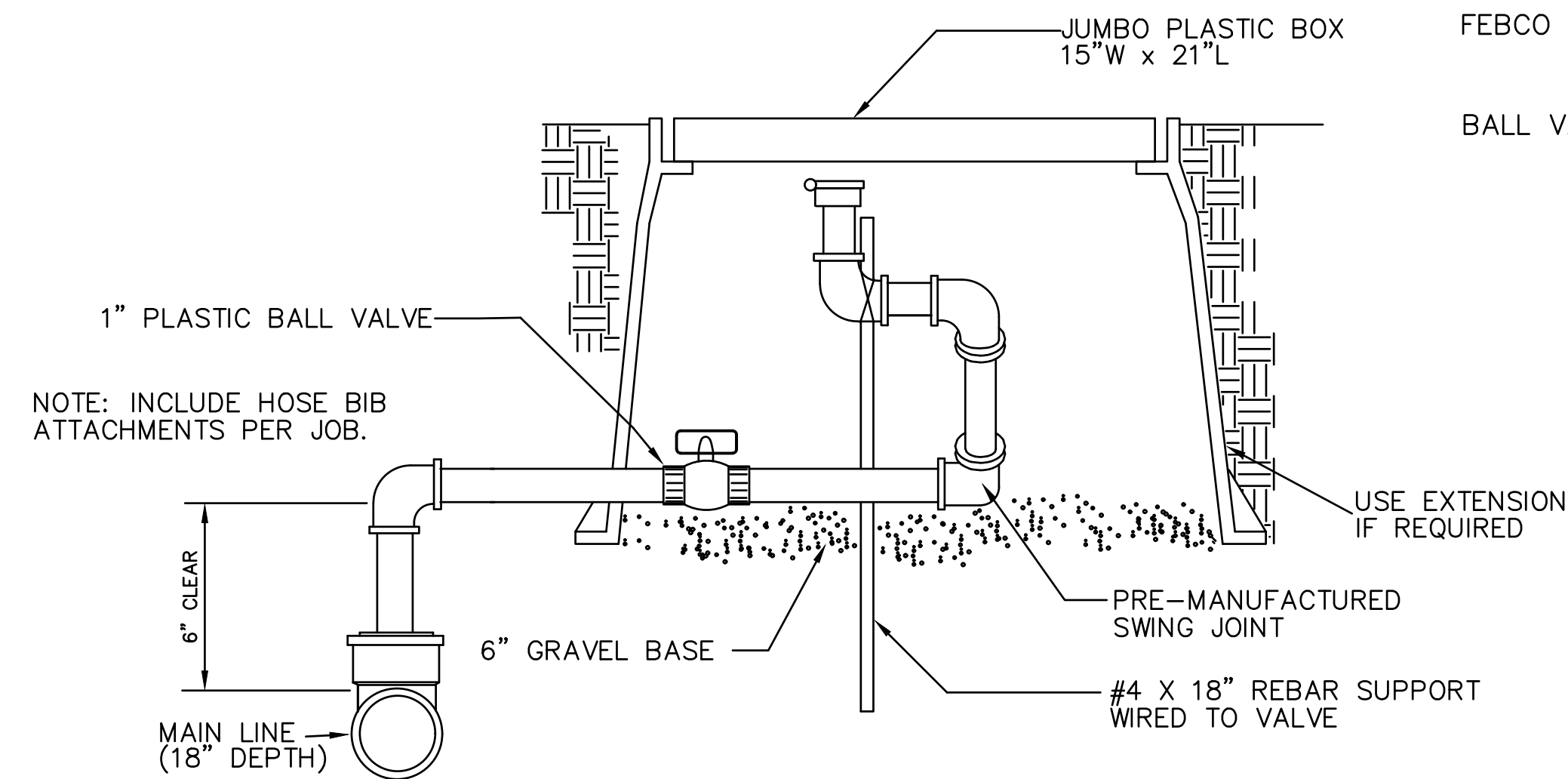


02750-1

02750-2

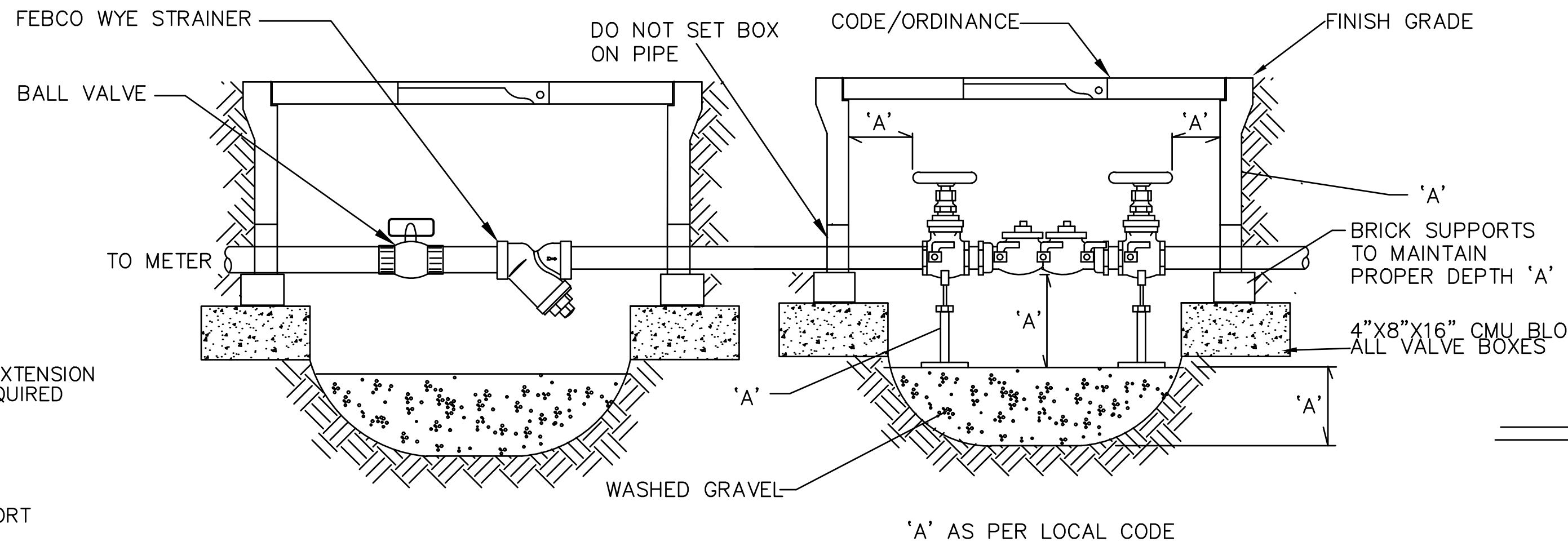
02750-3

APPROV



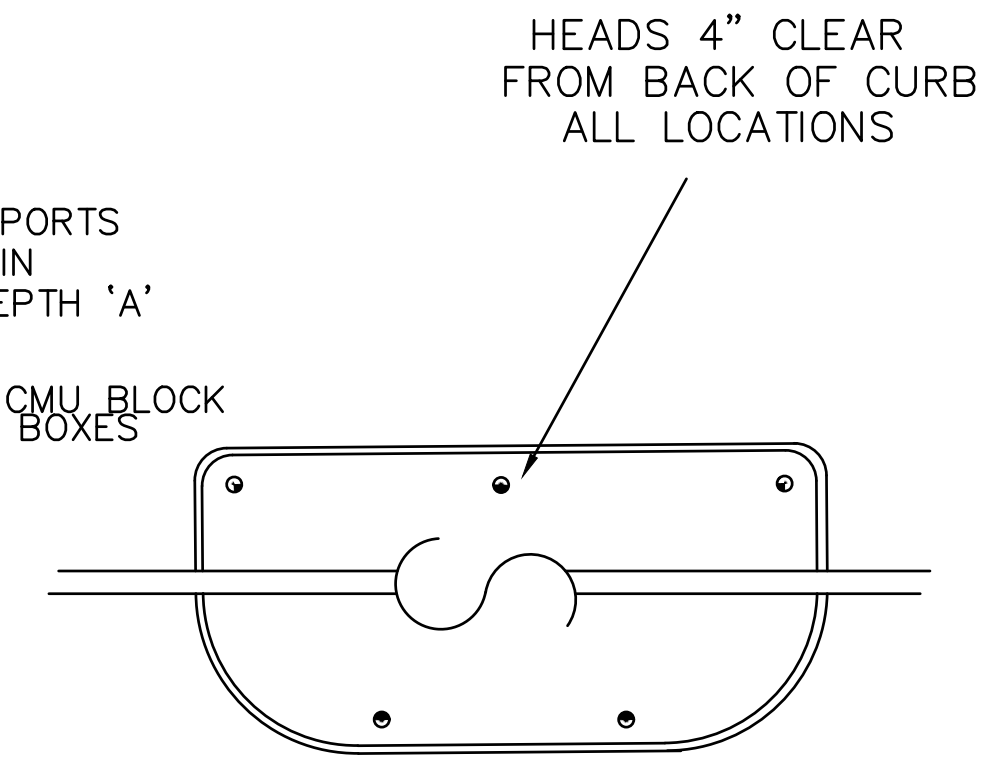
QUICK COUPLER VALVE

SCALE: NOT TO SCALE



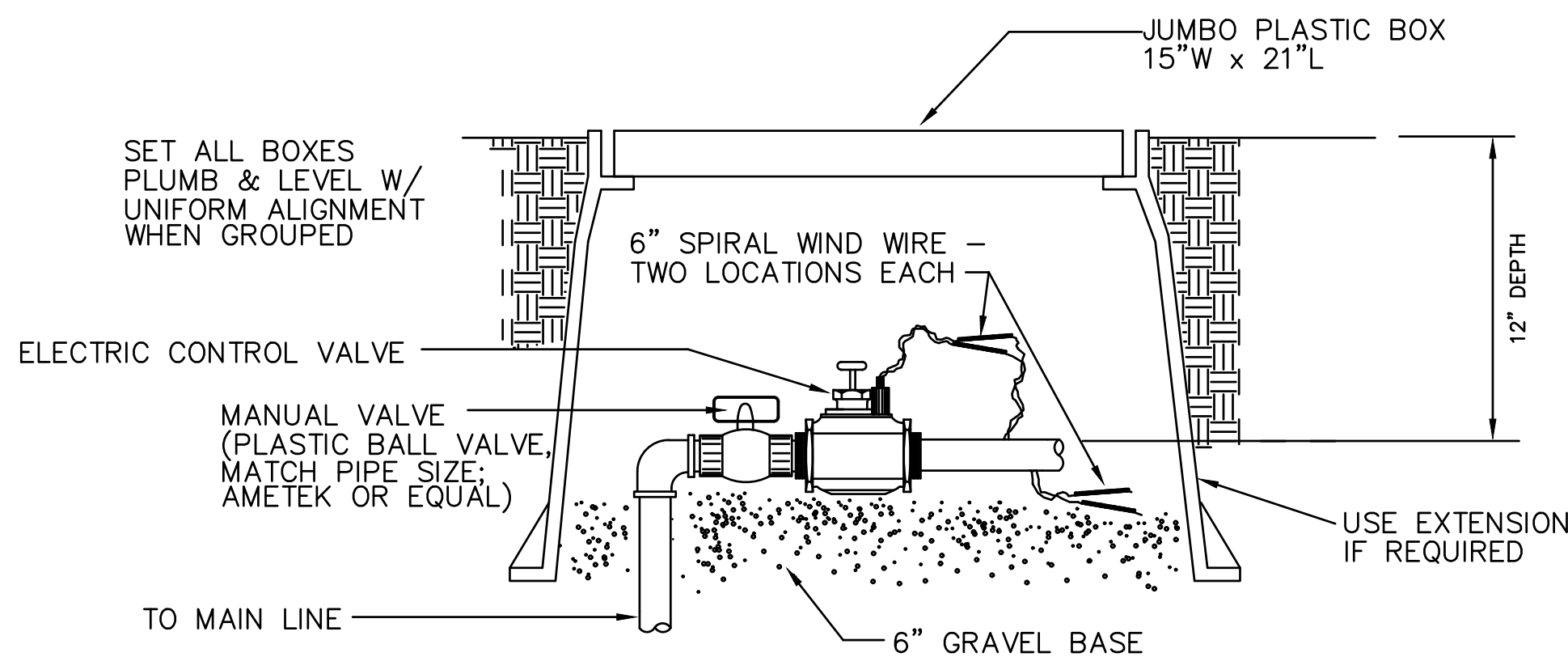
**TYPICAL INSTALLATION
DOUBLE CHECK VALVE/WYE STRAINER ASSEMBLY**

SCALE: NOT TO SCALE



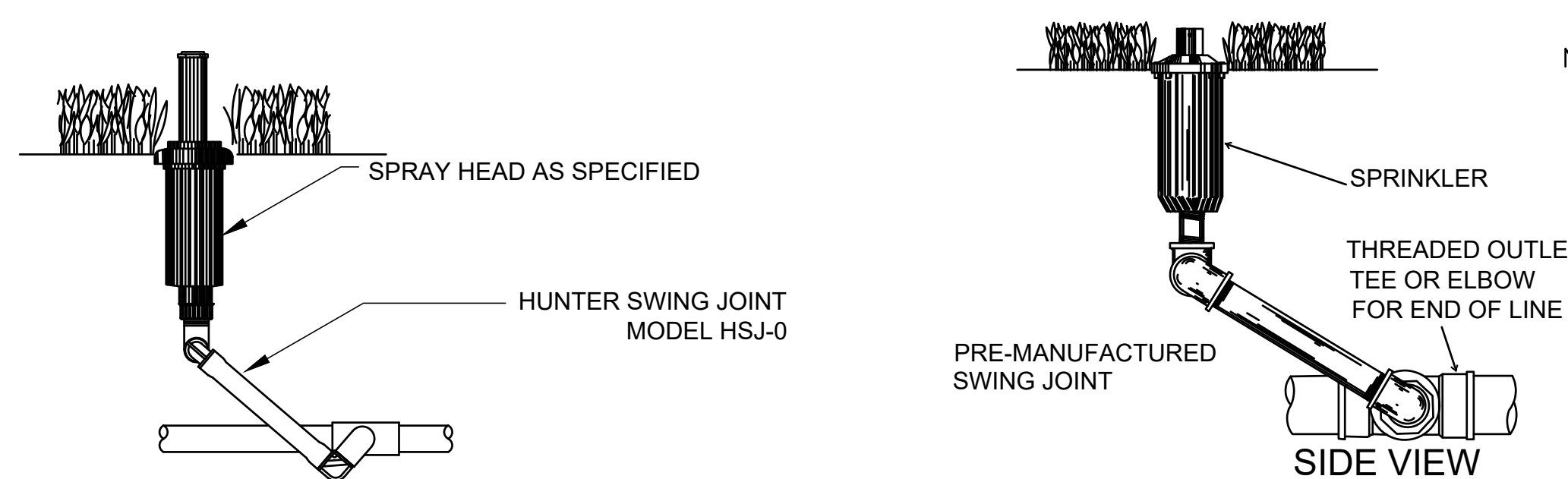
**HEAD LAYOUT
Plan View**

SCALE: NOT TO SCALE



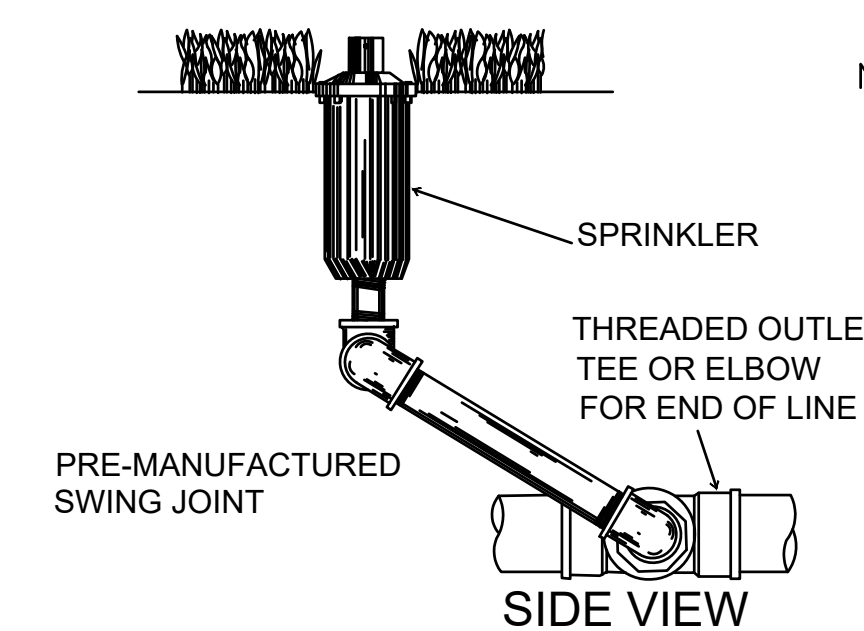
ELECTRIC CONTROL VALVE

SCALE: NOT TO SCALE



**TYPICAL INSTALLATION OF
SPRAY HEAD**

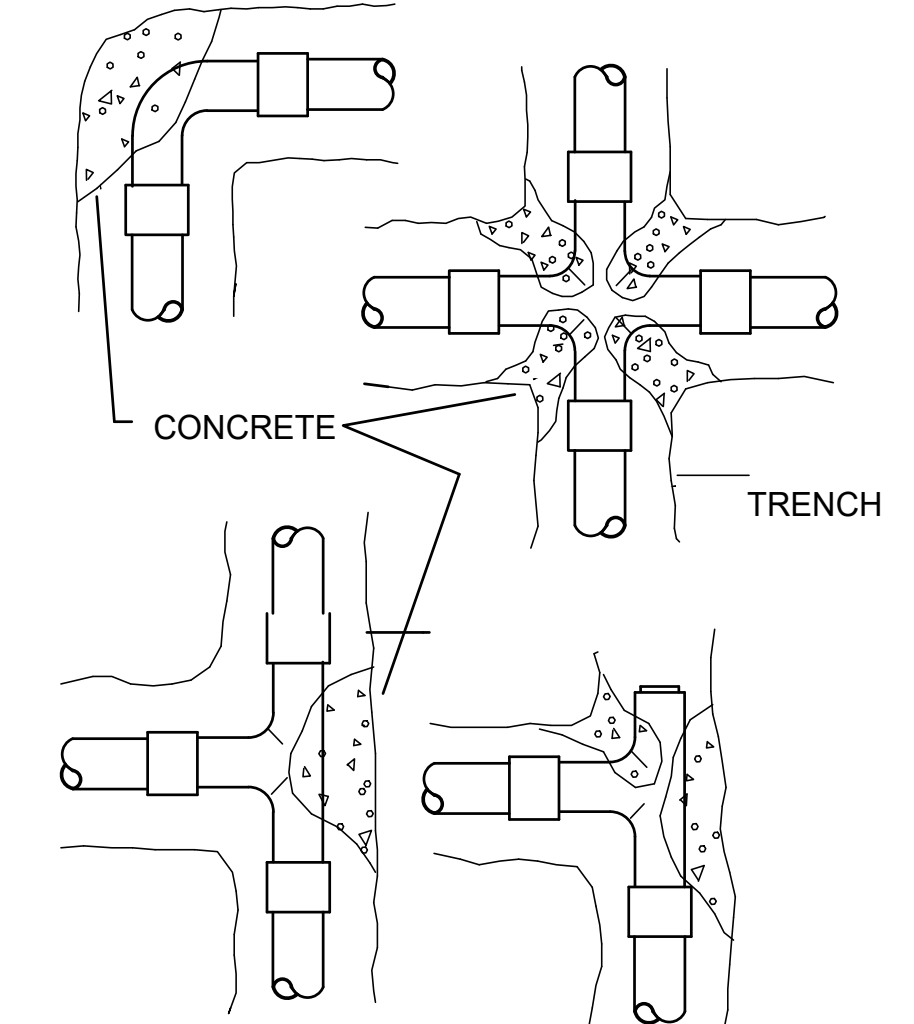
SCALE: NOT TO SCALE



**TYPICAL INSTALLATION OF
ROTARY SPRINKLER ON
SWING-JOINT RISER**

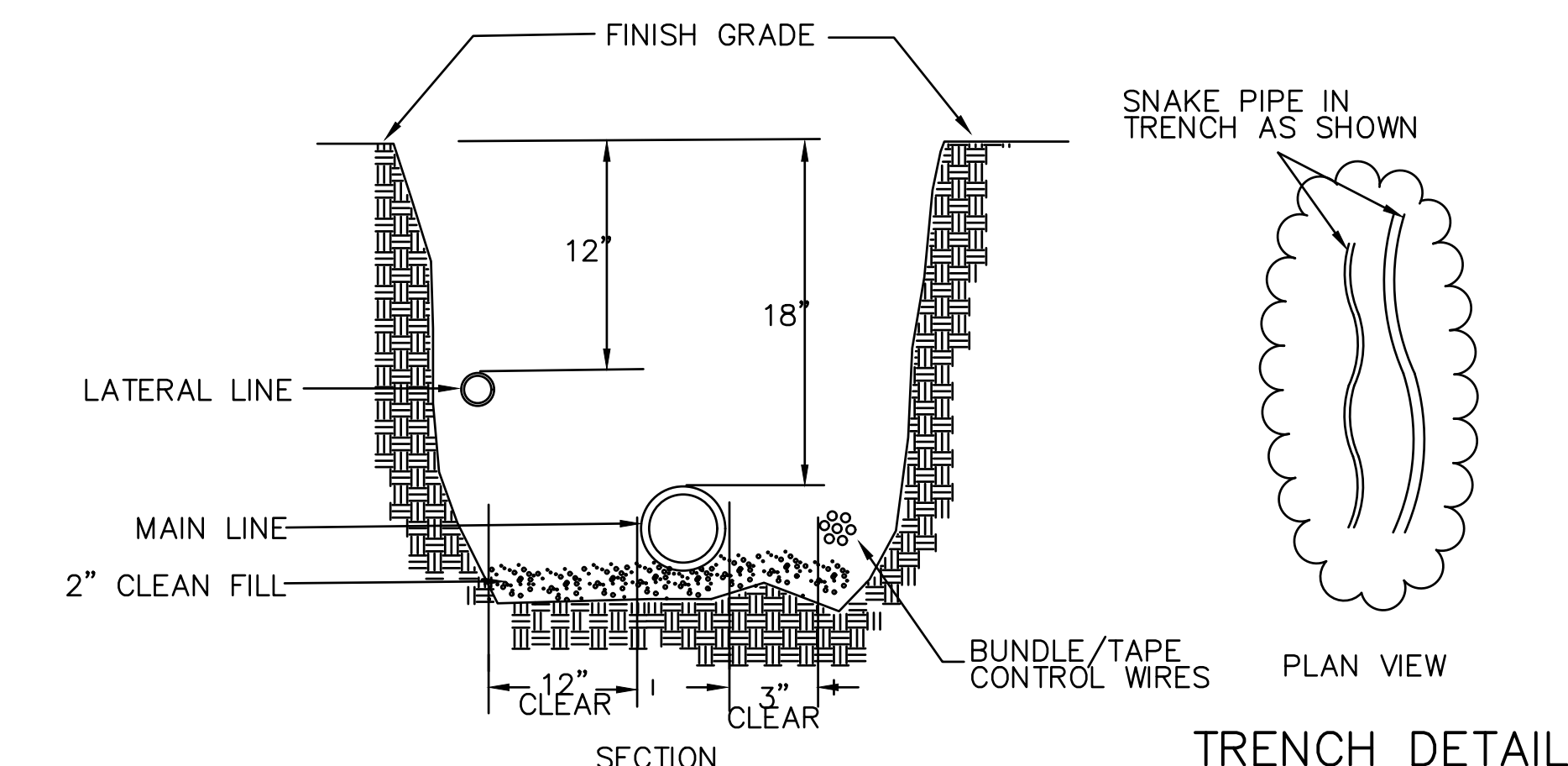
SCALE: NOT TO SCALE

NOTE: - THRUST BLOCKS ON MAIN LINE - ALL SIZES;
AND LATERALS 2" & LARGER
- MINIMUM BLOCK SIZE 8"X8"X8"



THRUST BLOCKS - PLAN VIEW

SCALE: NOT TO SCALE



TRENCH DETAIL

SCALE: NOT TO SCALE

IRRIGATION NOTES:

- IRRIGATION LINES ARE SOMETIMES SHOWN OUTSIDE PLANTING BEDS FOR GRAPHIC CLARITY ONLY. ADJUST INSIDE BEDS ON SITE.
- AVOID TRENCHING WITHIN DRIP LINE OF EXISTING TREES. WHERE NECESSARY, TRENCH RADIALLY, RATHER THAN ACROSS THE ROOT SYSTEM.
- MAIN LINE VARIES. REFERENCE PLAN.
- ALL SLEEVES UNDER PAVING TO EXTEND 12" PAST EDGE OF PAVING. COORDINATE WORK WITH GENERAL AND PAVING SUBCONTRACTOR.
- ALL HEADS TO BE 4" POPS IN LAWNS. ALL HEADS WITH CHECK VALVES.
- COORDINATE SLEEVE SIZE AND LOCATION FOR FREEZE SENSOR, RAIN GAUGE AND CONTROLLER WITH GENERAL CONTRACTOR. SEAL ALL BUILDING PENETRATIONS WATER TIGHT.
- SEE DETAIL SHEET FOLLOWING FOR IRRIGATION DETAILS.
- PRESSURE ESTIMATED AT 65 PSI; MINIMUM 50 GPM AS PROVIDED BY CITY. VERIFY ON SITE AND REPORT TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING ANY WORK.
- CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER, AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER. REFER TO SITE/UTILITY PLANS.
- FREEZE SENSOR AND RAIN GAUGE INSTALLATION PER MANUFACTURER'S INSTRUCTIONS (MINI-CLIK F-401 & 502). LOCATION/HEIGHT TO AVOID DIRECT SPRAY OF IRRIGATION HEADS.
- VERIFY 100% COVERAGE OF SYSTEM OVER ALL PLANTING & LAWN AREAS AS SHOWN ON DRAWINGS.
- IF PEDESTAL MOUNTED CONTROLLER IS SPECIFIED, MOUNT ON 4"X3"X3" CONCRETE SLAB WITH (4) #4'S EACH WAY. SLEEVE THROUGH SLAB FOR CONTROLLER WIRING AS REQUIRED.
- UNLESS NOTED OTHERWISE, THERE ARE NO EXISTING SLEEVES. IRRIGATION CONTRACTOR TO SIZE AND COORDINATE SLEEVE INSTALLATION AS NEEDED IN ALL LOCATIONS UNDER PAVEMENT.
- QUANTITIES ARE PROVIDED AS A COURTESY AND ARE NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BIDDING.
- IF DOUBLE CHECK IS PROHIBITED BY LOCAL CODE/ORDINANCE, SUBSTITUTE WITH APPROVED BACKFLOW PREVENTION DEVICE.
- ALL WORK IN ACCORDANCE WITH LOCAL, STATE, & NATIONAL CODES & ORDINANCES.
- CONTRACTOR TO SIZE CONTROL SIZE WIRE AS NECESSARY. HOWEVER, MINIMUM SIZE TO BE 14 GAUGE PER NATIONAL ELECTRICAL CODE. ALL SPLICES WITH APPROVED MANUFACTURED CONNECTOR IN VALVE BOX.
- DO NOT LOCATE VALVE BOXES IN SWALES, LOW AREAS, OR ANY OTHER LOCATIONS THAT MAY COLLECT WATER.
- CONTROLLER TO BE WIRED ON DEDICATED 110 VOLT CIRCUIT AND GROUNDED W/"GROUNDING SPIKE" PER MANUFACTURER'S INSTRUCTIONS.
- ADJUST HEADS TO AVOID OVERSPRAY ONTO STREETS AND ROADWAYS.
- INCLUDE ONE SPARE WIRE FROM CONTROLLER TO EACH CONTROL VALVE. EACH WIRE TO BE VARYING COLOR.
- CONTRACTOR IS RESPONSIBLE FOR ADJUSTING FLOW CONTROL AND/OR PRESSURE REGULATOR AT EACH CONTROL VALVE AS NECESSARY TO MAKE SYSTEM OPERATE AS INTENDED.

CASE NUMBER: SP2024-041



THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREGORY CUPPETT, LICENSED IRRIGATOR & LANDSCAPE ARCHITECT (LICENSED IRRIGATOR NUMBER 0023539, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672) ON 10/24/24 WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 8.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE RULES AND REGULATIONS OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE TEXAS DEPARTMENT OF LICENSING AND REGULATION. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE IRRIGATOR/LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
8750 N CENTRAL EXPY
DALLAS, TEXAS 75231

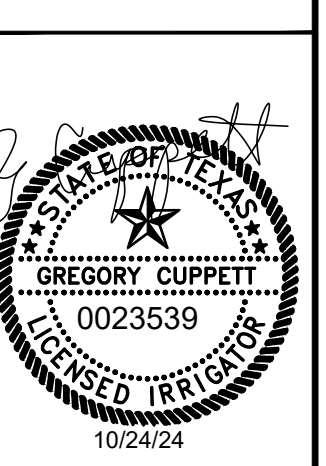
IKEA
400 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19028
TEL: (610) 834-0180

IRRIGATION DETAILS
NWC OF I-30 & STODGILL RD.
ROCKWALL, TEXAS 75087

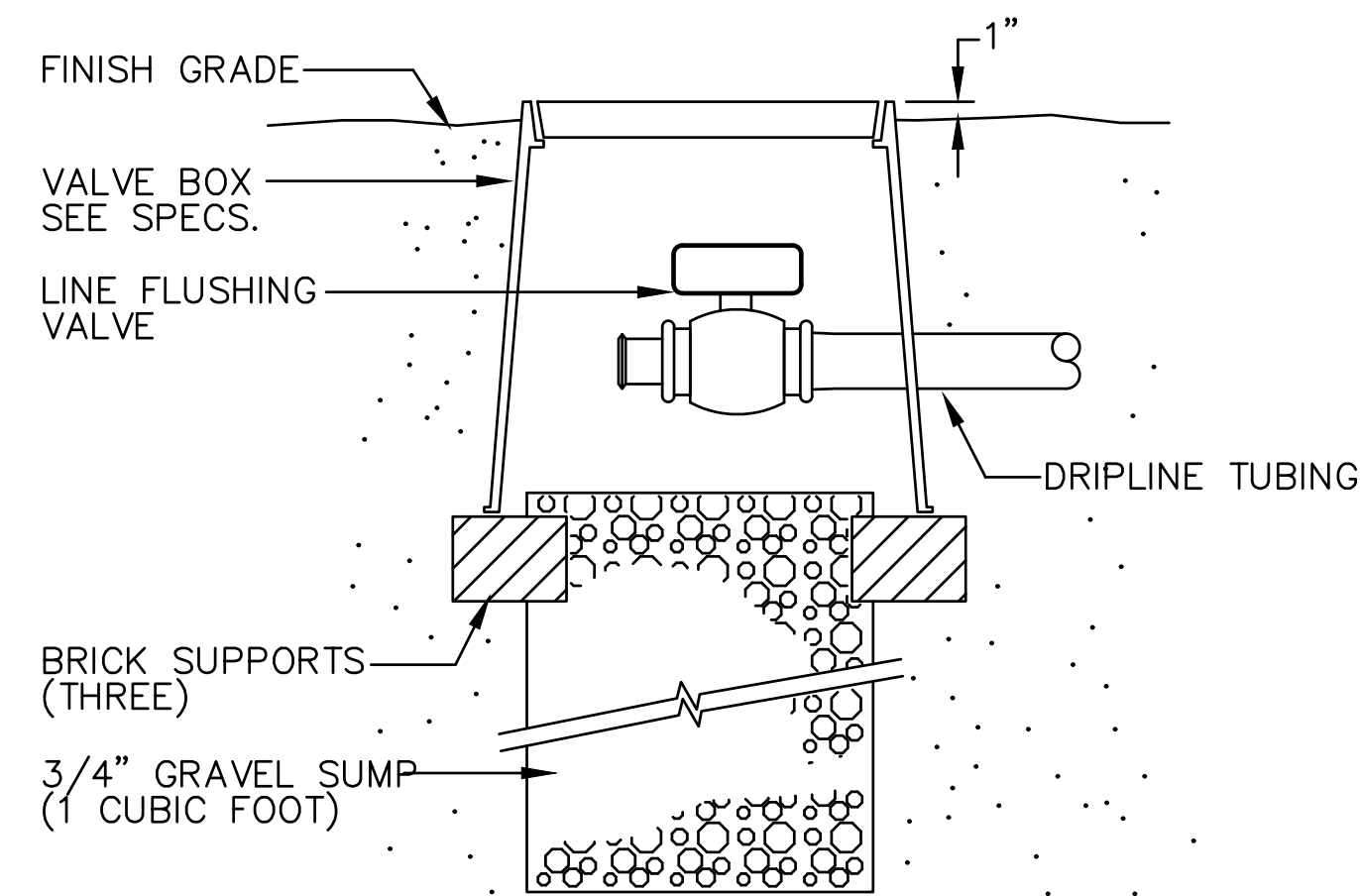
1-2

No.	DATE	REVISION	APPROV.
6.			
5.			
4.			
3.			
2.			
1.			

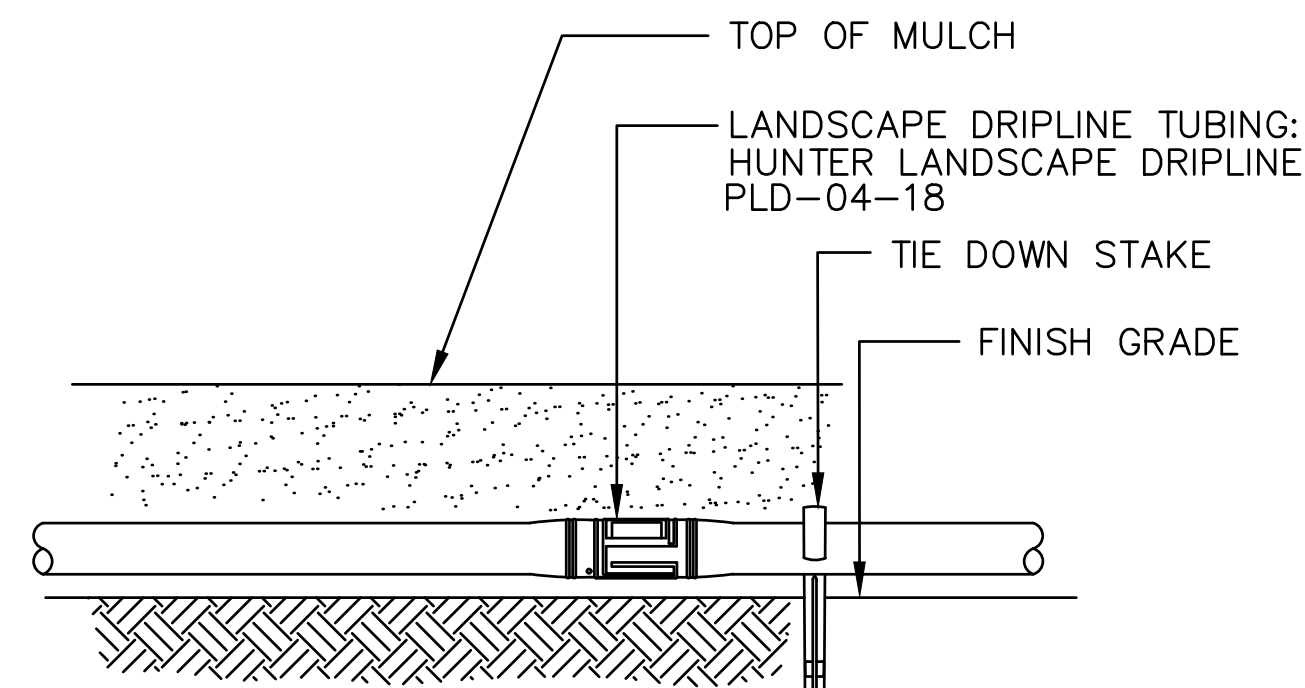
Winkelman & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
6750 HILDBERT PLAZA DR., SUITE 215
IRVING, TEXAS 75039
(972) 498-7999 FAX
(972) 498-7999 FAX
Texas Engineers Registration No. 89
Texas Surveyors Registration No. 10888
Copyright © 2024, Winkelman & Associates, Inc.



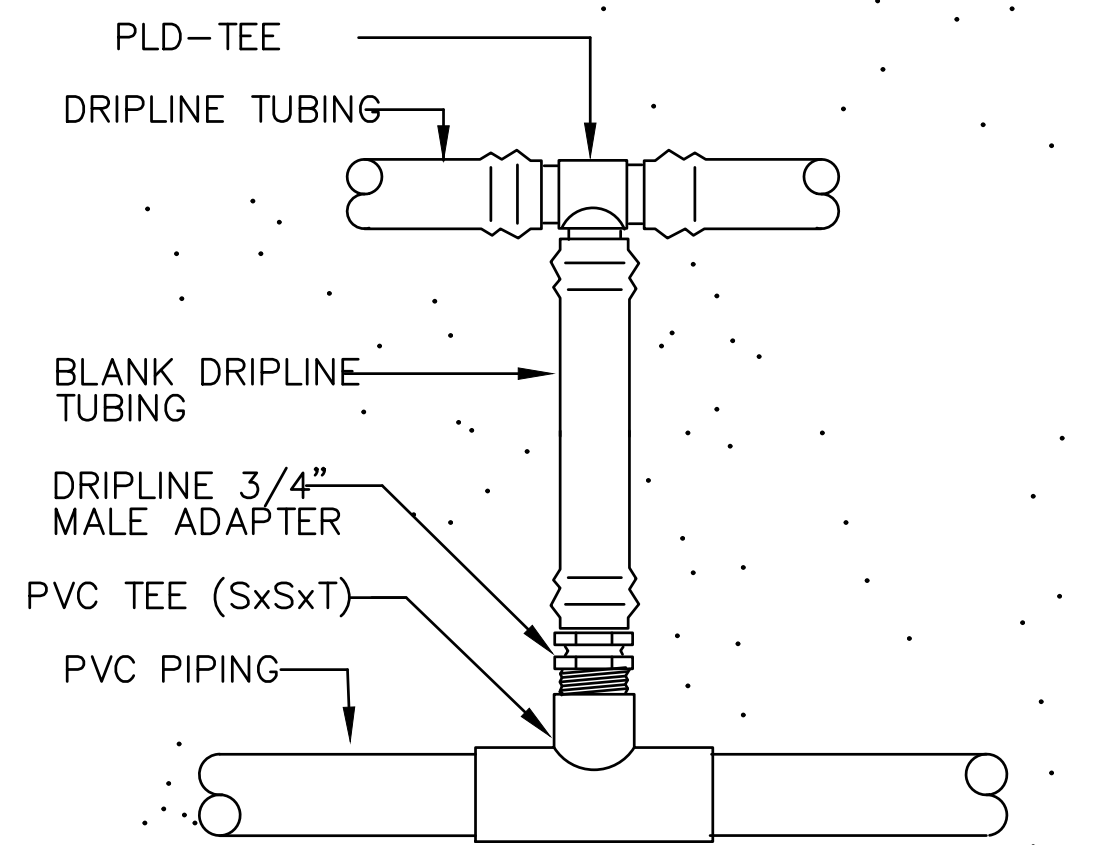
10/24/24



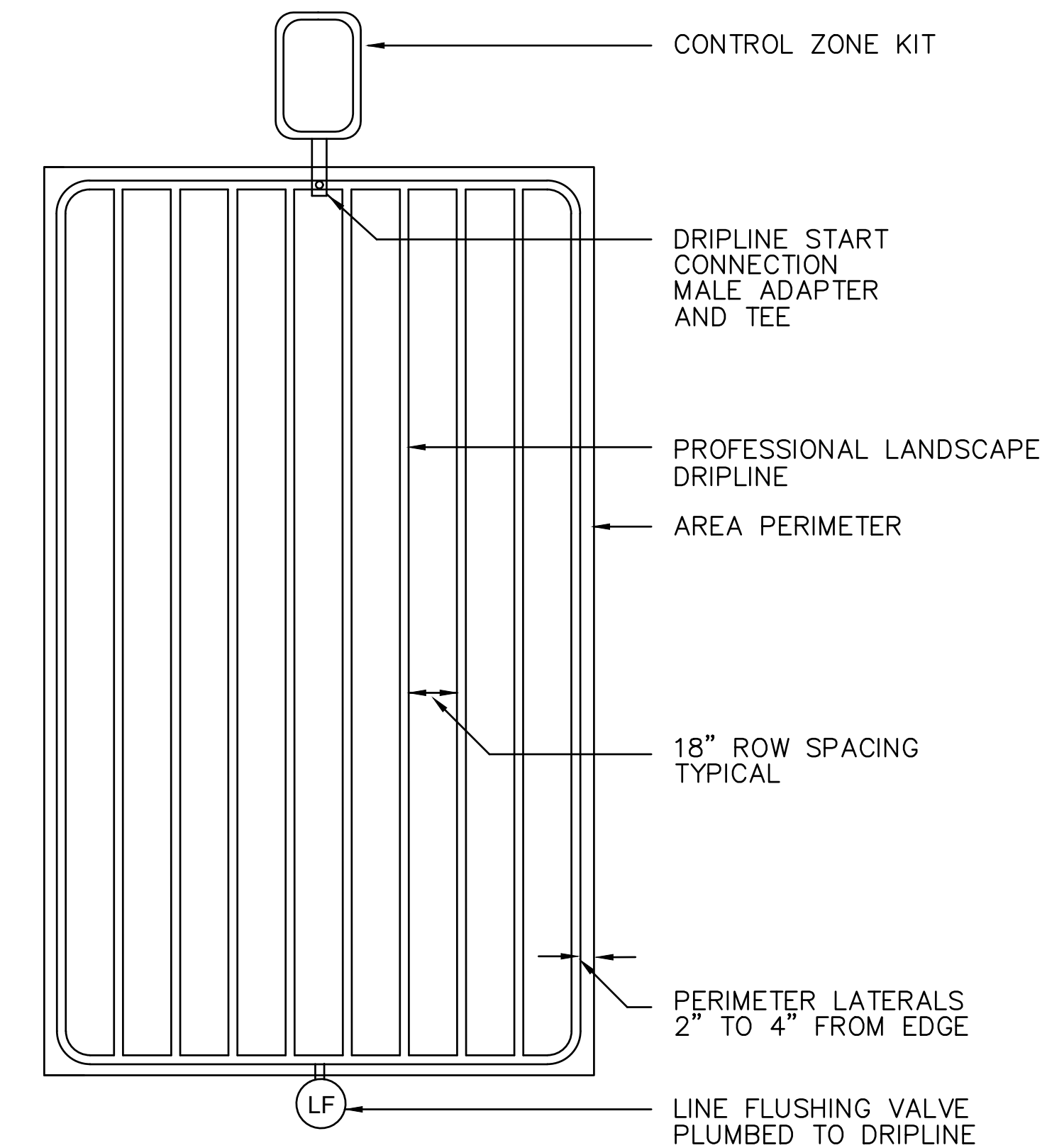
LINE FLUSHING VALVE
SECTION - NO SCALE



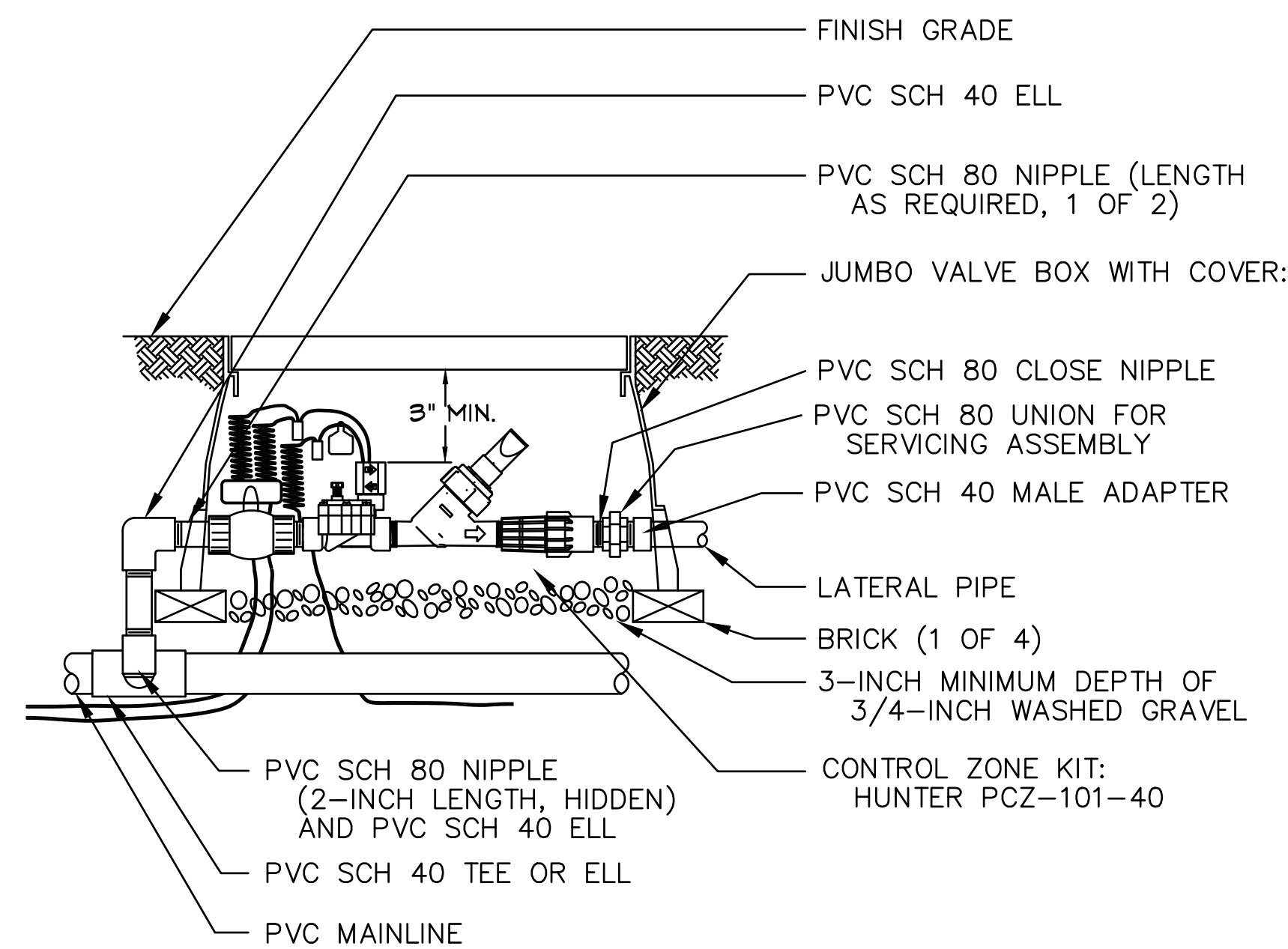
DRIPLINE ON GRADE
SCALE: NOT TO SCALE



DRIPLINE START CONNECTION
SECTION - NO SCALE



TYPICAL DRIPLINE END FEED LAYOUT
DETAIL - NO SCALE



FLOW CONTROL ZONE KIT
SCALE: NOT TO SCALE

CASE NUMBER: SP2024-041

FAIN • CUPPETT
LANDSCAPE ARCHITECTS, LLC
8233 Mid Cities Blvd., Suite B
North Richland Hills, TX 76182-4761 817-479-0730
PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREGORY CUPPETT, LICENSED IRRIGATOR & LANDSCAPE ARCHITECT (LICENSED IRRIGATOR NUMBER 0023539, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672) ON 10/24/24 WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 8.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE RULES AND REGULATIONS OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE TEXAS DEPARTMENT OF LICENSING AND REGULATION. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE IRRIGATOR/LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

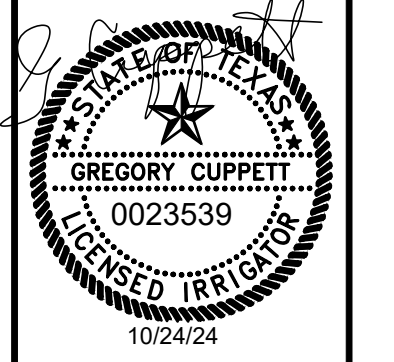
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

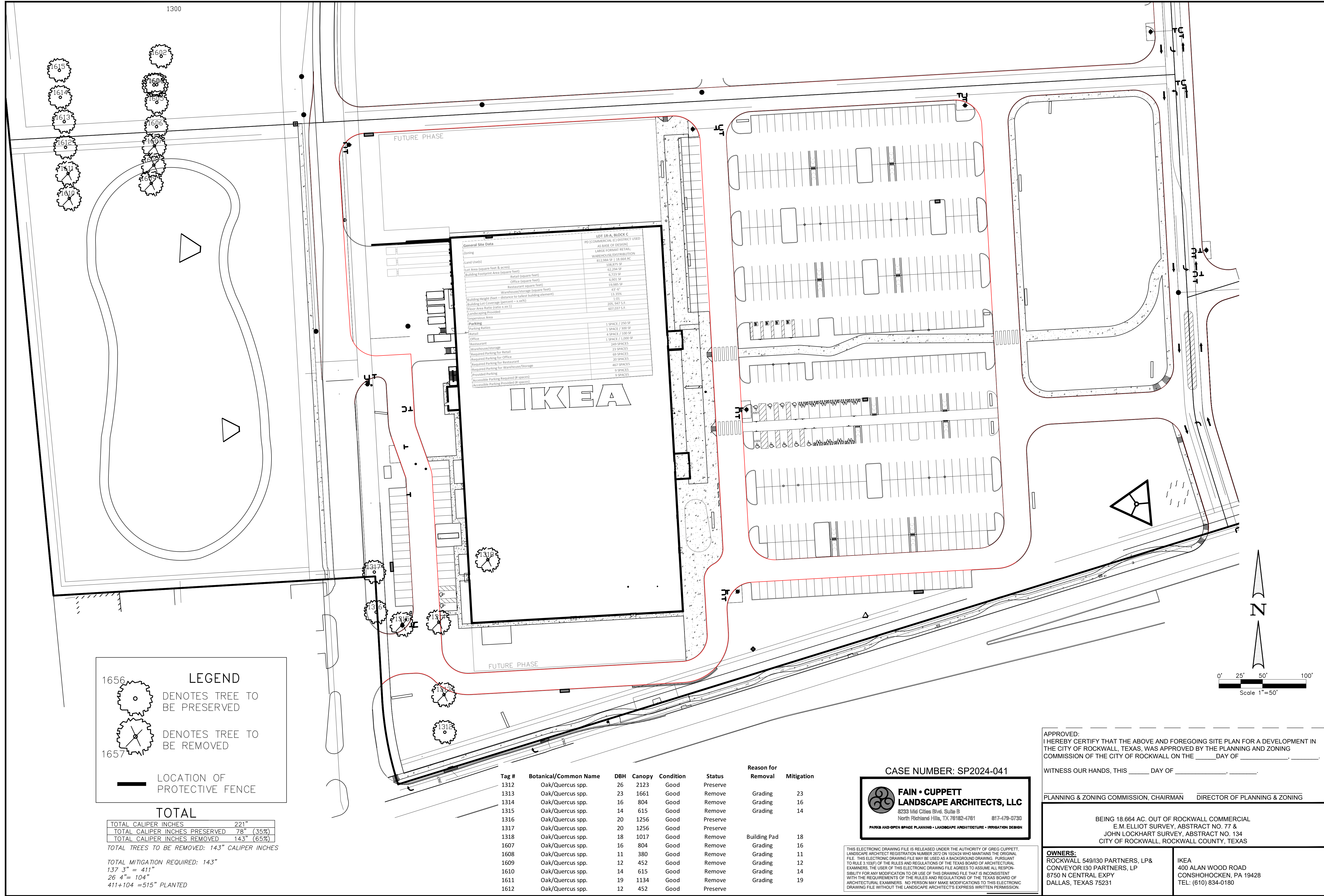
BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
8750 N CENTRAL EXPY
DALLAS, TEXAS 75231

IKEA
400 ALAN WOOD ROAD
CONSHOHOCKEN, PA 19428
TEL: (610) 834-0180

<p>Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS ■ SURVEYORS 6750 HILDBERT PLAZA DRIVE, SUITE 215 Texas Engineers Registration No. 89 08666-01 CONSTRUCTION ENGINEERS & ARCHITECTS, INC. (972) 498-7998 (972) 498-7999 FAX</p>	No.	DATE	REVISION	APPROV.
	6.			
	5.			
	4.			
	3.			
	1.			
<p>DRIP DETAILS NWC OF I-30 & STODGILL RD. ROCKWALL, TEXAS 75087</p>				
<p>1-3</p>				





General Site Data		LOT DVA, BLOCK C PD (COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN)
Zoning		LARGE FORMAT RETAIL WAREHOUSE/DISTRIBUTION
Lot Area (square feet & acres)	128,875 SF	812,084 SF / 18.664 AC
Building Footprint Area (square feet)	62,234 SF	
Retail (square feet)	6,223 SF	
Office (square feet)	9,965 SF	
Warehouse (square feet)	18,985 SF	
Warehouse (storage) (square feet)	43 SF	
Building Height (feet - distance to tallest building element)	13.30%	
Building Lot Coverage (percent - ±.00%)	1.00	
Floor Area Ratio (ratio x.00%)	205.00 S.F.	
Landscaping Provided	607,037 S.F.	
Impervious Area		
Parking	1 SPACE / 250 SF	
Parking Ratio	1 SPACE / 300 SF	
Restaurant	4 SPACES / 1,000 SF	
Office	1 SPACE / 1,000 SF	
Warehouse/Storage	23 SPACES	
Required Parking for Retail	69 SPACES	
Required Parking for Office	20 SPACES	
Required Parking for Restaurant	467 SPACES	
Required Parking for Warehouse/Storage	9 SPACES	
Provided Parking	467 SPACES	
Accommodated Parking Required (if spaces)	9 SPACES	
Accommodated Parking Provided (if spaces)		

LEGEND

1656 DENOTES TREE TO BE PRESERVED

1657 DENOTES TREE TO BE REMOVED

LOCATION OF PROTECTIVE FENCE

TOTAL

TOTAL CALIPER INCHES	221"
TOTAL CALIPER INCHES PRESERVED	78" (35%)
TOTAL CALIPER INCHES REMOVED	143" (65%)

TOTAL TREES TO BE REMOVED: 143" CALIPER INCHES

TOTAL MITIGATION REQUIRED: 143"
 137 3" = 411"
 26 4" = 104"
 411+104 = 515" PLANTED

Tag #	Botanical/Common Name	DBH	Canopy	Condition	Status	Reason for Removal	Mitigation
1312	Oak/Quercus spp.	26	2123	Good	Preserve		
1313	Oak/Quercus spp.	23	1661	Good	Remove	Grading	23
1314	Oak/Quercus spp.	16	804	Good	Remove	Grading	16
1315	Oak/Quercus spp.	14	615	Good	Remove	Grading	14
1316	Oak/Quercus spp.	20	1256	Good	Preserve		
1317	Oak/Quercus spp.	20	1256	Good	Preserve		
1318	Oak/Quercus spp.	18	1017	Good	Remove	Building Pad	18
1607	Oak/Quercus spp.	16	804	Good	Remove	Grading	16
1608	Oak/Quercus spp.	11	380	Good	Remove	Grading	11
1609	Oak/Quercus spp.	12	452	Good	Remove	Grading	12
1610	Oak/Quercus spp.	14	615	Good	Remove	Grading	14
1611	Oak/Quercus spp.	19	1134	Good	Remove	Grading	19
1612	Oak/Quercus spp.	12	452	Good	Preserve		

CASE NUMBER: SP2024-041

FAIN • CUPPETT
LANDSCAPE ARCHITECTS, LLC
 8233 Mid Cities Blvd., Suite B
 North Richland Hills, TX 76182-4761 817-479-0730
 PARKS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREG CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 10/24/24 WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 3.103(F) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

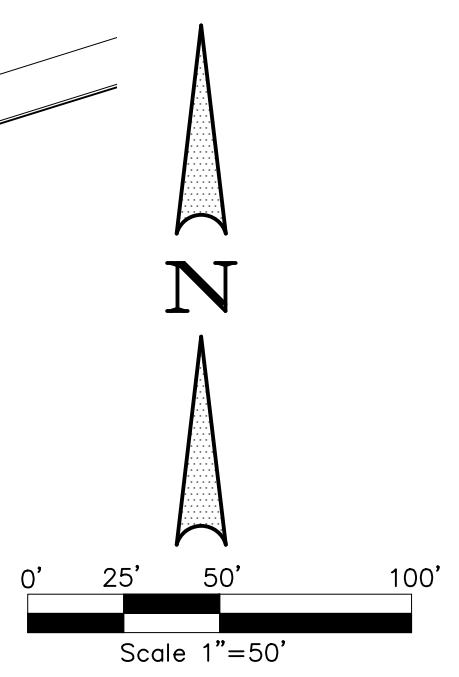
WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BEING 18.664 AC. OUT OF ROCKWALL COMMERCIAL E.M. ELLIOT SURVEY, ABSTRACT NO. 77 & JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS:
 ROCKWALL 549/130 PARTNERS, LP & CONVEYOR 130 PARTNERS, LP
 8750 N CENTRAL EXPY
 DALLAS, TEXAS 75231

IKEA
 400 ALAN WOOD ROAD
 CONSHOHOCKEN, PA 19428
 TEL: (610) 834-0180



TREESCAPE PLAN
 NWC OF I-30 & STODGILL RD.
 ROCKWALL, TEXAS 75087

Winklemann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 8750 HILDBRETT PLAZA DRIVE, SUITE 215
 DALLAS, TEXAS 75231
 (972) 498-7090
 (972) 498-7099 FAX
 COPYRIGHT © 2024 Winklemann & Associates, Inc.

Greg Cuppett
 LANDSCAPE ARCHITECT
 REGISTRATION NO. 2672
 10/24/24

No.	DATE	REVISION	APPROV.
6.			
5.			
4.			
3.			
2.			
1.			

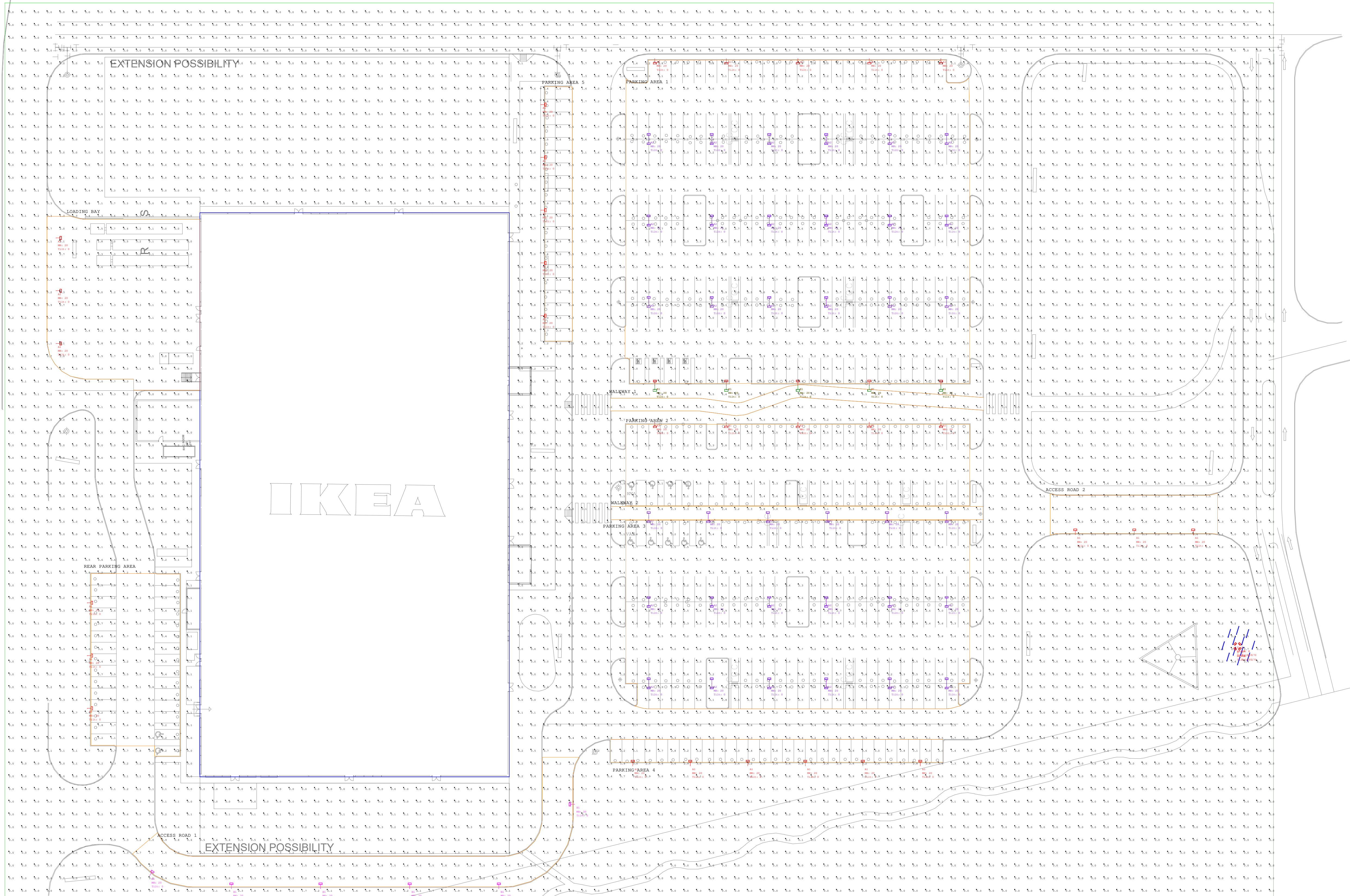
T-1

- GENERAL NOTES:
1. NOT FOR CONSTRUCTION PURPOSES.
 2. ALL CALCULATIONS CONTAIN AN ERROR FACTOR OF +/- 10%.
 3. CALCULATION POINT SPACING IS 10' x 10'
 4. ALL CALCULATIONS ARE IN FOOTCANDLE MEASUREMENTS
 5. UNLESS OTHERWISE NOTED - ALL REFLECTANCE VALUES ARE CALCULATED USING THE DEFAULT VALUES OF: SURFACE = .2, WALLS = .5, CEILING = .8



Bell & McCoy
Lighting and Controls
4630 Nall Road
Farmers Branch, TX 75244

IKEA ROCKWALL



Revisions:
X XX/XX/XXXX

Drawn By:
J. FENTON
Date:
9/11/2024
Scale:
N.T.S
Sheet Title:
Site Photometrics
Sheet No.

- GENERAL NOTES:
 1. NOT FOR CONSTRUCTION PURPOSES.
 2. ALL CALCULATIONS CONTAIN AN ERROR FACTOR OF +/- 10%.
 3. CALCULATION POINT SPACING IS 10' x 10'
 4. ALL CALCULATIONS ARE IN FOOTCANDLE MEASUREMENTS
 5. UNLESS OTHERWISE NOTED - ALL REFLECTANCE VALUES ARE CALCULATED USING THE DEFAULT VALUES OF: SURFACE = .2, WALLS = .5, CEILING = .8



Bell & McCoy
 Lighting and Controls
 4630 Nall Road
 Farmers Branch, TX 75244

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
	35	A1	Single	VP-1-160L-50-3K7-4F		0.900	6757	52	1820	20
	36	A2	Back-Back	VP-1-160L-35-3K7-4F		0.900	4709	35	2520	20
	6	B1	Single	VP-1-160L-50-3K7-3		0.900	6814	52	312	20
	5	C1	Single	VP-1-160L-75-3K7-2		0.900	9584	72	360	20
	4	D	Single	PFMXW43LED		0.900	5191	40.34	161.36	8

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE Planar	Illuminance	Fc	0.99	6.5	0.0	N.A.	N.A.
ACCESS ROAD 1	Illuminance	Fc	1.85	2.9	0.8	2.31	3.63
ACCESS ROAD 2	Illuminance	Fc	2.20	3.0	1.2	1.83	2.50
LOADING BAY	Illuminance	Fc	0.97	3.3	0.0	N.A.	N.A.
PARKING AREA 1	Illuminance	Fc	2.78	4.9	1.6	1.74	3.06
PARKING AREA 2	Illuminance	Fc	2.44	3.6	1.5	1.63	2.40
PARKING AREA 3	Illuminance	Fc	2.63	3.7	1.5	1.75	2.47
PARKING AREA 4	Illuminance	Fc	2.78	3.4	1.6	1.74	2.13
PARKING AREA 5	Illuminance	Fc	2.56	3.3	1.6	1.60	2.06
REAR PARKING AREA	Illuminance	Fc	1.36	3.4	0.1	13.60	34.00
WALKWAY 1	Illuminance	Fc	5.14	6.5	3.1	1.66	2.10
WALKWAY 2	Illuminance	Fc	2.35	3.1	1.1	2.14	2.82

IKEA ROCKWALL

Revisions:
 X XX/XX/XXXX

Drawn By:
 J. FENTON
 Date:
 9/11/2024
 Scale:
 N.T.S.
 Sheet Title:
 Site Photometrics
 Sheet No.



Flood Lights

Optic | Extra-Wide | Extreme

PROJECT INFORMATION

JOB NAME	
FIXTURE TYPE	Flood Light
CATALOG NUMBER	
APPROVED BY	

SPECIFICATIONS

Construction:

Designed for commercial and industrial applications, providing cooler operating temperatures, brighter light and longer LED life. Apertures for field or factory installed photocontrol. Heavy duty knuckle with 90° adjustment standard. Heavy duty trunnion mount also available.

Optics:

Atlas optic flood lights utilize individual lenses for maximum light intensity. These lenses are made of optical grade acrylic. This guarantees more footcandles, less glare and less wasted light.

Extra Wide Distribution Pattern:

Designed to provide maximum light spread for short set backs when lighting signs and washing walls.

Reduced Glare:

Positioning of the LED modules within the housing result in light directed to desired locations and reduces offensive light.

Thermal Management:

Atlas Flood Lights are designed as a complete system to optimize LED life and light output. The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and components. The lower temperatures result in long LED life (200,000+ hrs¹) and component life and also allows for higher light output.

Listings:

Luminaire is certified to UL/cUL Standards for Wet Locations DesignLights Consortium qualified luminaire, eligible for rebates from DLC member utilities. ²See chart on other last page for qualifying products.

AC Input: 120/208/240/277V

Driver:

Constant current, Class 2, 120-277 VAC, 50-60 Hz
High Efficiency – min. 84%
Off-State Power: 0 Watts
0-10 V Dimming

LEDs:

3000K | 4000K | 4500K | 5000K CCT

Testing:

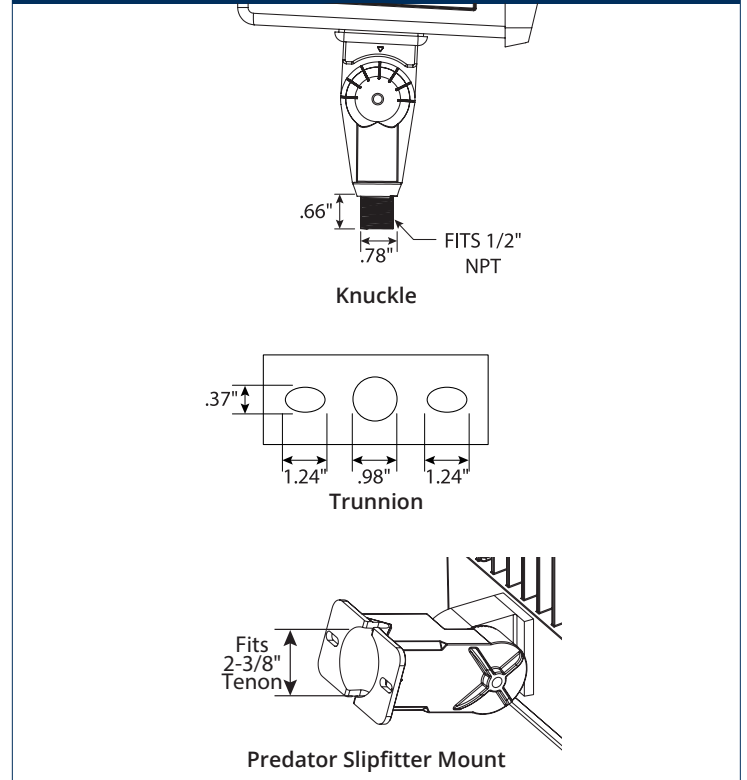
Atlas LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 & LM-80.

Warranty: Five-year limited warranty

Photo Control: For factory installed 120V button photo control add suffix PC to part number.



MOUNTING DETAIL



MOUNTING

Heavy Duty Knuckle, Trunnion or Predator Slipfitter Mount



Rebates and Incentives are available in many areas. Contact an Atlas Representative for more information.

¹LED Life Span Based Upon LM-70 Test Results



Flood Lights

Optic | Extra-Wide | Extreme

ORDERING INFORMATION

PFS			22LED						
PRODUCT SERIES	DISTRIBUTION	SELECTABLE	OUTPUT	COLOR TEMP.	CONTROLS	VOLTAGE	FIXTURE COLOR	MOUNTING	OPTIONS
PFS - Small	Blank - Wide (with Optics)	blank = Fixed	22LED = 22 System Watts ¹ 27LED = 27 System Watts ²	Blank = 4500K 3K = 3000K 4K = 4000K 5K = 5000K	Blank = Dimming (0-10V) PC = 120V Photocontrol PM = 120-277V Photocontrol	Blank = 120-277 4 = 347-480V* <i>*Not available on PFS</i>	Blank = Bronze WT = White* BK = Black* <i>*optional with adder</i>	Blank = Knuckle ⁵ T = Trunnion ⁵ <i>⁵PFS, PFM only</i>	SP = Surge Protection* <i>*Not available on PFS</i>
PFM - Medium	XW - Extra Wide		43LED = 43 System Watts 64LED = 64 System Watts ¹						
PFL2G - Large (2nd Generation)	H = Extreme High Wattage (with Optics)	blank = Fixed	20L = 20,000 Lumens 25L = 25,000 Lumens	3K = 3000K 4K = 4000K 45K = 4500K 5K = 5000K	PH = 480V Button Photocontrol*			Blank = Trunnion ⁶ S = Predator Mount - Slipfitter/Trunnion ⁶ <i>⁶PFL2G, PFXL2G only</i>	
PFXL2G - Extra Large (2nd Generation)	XW - Extra Wide	blank = Fixed S = Selectable ³	26-50L = 26,000 - 50,000 Lumens Selectable 33L = 33,000 Lumens 40L = 40,000 Lumens 50L = 50,000 Lumens	blank = Selectable ⁴ 4000K, 4500K, 5000K	PR = Photo Receptacle* <i>*Not available on PFS, PFM</i>				

¹Wide/H only | ²Extra-wide only | ³PFXL2GH is Lumen Selectable only | ⁴PFXL2GXW only

PERFORMANCE DATA

FULLY SELECTABLE

UNIT	CRI	4000K CCT		4500K CCT		5000K CCT		WATTAGE	REPLACES UP TO	
		DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)			
Extra Wide										
PFXL2GXWS26-50L	70	28,506	160	29,756	167	27,941	157	178	1000W MH	
		42,003	151	43,845	158	41,170	148	278		
		52,133	143	54,419	156	51,099	140	365		

LUMEN SELECTABLE

UNIT	CRI	3000K CCT		4000K CCT		4500K CCT		5000K CCT		WATTAGE	REPLACES UP TO
		DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)		
Optic											
PFXL2GHS26-50L	70	24,332	144	25,582	152	25,437	151	25,353	150	169	1000W MH
		36,518	141	38,394	148	38,176	148	38,051	147	259	
		47,818	133	50,275	139	49,989	138	49,825	138	361	

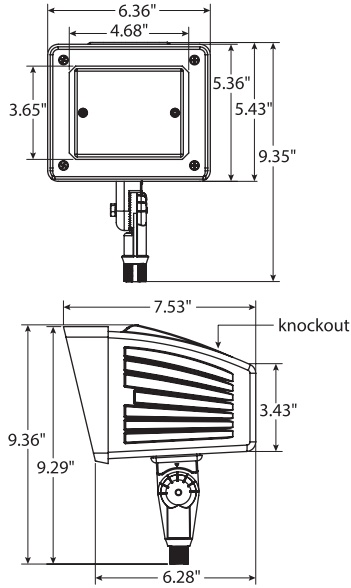
FIXED

UNIT	CRI	3000K CCT		4000K CCT		4500K CCT		5000K CCT		WATTAGE	REPLACES UP TO
		DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)		
Optic											
PFS22	70	1,978	93	1,978	93	1,978	93	2,194	103	21	100W MH
PFM43	70	4,010	97	4,010	97	4,010	97	4,343	105	41	175W MH
PFL2GH20L	70	20,200	142	21,338	150	21,338	150	21,534	152	142	400W MH
PFL2GH25L	70	24,840	138	26,240	147	26,240	147	26,480	148	181	1000W MH
PFXL2GH33L	70	31,190	143	32,849	150	32,849	150	33,408	153	219	1000W MH
PFXL2GH40L	70	37,020	139	38,989	147	38,989	147	39,653	149	266	1000W MH
PFXL2GH50L	70	47,390	132	49,910	141	49,910	141	50,760	142	359	1000W MH
Extra Wide											
PFSXW27	80	3,132	114	3,132	114	3,132	114	3,261	118	28	100W MH
PFMXW43	80	5,025	116	5,025	116	5,025	116	5,229	121	43	175W MH
PFMXW64	80	6,983	114	6,983	114	6,983	114	7,237	118	64	250W MH
PFL2GXW20L	70	20,540	144	20,540	144	20,540	144	21,750	153	142	400W MH
PFL2GXW25L	70	25,040	139	25,040	139	25,040	139	25,040	139	180	1000W MH
PFXL2GXW33L	70	33,210	151	33,210	151	33,210	151	33,210	151	220	1000W MH
PFXL2GXW40L	70	39,430	148	39,430	148	39,430	148	39,430	148	267	1000W MH
PFXL2GXW50L	70	50,130	141	50,130	141	50,130	141	50,130	141	357	1000W MH

DIMENSIONS

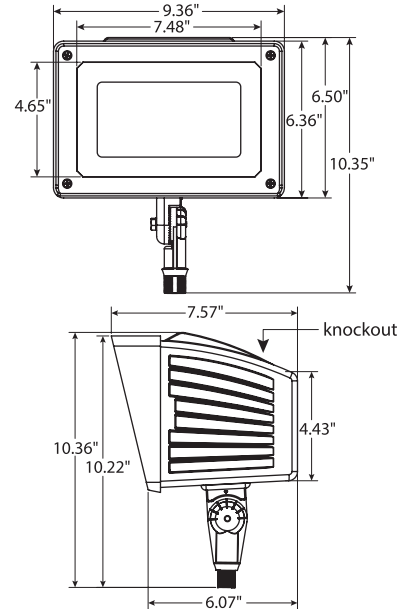
PFS

Weight: 7 lbs.
EPA: 0.33



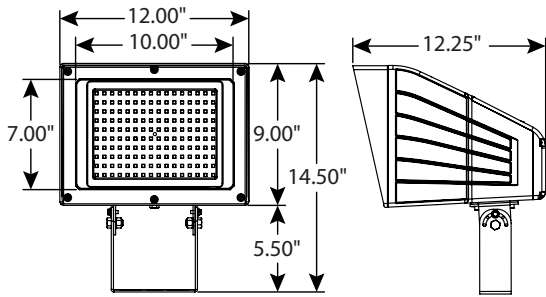
PFM

Weight: 10 lbs.
EPA: 0.47

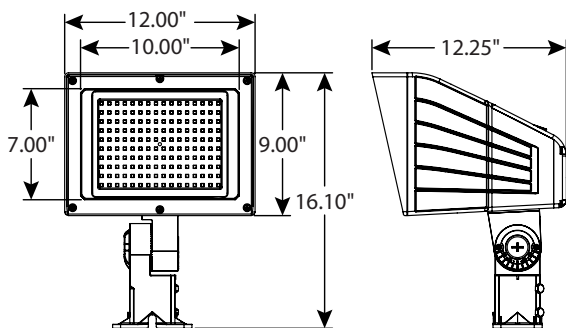


PFL2G

Weight: 26 lbs.
EPA: 1.00



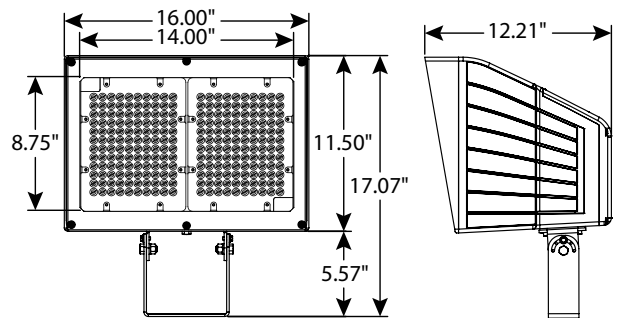
Weight: 27 lbs.



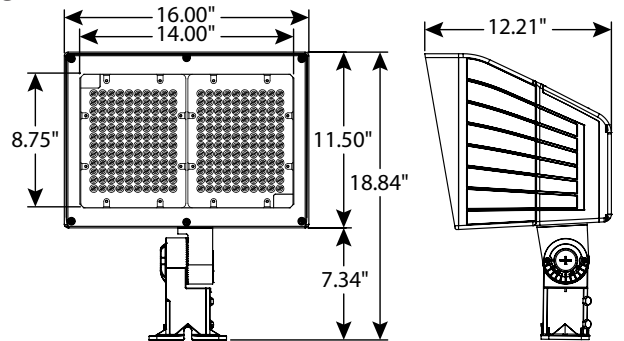
Predator Slipfitter Mount

PFXL2G

Weight: 44 lbs.
EPA: 1.29



Weight: 46 lbs.



Predator Slipfitter Mount



Flood Lights
Optic | Extra-Wide | Extreme

DLC PRODUCT INFORMATION

FIXED

UNIT	3000K CCT		4000K CCT		4500K CCT		5000K CCT	
	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION
Optic								
PFS22	n/a	n/a	PU6VKAK3	Standard	P0000053U	Standard	P550R0NT	Standard
PFM43	n/a	n/a	PU8IIKR4	Standard	P0000053V	Standard	PBE0VYUZ	Standard
PFL2GH20L	P9DPY9A8	Premium	PXYAN2V	Premium	PXVX6GOY	Premium	PPMF1TG3	Premium
PFL2GH25L	PAOZ3UX6	Standard	P9D3MG0T	Standard	P7DB3PMC	Standard	P45HS3BQ	Standard
PFXL2GH33L	P21MYCMQ	Standard	PPHKNRV6	Standard	PHA1Z49A	Standard	P53FHFVBV	Standard
PFXL2GH40L	P5FNN10Y	Standard	PL90OHII	Standard	PZ73ACRC	Standard	PEEKL7ES	Standard
PFXL2GH50L	PI5RM3HT	Standard	PTK83KDD	Standard	PJA8IFTB	Standard	PK9GAGSY	Standard
Extra Wide								
PFSXW27	PAYQD7J8	Standard	P94MDVWZ	Standard	P87AHLDJ	Standard	PT6Z0U5F	Premium
PFMXW43	P825UL5Y	Standard	PPGDYG1Y	Standard	P22PSA1E	Standard	PR4TUEWL	Premium
PFL2GXW20L	PJDFFSCH	Premium	PQ27J8OP	Premium	P8Y4OK29	Premium	PM79G31X	Premium
PFL2GXW25L	PWQYIBGY	Standard	P8L3DDB0	Standard	PKRX0DR9	Standard	PMARR9HA	Standard
PFXL2GXW33L	PUZUQSMG	Standard	PNOFAYZX	Standard	P72CGKXB	Standard	PYE73KJF	Standard
PFXL2GXW40L	PDRO14D5	Standard	PTQDRWWT	Standard	P0OBNMM	Standard	PPYNOR9N	Standard
PFXL2GXW50L	PWQYIBGY	Standard	P8L3DDB0	Standard	PKRX0DR9	Standard	PMARR9HA	Standard

LUMEN SELECTABLE

UNIT	3000K CCT		4000K CCT		4500K CCT		5000K CCT	
	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION
Optic								
PFXL2GXW50L	<i>coming soon</i>		<i>coming soon</i>		<i>coming soon</i>		<i>coming soon</i>	

FULLY SELECTABLE

UNIT	DLC Product ID	Classification
Extra Wide		
PFXL2GXWS26-50L	S-N289T1	Premium

VIPER Area/Site

VIPER LUMINAIRE

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY



SERVICE PROGRAMS



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

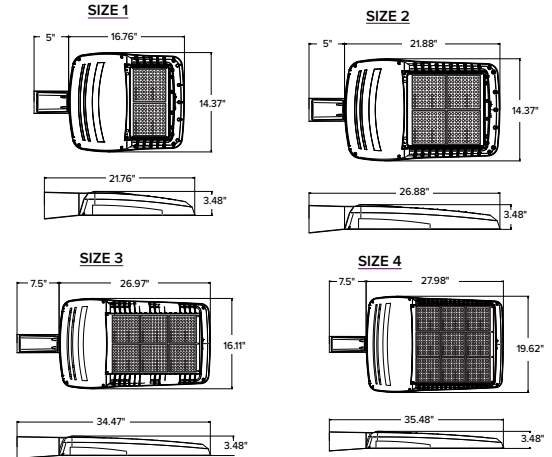
CONTROLS







- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

CONTROLS (CONTINUED)

- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

MICRO STRIKE | STRIKE OPTICS



	EPA				Config
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>).

WARRANTY

- 5 year warranty

VIPER Area/Site

VIPER LUMINAIRE

MICROSTRIKE OPTICS – ORDERING GUIDE

Gray Shading = Service Program Limit of 15 luminaires


Example: VP-2-320L-145-3K7-2-R-UNV-A3-BLT

CATALOG # _____

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	Micro Strike	1 Size 1	160L-35 ⁶ 5500 lumens 160L-50 ⁶ 7500 lumens 160L-75 10000 lumens 160L-100 12500 lumens 160L-115 15000 lumens 160L-135 18000 lumens 160L-160 21000 lumens 320L-145 21000 lumens 320L-170 24000 lumens 320L-185 27000 lumens 320L-210 30000 lumens 320L-235 33000 lumens 320L-255 36000 lumens 320L-315 ⁶ 40000 lumens 480L-285 40000 lumens 480L-320 44000 lumens 480L-340 48000 lumens 480L-390 52000 lumens 480L-425 55000 lumens 480L-470 60000 lumens 720L-435 60000 lumens 720L-475 65000 lumens 720L-515 70000 lumens 720L-565 ⁶ 75000 lumens 720L-600 ⁶ 80000 lumens CLO Custom Lumen Output ¹	AP AP-Amber Phosphor Converted 27K8 2700K, 80 CRI 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 35K8 3500K, 80 CRI 3K9 3000K, 90 CRI 4K7 4000K, 70 CRI 4K8 4000K, 80 CRI 4K9 4000K, 90 CRI 5K7 5000K, 70 CRI 5K8 5000K, 80 CRI	2 Type 2 3 Type 3 4F Type 4 Forward 4W Type 4 Wide 5QW Type 5 Square Wide	BLANK No Rotation L Optic rotation left R Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V
		2 Size 2					
		3 Size 3					
		4 Size 4					

Mounting	Color	Options	Network Control Options
A Arm mount for square pole/flat surface (B3 Drill Pattern) (Does not include round pole adapter) A_ Arm mount for round pole ² ASQU Universal arm mount for square pole. Can be used with B3 or S2 Drill Pattern A_U Universal arm mount for round pole ² AAU Adjustable arm for pole mounting (universal drill pattern) AA_U Adjustable arm mount for round pole ² ADU Decorative upswept Arm (universal drill pattern) AD_U Decorative upswept arm mount for round pole ² MAF Mast arm fitter for 2-3/8" OD horizontal arm K Knuckle T Trunnion WB Wall Bracket, horizontal tenon with MAF WM Wall mount bracket with decorative upswept arm WA Wall mount bracket with adjustable arm	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth LGT Light Grey Gloss Textured PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	F Fusing 2PF Dual Power Feed 2DR Dual Driver TE Toolless Entry BC Backlight Control ⁸ TB Terminal Block	NXWS16F NX Networked Wireless Enabled Integral NX SMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4} NXWS40F NX Networked Wireless Enabled Integral NX SMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4} NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{3,4} WIR LightGRID+ In-Fixture Module ^{3,4} WIRSC LightGRID+ Module and Occupancy Sensor ^{3,4} Stand Alone Sensors BTS-14F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens BTS-40F Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens BTSO-12F Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens 7PR 7-Pin Receptacle ⁴ 7PR-SC 7-Pin Receptacle with shorting cap ⁴ 3PR 3-Pin twist lock ⁴ 3PR-SC 3-Pin receptacle with shorting cap ⁴ 3PR-TL 3-Pin PCR with photocontrol ⁴ Programmed Controls SCP-_F Sensor Control Programmable, 8F or 40F ⁹ ADD AutoDim Timer Based Dimming ⁴ ADT AutoDim Time of Day Dimming ⁴ Photocontrols PC Button Photocontrol ^{4,7}

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information
 2 – Replace “_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole
 3 – Networked Controls cannot be combined with other control options
 4 – Not available with 2PF option
 5 – Not available with Dual Driver option

6 – Some voltage restrictions may apply when combined with controls
 7 – Not available with 480V
 8 – BC not available on 4F and type 5 distributions
 9 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

VIPER Area/Site

VIPER LUMINAIRE

STRIKE OPTIC – ORDERING GUIDE

Example: VP-ST-1-36L-39-3K7-2-UNV-A-BLT

CATALOG # _____

VP Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation	Voltage
VP Viper	ST Strike	1 Size 1	36L-39 ⁸ 5500 lumens 36L-55 ⁸ 7500 lumens 36L-85 10000 lumens 36L-105 12500 lumens 36L-120 14000 lumens	AM monochromatic amber, 595nm 27K8 2700K, 80 CRI 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 3K9 3000K, 90 CRI 35K8 3500K, 80 CRI 4K7 4000K, 70 CRI 4K8 4000K, 80 CRI 4K9 4000K, 90 CRI 5K7 5000K, 70 CRI 5K8 5000K, 80 CRI	FR Auto Front Row 2 Type 2 3 Type 3 4F Type 4 Forward 4W Type 4 Wide 5QN Type 5 Square Narrow 5QW Type 5 Square Wide 5QM Type 5 Square Medium 5W Type 5 Wide (Round) 5RW Type 5 Rectangular C Corner Optic TC Tennis Court Optic	BLANK No Rotation L Optic rotation left R Optic rotation right	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V
		2 Size 2	72L-115 15000 lumens 72L-145 18000 lumens 72L-180 21000 lumens 72L-210 24000 lumens 72L-240 27000 lumens				
		3 Size 3	108L-215 ⁸ 27000 lumens 108L-250 30000 lumens 108L-280 33000 lumens 108L-325 36000 lumens 108L-365 40000 lumens				
		4 Size 4	162L-320 40000 lumens 162L-365 ¹⁰ 44000 lumens 162L-405 48000 lumens 162L-445 52000 lumens 162L-485 55000 lumens 162L-545 ⁸ 60000 lumens CLO Custom Lumen Output ¹				

Mounting	
A	Arm mount for square pole/flat surface
A_	Arm mount for round pole ³
ASQU	Universal arm mount for square pole
A_U	Universal arm mount for round pole ³
AAU	Adjustable arm for pole mounting (universal drill pattern)
AA_U	Adjustable arm mount for round pole ³
ADU	Decorative upswept Arm (universal drill pattern)
AD_U	Decorative upswept arm mount for round pole ³
MAF	Mast arm fitter for 2-3/8" OD horizontal arm
K	Knuckle
T	Trunnion
WB	Wall Bracket, horizontal tenon with MAF
WM	Wall mount bracket with decorative upswept arm
WA	Wall mount bracket with adjustable arm

Color	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Bronze Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
LGT	Light Grey Gloss Textured
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color Option	
CC	Custom Color

Options	
F	Fusing
E	Battery Backup ^{1,2,7,8,9}
2PF	Dual Power Feed
2DR	Dual Driver
TE	Tooless Entry
BC	Backlight Control
TB	Terminal Block

Network Control Options	
NXWS16F	NX Networked Wireless Enabled Integral NXSM2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,4,5}
NXWS40F	NX Networked Wireless Enabled Integral NXSM2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,4,5}
NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{4,5}
WIR	LightGRID+ In-Fixture Module ^{4,5}
WIRSC	LightGRID+ Module and Occupancy Sensor ^{4,5}
Stand Alone Sensors	
BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming® Photocell and 360° Lens
BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
7PR	7-Pin Receptacle ⁴
7PR-SC	7-Pin Receptacle with shorting cap ⁴
3PR	3-Pin twist lock ⁴
3PR-SC	3-Pin receptacle with shorting cap ⁴
3PR-TL	3-Pin PCR with photocontrol ⁴
Programmed Controls	
SCP_F	Sensor Control Programmable, 8F or 40F ¹¹
ADD	AutoDim Timer Based Dimming ⁴
ADT	AutoDim Time of Day Dimming ⁴
Photocontrols	
PC	Button Photocontrol ^{4,7}

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information
 2 – Battery temperature rating -20C to 55C
 3 – Replace “_” with “3” for 3.5”-4.13” OD pole, “4” for 4.18”-5.25” OD pole, “5” for 5.5”-6.5” OD pole
 4 – Networked Controls cannot be combined with other control options
 5 – Not available with 2PF option
 6 – Not available with 480V
 7 – Not available with 347 or 480V
 8 – Not available with Dual Driver option

9 – Only available in Size 1 housing, up to 105 Watts
 10 – Some voltage restrictions may apply when combined with controls
 11 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

VIPER Area/Site

VIPER LUMINAIRE

ORDERING GUIDE (CONT'D)

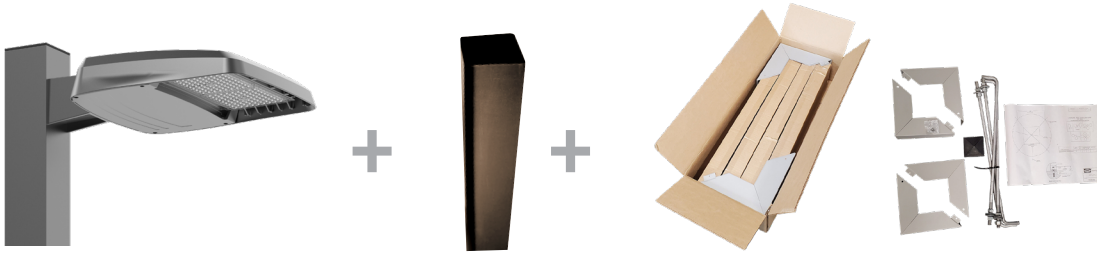
CATALOG # _____

Accessory Type	Size	Option	Color	Current Control Solutions — Accessories (Sold Separately)			
SHD Shield	1 Size 1	HSS-90-B House Side Shield 90° Back	BLS Black Gloss Smooth BLT Black Matte Textured DBS Dark Bronze Gloss Smooth DBT Dark Bronze Matte Textured GTT Graphite Matte Textured LGS Light Gray Gloss Smooth PSS Platinum Silver Smooth WHS White Gloss Smooth WHT White Matte Textured VGT Green Landscape Decorative LEG Legacy Colors	NX Lighting Controls <input type="checkbox"/> NXOFM-1R1D-UNV On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with NX Radio and Bluetooth® Radio, 120–480VAC LightGRID+ Lighting Control <input type="checkbox"/> WIR-RME-L On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with LightGRID+ Radio, 110–480VAC <input type="checkbox"/> SCP-REMOTE Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor For additional information related to these accessories please visit currentlighting.com/beacon . Options provided for use with integrated sensor, please view specification sheet ordering information table for details.			
	2 Size 2	HSS-90-F House Side Shield 90° Front					
	3 Size 3	HSS-90-S House Side Shield 90° Side					
	4 Size 4	HSS-270-BSS House Side Shield 270° Back/Side/Side					
		HSS-270-FSS House Side Shield 270° Front/Side/Side					
		HSS-270-FSB House Side Shield 270° Front/Side/Back					
		HSS-360 House Side Shield 360°					
	MTG Mounting				BC Back Light Control	Color Option CC Custom Color	
					A Arm Mount for square pole/flat surface		
					ASQU Universal Arm Mount for square pole		
		AAU Adjustable Arm for pole mounting					
		ADU Decorative upswept Arm					
		RPA Round Pole Adapter					
		MAF Mast Arm Fitter for 2-3/8" OD horizontal arm					
		K Knuckle					
		T Trunnion					
		WB Wall Bracket (compatible with universal arm mounts)					
Accessory Type	Option						
MSC Miscellaneous	BIRD SPK Bird Spike						

VIPER Area/Site

VIPER LUMINAIRE

VIPER POLE EXPRESS COMBO – ORDERING GUIDE



Catalog Number	Pole	Single or Double Head	Fixture	Lumens*	Wattage	Distribution	CCT/CRI	Mounting	Finish
VP-1-160-4K-3-LS-S20	20' Square Straight Steel	Single	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20	20' Square Straight Steel	Single	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25	25' Square Straight Steel	Single	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-4K-3-LS	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25	25' Square Straight Steel	Single	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-4K-4F-LS	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20	20' Square Straight Steel	Single	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20	20' Square Straight Steel	Single	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20-2X	20' Square Straight Steel	Double	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25	25' Square Straight Steel	Single	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-5K-3-LS	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25	25' Square Straight Steel	Single	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25-2X	25' Square Straight Steel	Double	VP-1-160-5K-4F-LS	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured

VIPER POLE EXPRESS COMBO – STOCK LUMINAIRE SKUS

Catalog Number	Lumens	LPW	Distribution	Wattage	CCT/CRI	Voltage	Mounting	Finish
VP-1-160-4K-3-LS	19584	123.9	3	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-4K-4F-LS	19426	122.9	4F	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-3-LS	19499	123.4	3	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-4F-LS	19186	121.4	4F	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured

VIPER POLE EXPRESS COMBO – ACCESSORIES











Catalog Number	Description
VM14DB	Vibration Dampener, mounts to top of pole for reduced vibration



VIPER Area/Site

VIPER LUMINAIRE

OUTDOOR LIGHTING CONTROLS OPTIONS CONTROLS FUNCTIONALITY LIGHT GRID⁺

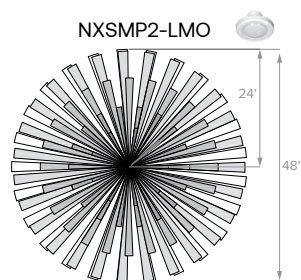
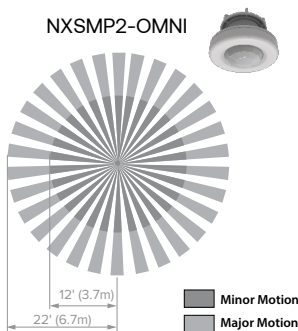
Control Option Ordering Logic & Description	Control Option Functionality										Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
NX Wireless NXOFMIRID-UNV NX 7-Pin Twist-Lock® with NX Networked Wireless Radio, Integral Automatic Dimming Photocell, Integral Single Pole Relay with Dimming, and Bluetooth Programming	✓	✓	✓	Paired with external control	✓	✓	✓	✓	-		NXOFM-IRID-UV
NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor	✓	✓	✓	-	-	✓	✓	✓	-		NXRM2-H
NXWS12F NX Networked Wireless Enabled Integral NXSMP2-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	12ft		NXSMP2-OMNI-O
NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	16ft		NXSMP2-LMO
NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	40ft		NXSMP2-HMO
LightGRID+ WIR LightGRID+ In-Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-		WIR
WIR-RME-L LightGRID+ On Fixture Module	✓	-	✓	-	-	✓	✓	Gateway	-		WIR-RME-L
WIRSC LightGRID+ Module and Occupancy Sensor	✓	✓	✓	✓	✓	✓	✓	Gateway	14ft - 40ft		BTMSP
Independent BTSO-12F Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	12ft		BTSMP-OMNI-O
BTS-14F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	14ft		BTSMP-LMO
BTS-40F Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	40ft		BTSMP-HMO

DEFAULT SETTINGS

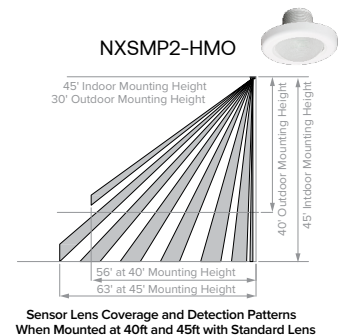
NX Wireless	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	On
	*Passcode Factory Passcode: HubbN3T!	Enabled

Stand Alone	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	50%
	Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS



Sensor Lens Coverage and Detection Patterns When Mounted at 8ft with Low Mount Lens



VIPER Area/Site

VIPER LUMINAIRE

NX LIGHTING CONTROLS FREE APP

CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&q=US



Apple App

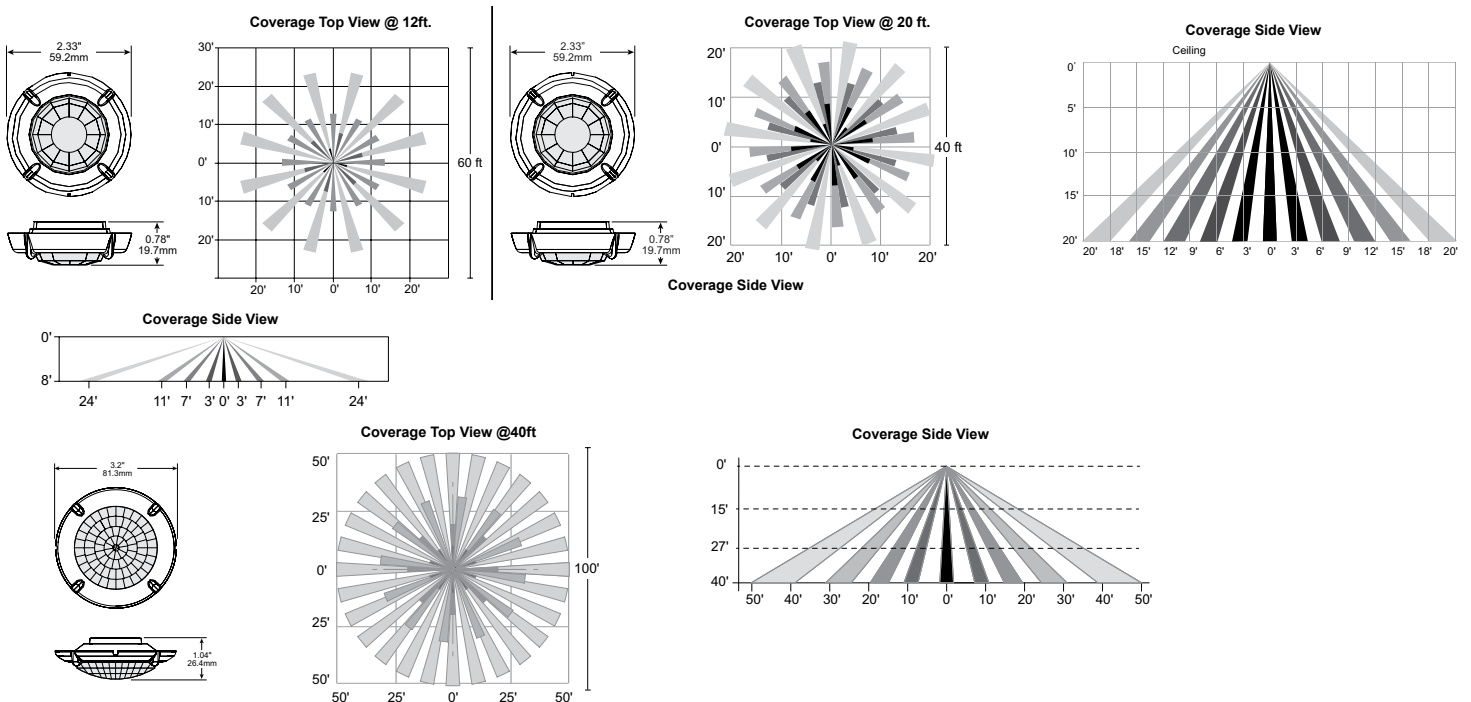


Google Play

OUTDOOR LIGHTING CONTROLS OPTIONS CONTROLS FUNCTIONALITY

Control Option Ordering Logic & Description	Control Option Functionality										Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
SCP_F Sensor Control Programmable, 8F or 40F	-	-	-	✓	✓	✓	✓	-	8ft or 40ft	SCP_F	
ADD AutoDIM Timer Based Dimming	-	-	✓	-	-	-	✓	-	-	ADD	
ADT AutoDIM Time of Day Dimming	-	-	✓	-	-	-	✓	-	-	ADT	
7PR 7-Pin Receptacle	-	-	Paired with external control	-	Paired with external control	-	Paired with external control	-	-	7PR	
7PR-SC 7-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-	7PR-SC	
3PR 3-Pin twist lock	-	-	-	-	-	-	Paired with external control	-	-	3PR	
3PR-SC 3-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-	3PR-SC	
3PR-TL 3-Pin with photocontrol	-	-	-	-	✓	-	✓	-	-	3PR-TL	

COVERAGE PATTERNS FOR SCP_F



VIPER Area/Site

VIPER LUMINAIRE

PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6 - Delay 6 hours
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50% brightness
Auto-Dim Return	Delay 0-9 Hours	R6 - Return to full output after 6 hours

ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6 - Dim at 6PM
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50%
Auto-Dim Return	12-6 AM and 9-11P	R6 - Return to full output at 6AM

DELIVERED LUMENS

For delivered lumens, please see Lumens Data PDF on www.Currentlighting.com

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	0	25,000	*TM-21-11 36,000	50,000	100,000	Calculated L ₇₀ (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier	Micro Strike Lumen Multiplier				Strike Lumen Multiplier			
CCT	Temp		CCT	70 CRI	80 CRI	90 CRI	CCT	70 CRI	80 CRI	90 CRI
0°C	32°F	1.03	2700K	-	0.841	-	2700K	0.9	0.81	0.62
10°C	50°F	1.01	3000K	0.977	0.861	0.647	3000K	0.933	0.853	0.659
20°C	68°F	1.00	3500K	-	0.900	-	3500K	0.959	0.894	0.711
25°C	77°F	1.00	4000K	1	0.926	0.699	4000K	1	0.9	0.732
30°C	86°F	0.99	5000K	1	0.937	0.791	5000K	1	0.9	0.732
40°C	104°F	0.98	AP-Amber Phosphor Converted Multiplier				Monochromatic Amber Multiplier			
			Amber	0.710			Amber	See Amber Spec Sheet		

VIPER Area/Site

VIPER LUMINAIRE

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ELECTRICAL DATA: MICRO STRIKE

# OF LEDS	160						
NOMINAL WATTAGE	35	50	75	100	115	135	160
SYSTEM POWER (W)	34.9	50.5	72.1	97.2	111.9	132.2	157.8
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	0.29	0.42	0.63	0.83	0.96	1.13	1.33
208	0.17	0.24	0.36	0.48	0.55	0.65	0.77
240	0.15	0.21	0.31	0.42	0.48	0.56	0.67
277	0.13	0.18	0.27	0.36	0.42	0.49	0.58
347	0.10	0.14	0.22	0.29	0.33	0.39	0.46
480	0.07	0.10	0.16	0.21	0.24	0.28	0.33

# OF LEDS	320						
NOMINAL WATTAGE	145	170	185	210	235	255	315
SYSTEM POWER (W)	150	166.8	185.7	216.2	240.9	261.5	312
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	1.21	1.42	1.54	1.75	1.96	2.13	2.63
208	0.70	0.82	0.89	1.01	1.13	1.23	1.51
240	0.60	0.71	0.77	0.88	0.98	1.06	1.31
277	0.52	0.61	0.67	0.76	0.85	0.92	1.14
347	0.42	0.49	0.53	0.61	0.68	0.73	0.91
480	0.30	0.35	0.39	0.44	0.49	0.53	0.66

# OF LEDS	480					
NOMINAL WATTAGE	285	320	340	390	425	470
SYSTEM POWER (W)	286.2	316.7	338.4	392.2	423.2	468
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.38	2.67	2.83	3.25	3.54	3.92
208	1.37	1.54	1.63	1.88	2.04	2.26
240	1.19	1.33	1.42	1.63	1.77	1.96
277	1.03	1.16	1.23	1.41	1.53	1.70
347	0.82	0.92	0.98	1.12	1.22	1.35
480	0.59	0.67	0.71	0.81	0.89	0.98

# OF LEDS	720				
NOMINAL WATTAGE	435	475	515	565	600
SYSTEM POWER (W)	429.3	475	519.1	565.2	599.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	3.63	3.96	4.29	4.71	5.00
208	2.09	2.28	2.48	2.72	2.88
240	1.81	1.98	2.15	2.35	2.50
277	1.57	1.71	1.86	2.04	2.17
347	1.25	1.37	1.48	1.63	1.73
480	0.91	0.99	1.07	1.18	1.25

VIPER Area/Site

VIPER LUMINAIRE

ELECTRICAL DATA: STRIKE

# OF LEDS	36				
NOMINAL WATTAGE	39	55	85	105	120
SYSTEM POWER (W)	39.6	56.8	83.6	108.2	120.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	0.33	0.46	0.71	0.88	0.96
208	0.19	0.26	0.41	0.50	0.55
240	0.16	0.23	0.35	0.44	0.48
277	0.14	0.20	0.31	0.38	0.42
347	0.11	0.16	0.24	0.30	0.33
480	0.08	0.11	0.18	0.22	0.24

# OF LEDS	72				
NOMINAL WATTAGE	115	145	180	210	240
SYSTEM POWER (W)	113.7	143.2	179.4	210.2	241.7
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	1.00	1.21	1.50	1.75	1.79
208	0.58	0.70	0.87	1.01	1.03
240	0.50	0.60	0.75	0.88	0.90
277	0.43	0.52	0.65	0.76	0.78
347	0.35	0.42	0.52	0.61	0.62
480	0.25	0.30	0.38	0.44	0.45

# OF LEDS	108				
NOMINAL WATTAGE	215	250	280	325	365
SYSTEM POWER (W)	214.8	250.8	278.3	324.7	362.6
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	2.00	2.08	2.33	3.04	2.67
208	1.15	1.20	1.35	1.75	1.54
240	1.00	1.04	1.17	1.52	1.33
277	0.87	0.90	1.01	1.32	1.16
347	0.69	0.72	0.81	1.05	0.92
480	0.50	0.52	0.58	0.76	0.67

# OF LEDS	162					
NOMINAL WATTAGE	320	365	405	445	485	545
SYSTEM POWER (W)	322.1	362.6	403.6	445.1	487.1	543.9
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.71	2.67	3.38	3.71	4.04	4.54
208	1.56	1.54	1.95	2.14	2.33	2.62
240	1.35	1.33	1.69	1.85	2.02	2.27
277	1.17	1.16	1.46	1.61	1.75	1.97
347	0.94	0.92	1.17	1.28	1.40	1.57
480	0.68	0.67	0.84	0.93	1.01	1.14

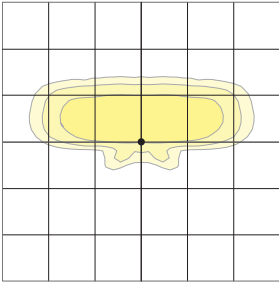
VIPER Area/Site

VIPER LUMINAIRE

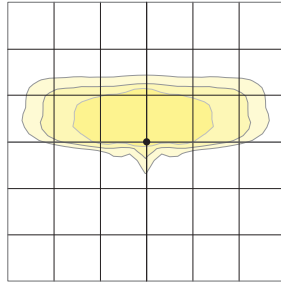
MICRO STRIKE PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

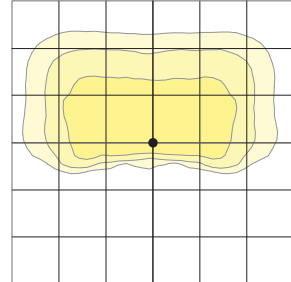
Type 2



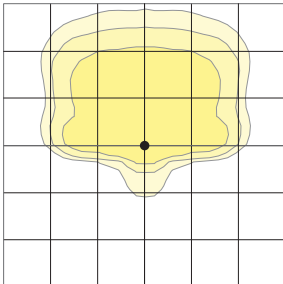
Type 3



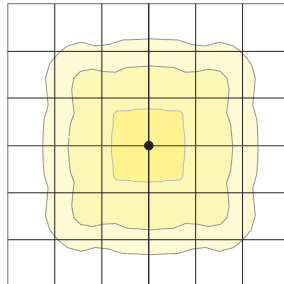
Type 4 Wide



Type 4F



Type 5QW



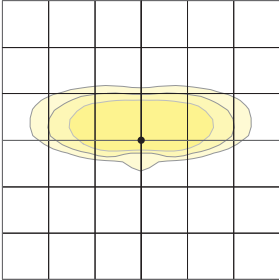
VIPER Area/Site

VIPER LUMINAIRE

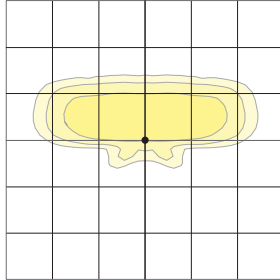
OPTIC STRIKE PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

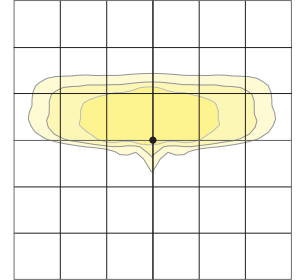
Type FR – Front Row/Auto Optic



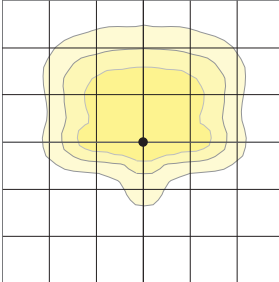
Type 2



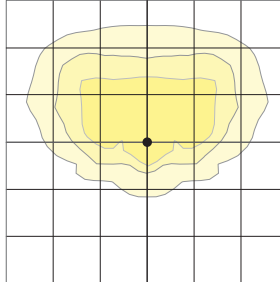
Type 3



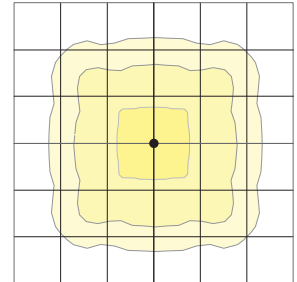
Type 4 Forward



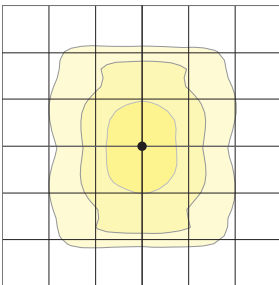
Type 4 Wide



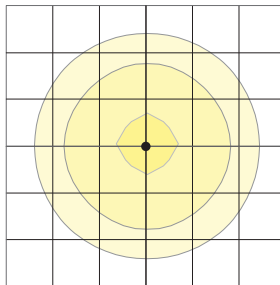
Type 5QM



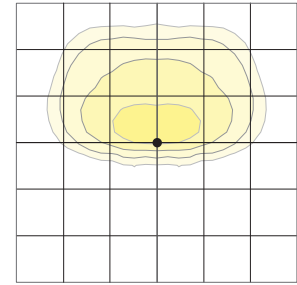
Type 5RW (rectangular)



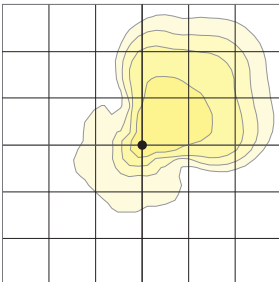
Type 5W (round wide)



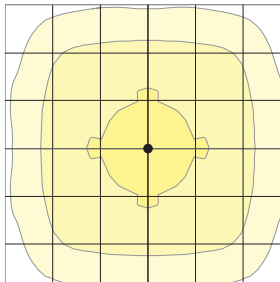
Type TC



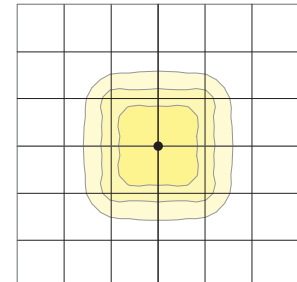
Type Corner



Type 5QW



Type 5QN

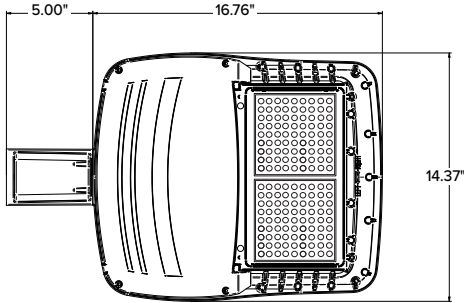


VIPER Area/Site

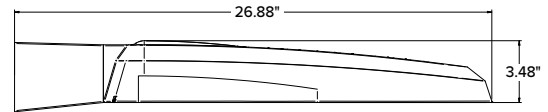
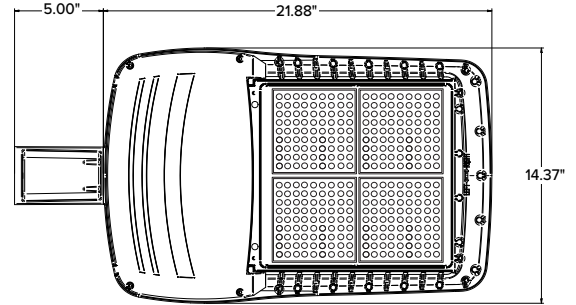
VIPER LUMINAIRE

DIMENSIONS

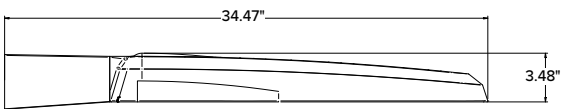
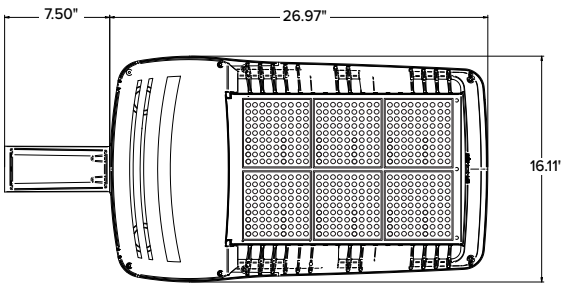
SIZE 1



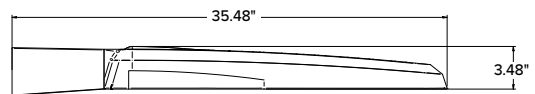
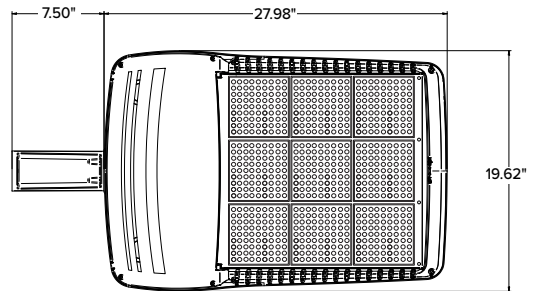
SIZE 2









SIZE 3



SIZE 4



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

	Weight	
	lbs	kgs
VP1 (Size 1)	13.7	6.2
VP2 (Size 2)	16.0	7.26
VP3 (Size 3)	25.9	11.7
VP4 (Size 4)	30.8	13.9

VIPER Area/Site

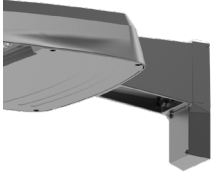
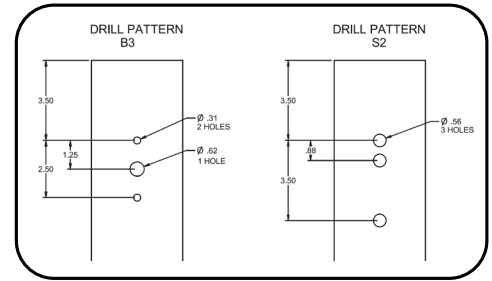
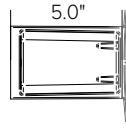
VIPER LUMINAIRE

MOUNTING



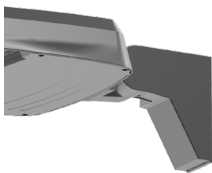
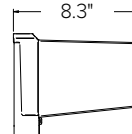
A-STRAIGHT ARM MOUNT

Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern for ease of installation on square poles. For round poles add applicable suffix (2/3/4/5)



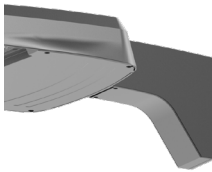
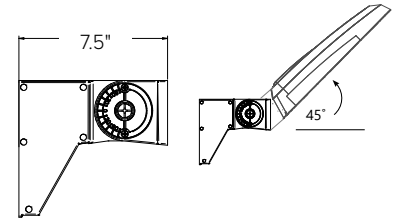
ASQU-UNIVERSAL ARM MOUNT

Universal mounting block for ease of installation. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)



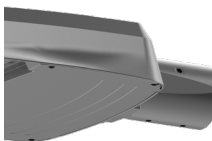
AAU-ADJUSTABLE ARM FOR POLE MOUNTING

Rotatable arm mounts directly to pole. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2 and B3. For round poles add applicable suffix (2/3/4/5). Rotatable in 5° aiming angle increments. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



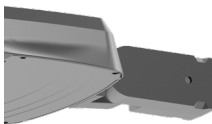
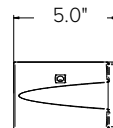
ADU-DECORATIVE UPSWEPT ARM

Upswept Arm compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5).



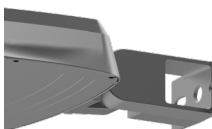
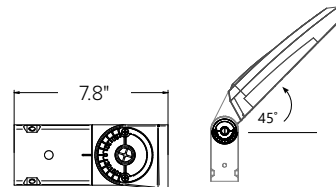
MAF-MAST ARM FITTER

Fits 2-3/8" OD horizontal tenons.



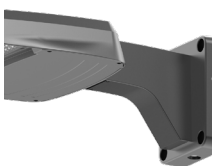
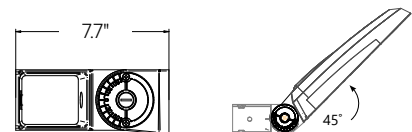
K-KNUCKLE

Rotatable in 5-degree aiming angle increments, fits 2-3/8" tenons or pipes. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



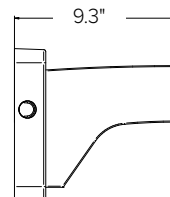
T-TRUNNION

Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



WM-WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.



VIPER Area/Site

VIPER LUMINAIRE

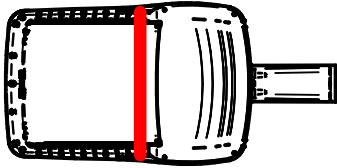
ADDITIONAL INFORMATION (CONTINUED)

HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

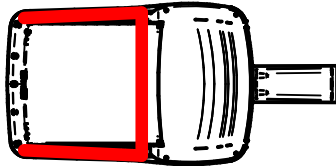
HSS has a depth of 5" for all Viper sizes

Not to be used with Occupancy Sensors as the shield may block the light to the sensor.

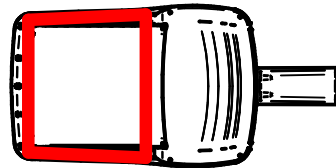
VPR2x HSS-90-B-xx



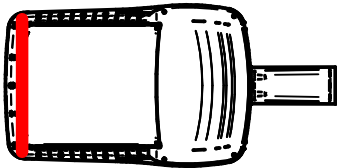
VPR2x HSS-270-BSS-xx



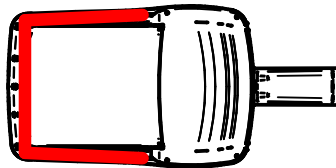
VPR2x HSS-360-xx



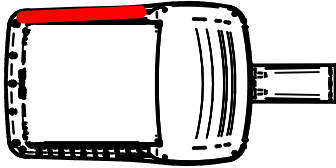
VPR2x HSS-90-F-xx



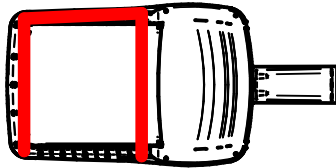
VPR2x HSS-270-FSS-xx



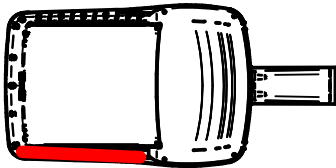
VPR2x HSS-90-S-xx



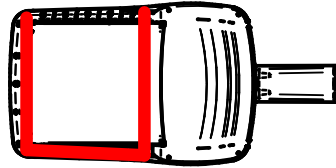
VPR2x HSS-270-FSB-xx



VPR2x HSS-90-S-xx



VPR2x HSS-270-FSB-xx





TO: Planning and Zoning Commission
DATE: October 29, 2024
APPLICANT: Chris Lewis; *Kimley-Horn and Associates, Inc.*
CASE NUMBER: SP2024-045; *Amended Site Plan for 1351 Corporate Crossing (SCP Distribution Center)*

On September 14, 2021, the Planning and Zoning Commission approved a site plan [Case No. SP2021-024] to allow the construction of a 301,120 SF Warehouse/Distribution Center on the subject property. Following the construction of the Warehouse/Distribution Center, the Planning and Zoning Commission approved two (2) amended site plans, [1] [Case No. SP2023-006] to allow ~78,500 SF (~10% of the total impervious area) of outside storage and eight (8) silos, and [2] [Case No. SP2024-027] to allow ~48,000 SF (~6.10% of the total impervious area) of outside storage and four (4) silos on the subject property. This equates to a total of 12 silos and ~126,500 SF (~16.10% of the total impervious area) of outside storage. In February 2023 a fence permit [Permit No. COM2024-598] was submit to the Building Inspection Department requesting to construct an eight (8) foot wrought iron fence for outside storage. Staff informed the applicant that the proposed outside storage was not delineated on the approved site plan and an amended site plan would be required. Based on staff's comment, on May 17, 2024 the applicant submitted a development application requesting approval of an *Amended Site Plan* to allow a 60-foot by 80-foot (*i.e.* 4,800 SF) outside storage area. Due to visibility concerns that the Planning and Zoning Commission expressed, this request was ultimately withdrawn by the applicant in order to explore other screening options. Following this, on October 18, 2024, the applicant submitted a new amended site plan application.



FIGURE 1. APPROXIMATE LOCATION AND VISIBILITY OF THE PROPOSED OUTSIDE STORAGE AREA FROM CORPORATE CROSSING.

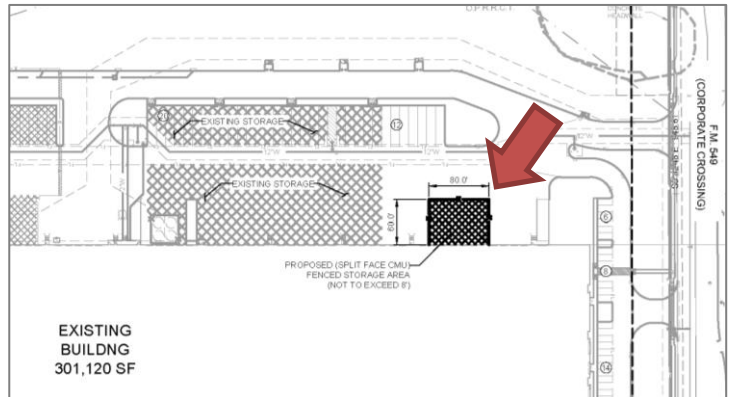


FIGURE 2. SITE PLAN SHOWING THE LOCATION OF THE PROPOSED OUTSIDE STORAGE AREA.

According to Subsection 01.05(E), *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)outside storage of materials or vehicles shall be screened from all public streets, any residential zoning district or residentially used property, and parks and open space that abuts or is directly across a public street or alley from the subject property." In addition, Subsection 01.05(E) states that the associated screening "...must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (*excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission*) and Canopy Trees on 20-foot centers..."; however, the Planning and Zoning Commission may approve alternative landscape screening methods. In this case, the applicant is requesting to screen a 60-foot by 80-foot (*i.e.* 4,800 SF) outside storage area, with an eight (8) foot split face CMU screening wall, without canopy trees on 20-foot centers. Based on this, the applicant is requesting an exception to this requirement. In addition, the applicant has indicated that the "...outside storage area will consist of palletized crates of

stone, pavers, bagged sand, PVC pipe (3" or less), and pre-cast concrete equipment pads. There will be no chemicals stored in the yard." If approved this would increase the outside storage on the subject property to ~131,300 SF (~16.71% of the total impervious area).

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, the applicant is not providing any compensatory measures to offset the requested exception to the outside storage screening requirements. With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception. If the Planning and Zoning Commission chooses to approve the applicant's Amended Site Plan to allow outside storage on the *subject property* as delineated on the site plan, then staff would propose the following conditions of approval:

- (1) All outside storage may not exceed eight (8) feet in total height and/or extend above the eight (8) foot split face CMU wall; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the October 29, 2024 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)¹

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1351 Corporate Crossing Rockwall, TX 75032

SUBDIVISION Platted - John Lockhard Survey Abstract No. 134 LOT 1 BLOCK A

GENERAL LOCATION West of intersection of Corporate Crossing and Capital Blvd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI CURRENT USE Ware House

PROPOSED ZONING PROPOSED USE Warehouse

ACREAGE 43.237 AC LOTS [CURRENT] 1 LOTS [PROPOSED] N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Westcore Bravo Rockwall, LLC

APPLICANT Kimley-Horn and Associates, Inc.

CONTACT PERSON Matthew Bateman

CONTACT PERSON Chris Lewis

ADDRESS 4350 La Jolla Village Drive, Suite 900

ADDRESS 2600 N Central Expressway
Suite 400

CITY, STATE & ZIP San Diego, CA 92122

CITY, STATE & ZIP Richardson, Texas 75080

PHONE (858) 625-4100

PHONE (469) 445-2780

E-MAIL mbateman@westcore.net

E-MAIL chris.lewis@kimley-horn.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____

**Development Application
City of Rockwall
Planning & Zoning Department**

WESTCORE BRAVO ROCKWALL, LLC
a Delaware limited liability company

By: Westcore Management I, LLC.
a Delaware limited liability company,
as Agent for Owner

By: _____

Name: Matthew Bateman

Title: Authorized Signatory

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

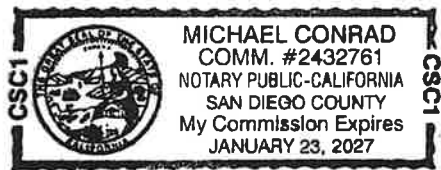
CALIFORNIA JURAT

State of California)
County of San Diego)

Subscribed and sworn to (or affirmed) before me on this 21 day
of Oct., 2024, by Matthew Bateman

proved to me on the basis of satisfactory evidence to be the person(s)
who appeared before me.

Signature [Handwritten Signature]



(Seal)

OPTIONAL INFORMATION

Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this jurat to an unauthorized document and may prove useful to persons relying on the attached document.

Description of Attached Document

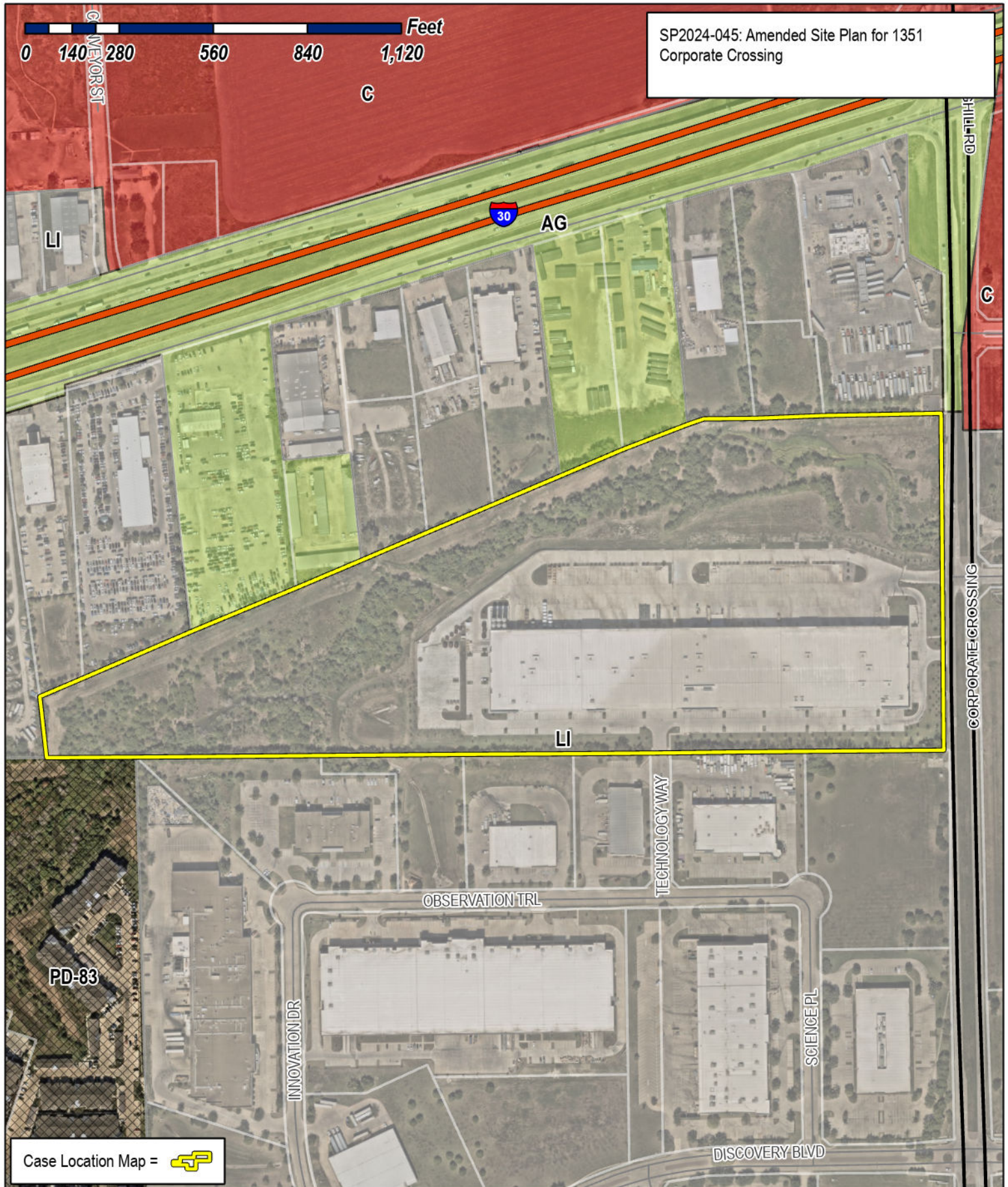
This certificate is attached to a document titled/for the purpose of

containing _____ pages, and dated _____.

Additional Information	
Method of Affiant Identification	
Proved to me on the basis of satisfactory evidence: <input type="radio"/> form(s) of identification <input type="radio"/> credible witness(es)	
Notarial event is detailed in notary journal on: Page # _____ Entry # _____	
Notary contact: _____	
Other	
<input type="checkbox"/> Affiant(s) Thumbprint(s)	<input type="checkbox"/> Describe: _____



SP2024-045: Amended Site Plan for 1351 Corporate Crossing



Case Location Map =



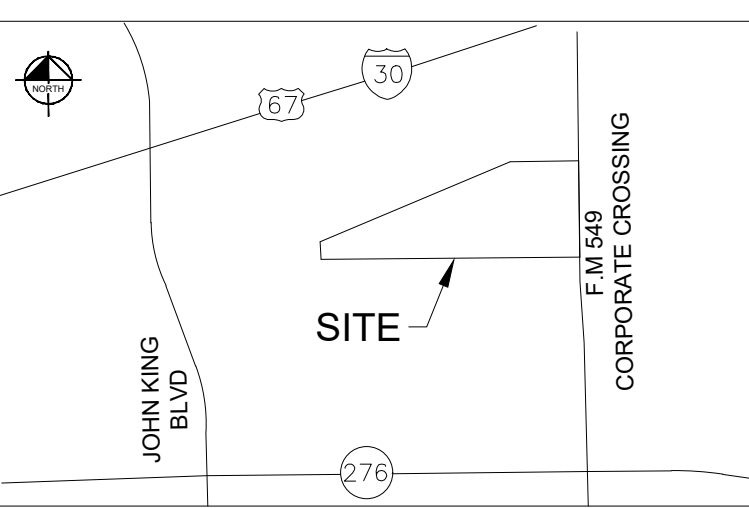
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VICINITY MAP N.T.S.

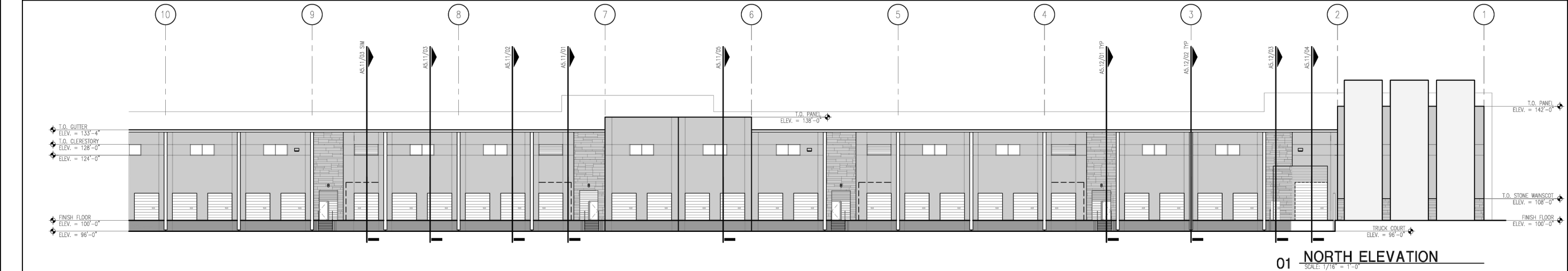
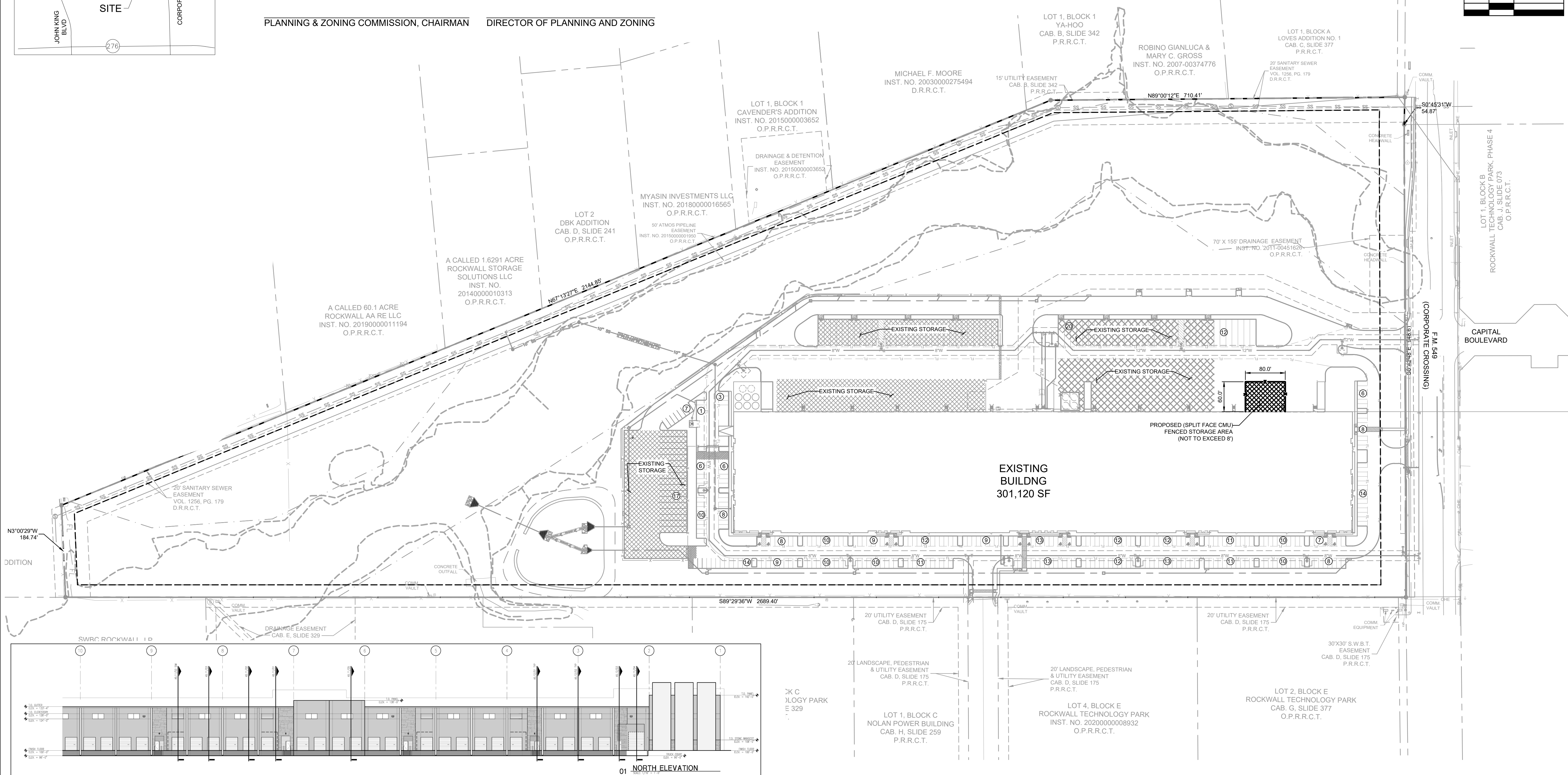
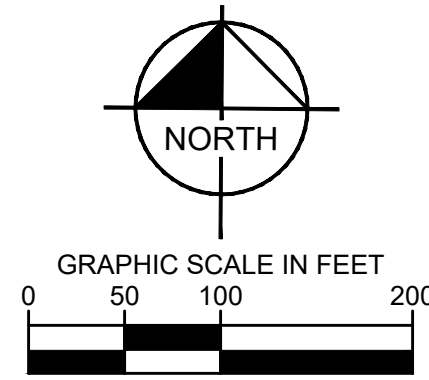


SITE PLAN SIGNATURE BLOCK

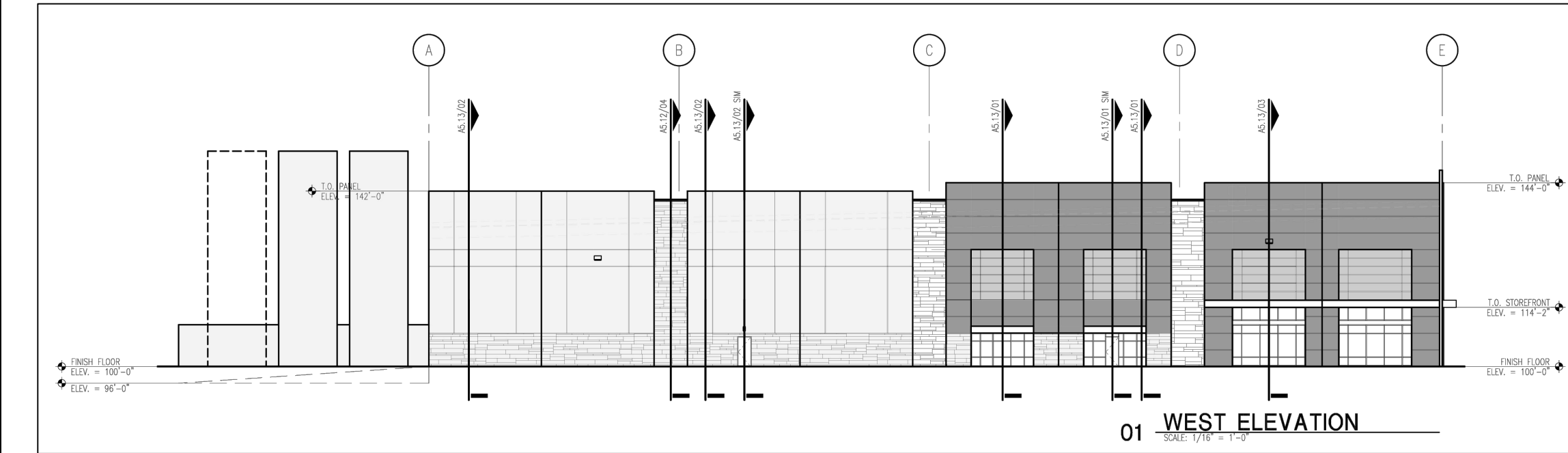
APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



NOTE: THE INSIDE OF THE PARAPETS WILL MATCH THE EXTERIOR FACING FACADE.



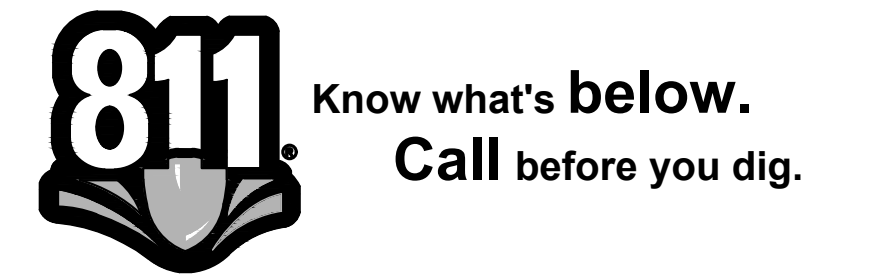
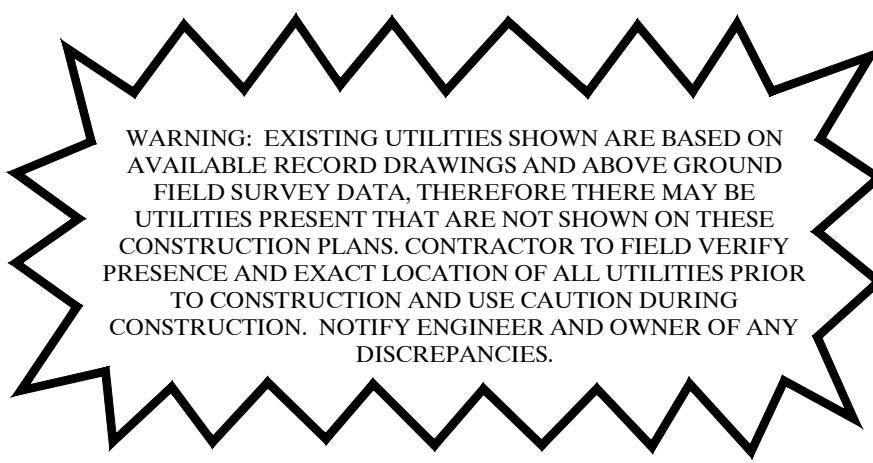
NOTE: ELEVATIONS PROVIDED ARE FROM THE PREVIOUSLY APPROVED SITE PLAN AND ARE FOR REFERENCE ONLY. NO ELEVATION IMPROVEMENTS ARE PROPOSED.

LEGEND	
PROPERTY LINE	---
PROPOSED FIRE LANE	-FL- FL
BUILDING SETBACK	---
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
PROPOSED WATER LINE	-W- W
PROPOSED SANITARY SEWER LINE	-SS- SS
PROPOSED SECURITY FENCE	-X- X
EXISTING FENCE LINE	-X- X
EXISTING WATER LINE	-W- W
EXISTING SANITARY SEWER LINE	-SS- SS
EXISTING STORM DRAIN LINE	---
EXISTING OVERHEAD ELECTRIC LINE	-OHE- OHE
EXISTING UNDERGROUND ELECTRIC LINE	-UGE- UGE
PROPOSED SILO	○
FUTURE SILO	○

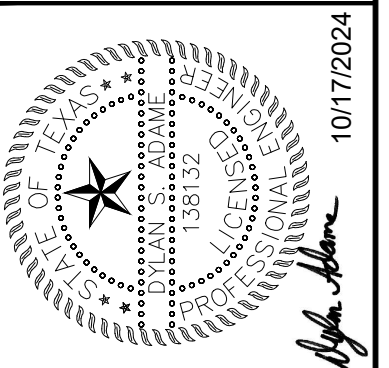
HATCH LEGEND	
EXISTING STORAGE AREA	[Hatched Pattern]
PROPOSED STORAGE AREA	[Hatched Pattern]

SITE SUMMARY TABLE	
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	WAREHOUSE
PROPOSED TOTAL BUILDING AREA	301,120 SF
TOTAL LAND AREA	1,887,324 SF/43.3 AC
BUILDING COVERAGE	16%
PROPOSED AUTO PARKING	302
REQUIRED AUTO PARKING	302
PHASE I TRUCK PARKING	78
PROPOSED ACCESSIBLE PARKING	12
REQUIRED ACCESSIBLE PARKING	8

NOTES
1. THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PERFORMED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.



Kimley Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-8820
WWW.KIMLEY-HORN.COM TX F-328
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.



KHA PROJECT	068213100
DATE	OCTOBER 2024
SCALE	AS SHOWN
DESIGNED BY	CALL
DRAWN BY	CALL
CHECKED BY	DSA

STREAM ROCKWALL - 2
PREPARED FOR
WESTCORE BRAVO, LLC
ROCKWALL, TEXAS

SITE PLAN
SHEET NUMBER
SP-1

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: Z2024-049
PROJECT NAME: SUP for Home2Suites
SITE ADDRESS/LOCATIONS: 3005 FIT SPORT LIFE BLVD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	10/23/2024	Approved w/ Comments

10/23/2024: Z2024-049; Specific Use Permit (SUP) for Home2Suites
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.915-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, and generally located east of the intersection of FM-549 and Fit Sport Life Boulevard

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2024-049) in the lower right-hand corner of all pages on future submittals.

I.4 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), a Residence Hotel requires a Specific Use Permit (SUP) in a Commercial (C) District.

I.5 According to Subsection 02.02, Land Uses Definitions, of Article 13, of the Unified Development Code (UDC), a Residence Hotel is defined as: “(a) hybrid lodging establishment that combines the elements of traditional hotels with long-term residential accommodations. Residence hotels typically offer full furnished, apartment style units equipped with kitchens or kitchenettes, living areas, and separate bedrooms, providing guests with a home-like environment during their stay. These establishments cater to both short-term and extended-stay guests, offering flexible accommodations for travelers, corporate clients, and individuals in need of temporary housing solutions. Residence hotels often provide additional amenities such as housekeeping services, on-site laundry facilities, fitness centers, business centers, and communal spaces to enhance the guest experience.”

I.6 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

(1) The development of this property shall generally conform to the Concept Plan depicted in Exhibit ‘B’ of the Specific Use Permit (SUP) ordinance for the development of a Residence Hotel.

(2) The development of the subject property shall generally conform to the Building Elevations depicted in Exhibit ‘C’ of the Specific Use Permit (SUP) ordinance; however, these elevations shall be subject to the General Overlay District Standards as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC) and

review and recommendation by the Architecture Review Board (ARB) prior to approval by the Planning and Zoning Commission at the time of site plan. In addition, the approval of this Specific Use Permit (SUP) shall not constitute the approval of a variance or exception to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the Residence Hotel.

(3) The maximum overall height of the building shall not exceed four (4)-stories or 60-feet.

M.7 Please update the letter of explanation as the concept of this hotel aligns more with the definition of a Residence Hotel as outlined in Article 13, Definitions, of the Unified Development Code (UDC).

M.8 Please note that the building elevations will be subject to review and recommendation by the Architecture Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process. The Building Elevations will also be subject to the requirements of the FM-549 Overlay (FM-549 OV) District and the General Overlay District Standards, and any variances or exceptions will be reviewed at the time of site plan.

M.9 Please review the attached Draft Ordinance prior to the October 29, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 5, 2024. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 29, 2024.

I.11 The projected City Council meeting dates for this case will be November 18, 2024 (1st Reading) and December 2, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved w/ Comments

- 10/23/2024:
1. Fire lane/driveway approach will need to have a 30' radius due to height of the building.
 2. Fire hydrant needs 5' clearance from all parking spaces/curbs.
 3. Curb inlets may not be on the side of parking stalls. Shift to front of stall.
 4. No grate inlets allowed.
 5. Ensure water and storm are 10' apart. Please show a dimension.
 6. Review City's minimum length of dumpster pad.
 7. Must drain to oil/water separator.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- The site will need to be platted.
- All utilities must be underground.
- A TIA will be required.
- Additional comments may be provided at the time of Site Plan.

Drainage Items:

- Modifications to existing detention system will be required. Drainage study will be required to identify what improvements are required.
- The site will need to be routed to existing Detention Pond 2 (REDC pond to the south of property) to match the approved Fit Sport Life drainage plans after detention analysis.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No vertical walls allowed in detention or drainage easements.
- No public water or sanitary sewer allowed in detention or drainage easements.
- FFE for all buildings must be called out when adjacent to a detention system or drainage swale. FEE must be a minimum 2' above the 100-year WSEL for the detention system and drainage swale.
- Grate inlets are not allowed.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

Water and Wastewater Items:

- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- There is an existing 8" sewer stub available for use along Fit Sport Life Blvd.
- Any public water lines must be a minimum of 8", looped, and must be centered within a 20' wide easement.
- There is an existing 12" water main available for use along Fit Sport Life Blvd.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Infrastructure study required to assess down stream system. Any improvements identified in the study must be installed by the developer.
- Show FDC location.
- Sewer pro-rata of \$2,773.07/acre

Roadway Paving Items:

- Must meet City driveway spacing requirements.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to be 24' wide and in a platted easement.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Will require fire lane and access easement from adjacent property

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/24/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Approved

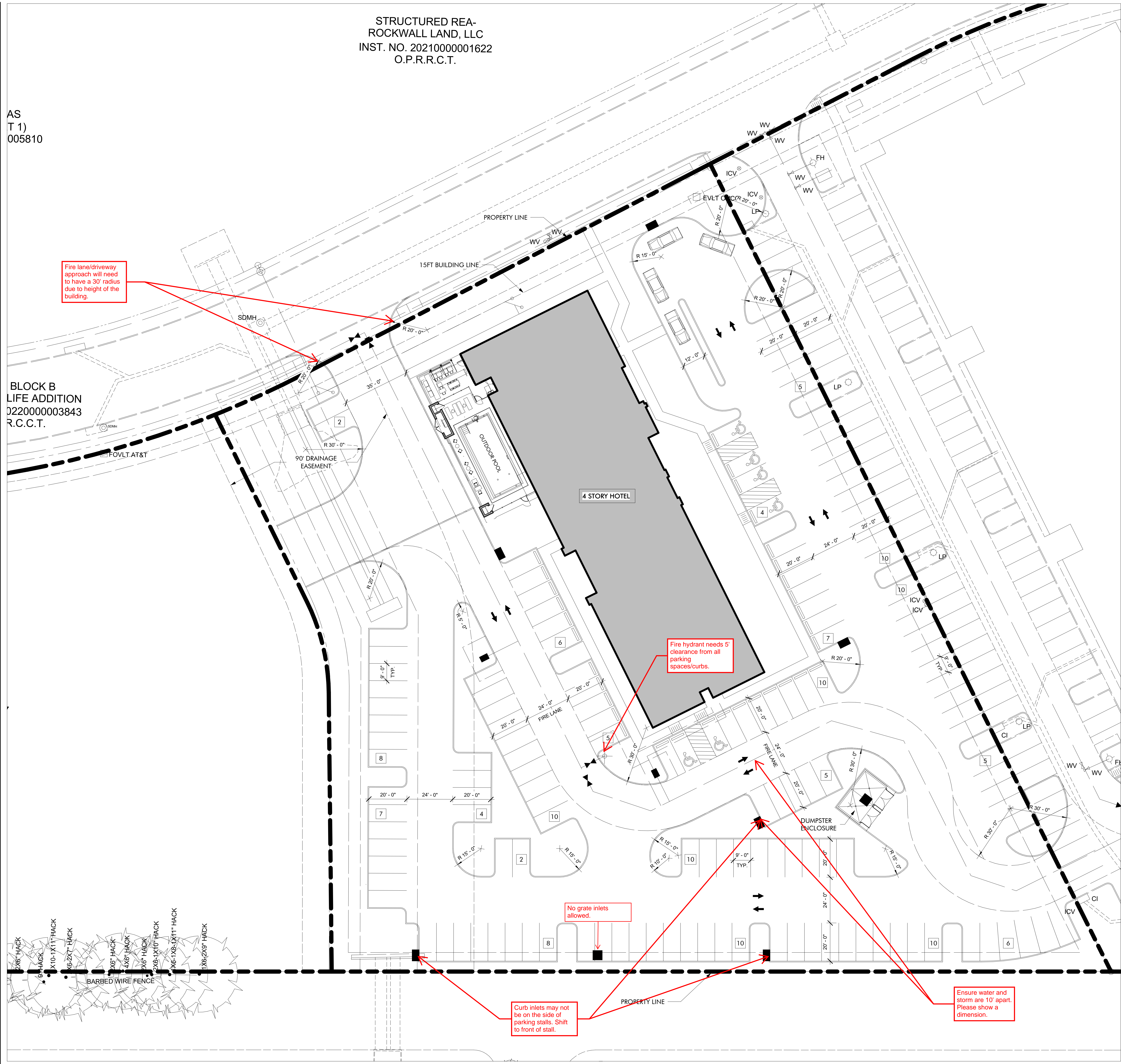
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved
No Comments			

STRUCTURED REA-
ROCKWALL LAND, LLC
INST. NO. 2021000001622
O.P.R.R.C.T.

AS
T 1)
005810

BLOCK B
LIFE ADDITION
0220000003843
R.C.C.T.



Fire lane/driveway approach will need to have a 30' radius due to height of the building.

Fire hydrant needs 5' clearance from all parking spaces/curbs.

No grate inlets allowed.

Curb inlets may not be on the side of parking stalls. Shift to front of stall.

Ensure water and storm are 10' apart. Please show a dimension.

- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - No signage is allowed within easements or ROW.
 - Tree mitigation will be required for the removal of any existing trees on site.
 - No structures or fences with easements.
 - The site will need to be platted.
 - All utilities must be underground.
 - A TIA will be required.
 - Additional comments may be provided at the time of Site Plan.
- Drainage Items:**
- Modifications to existing detention system will be required. Drainage study will be required to identify what improvements are required.
 - The site will need to be routed to existing Detention Pond 2 (REDC pond to the south of property) to match the approved Fit Sport Life drainage plans after detention analysis.
 - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
 - No vertical walls allowed in detention or drainage easements.
 - No public water or sanitary sewer allowed in detention or drainage easements.
 - FFE for all buildings must be called out when adjacent to a detention system or drainage swale. FEE must be a minimum 2' above the 100-year WSEL for the detention system and drainage swale.
 - Grate inlets are not allowed.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.
- Water and Wastewater Items:**
- Public sewer to be 8" minimum.
 - Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
 - There is an existing 8" sewer stub available for use along Fit Sport Life Blvd.
 - Any public water lines must be a minimum of 8", looped, and must be centered within a 20' wide easement.
 - There is an existing 12" water main available for use along Fit Sport Life Blvd.
 - Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
 - Water to be 10' separated from storm and sewer lines.
 - All public utilities must be centered in easement.
 - Infrastructure study required to assess down stream system. Any improvements identified in the study must be installed by the developer.
 - Show FDC location.
 - Sewer pro-rata of \$2,773.07/acre
- Roadway Paving Items:**
- Must meet City driveway spacing requirements.
 - All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
 - All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
 - No dead-end parking allowed without an City approved turnaround.
 - Drive aisles to be 24' wide.
 - Fire lane to be 24' wide and in a platted easement.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Will require fire lane and access easement from adjacent property
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



issued for interim not be used for construction

2024

The drawings and written material herein constitute original work of the architect and as intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the express written consent of the architect.

revisions

title
CONCEPT SITE PLAN

date 05.16.2024
sheet
A1.01

01 CONCEPTUAL SITE PLAN
SCALE: 1" = 20'-0"

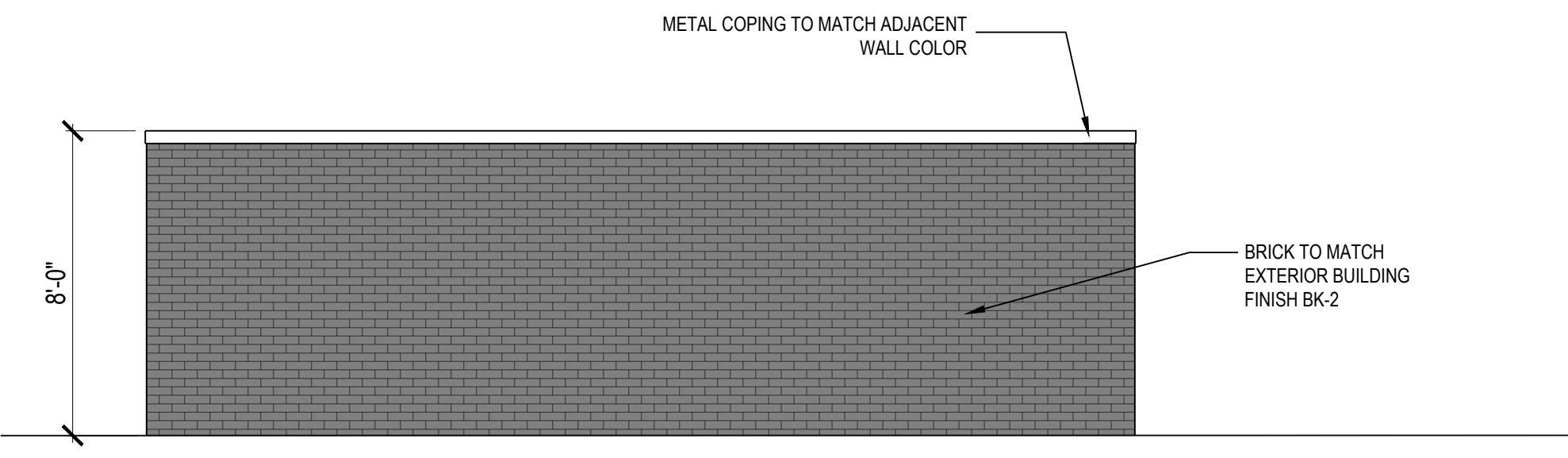


BUILDING ELEVATION AREAS						
	TOTAL SURFACE AREA	TOTAL GLAZING AREA	NET SURFACE AREA	STONE	BRICK	EIFS*
EAST ELEVATION	11791 sq. ft.	3291 sq. ft. 27.9 %	8500 sq. ft.	1717 sq. ft. 20.2 %	5800 sq. ft. 68 %	980 sq. ft. 11 %
WEST ELEVATION	11571 sq. ft.	2574 sq. ft. 22.2 %	8997 sq. ft.	2248 sq. ft. 24.9 %	5900 sq. ft. 65 %	848 sq. ft. 9.4 %
NORTH ELEVATION	4124 sq. ft.	293 sq. ft. 7%	3831 sq. ft.	674 sq. ft. 18 %	2826 sq. ft. 73 %	373 sq. ft. 9 %
SOUTH ELEVATION	4112 sq. ft.	142 sq. ft. 3.4%	3970 sq. ft.	950 sq. ft. 24 %	2812 sq. ft. 66 %	403 sq. ft. 10 %

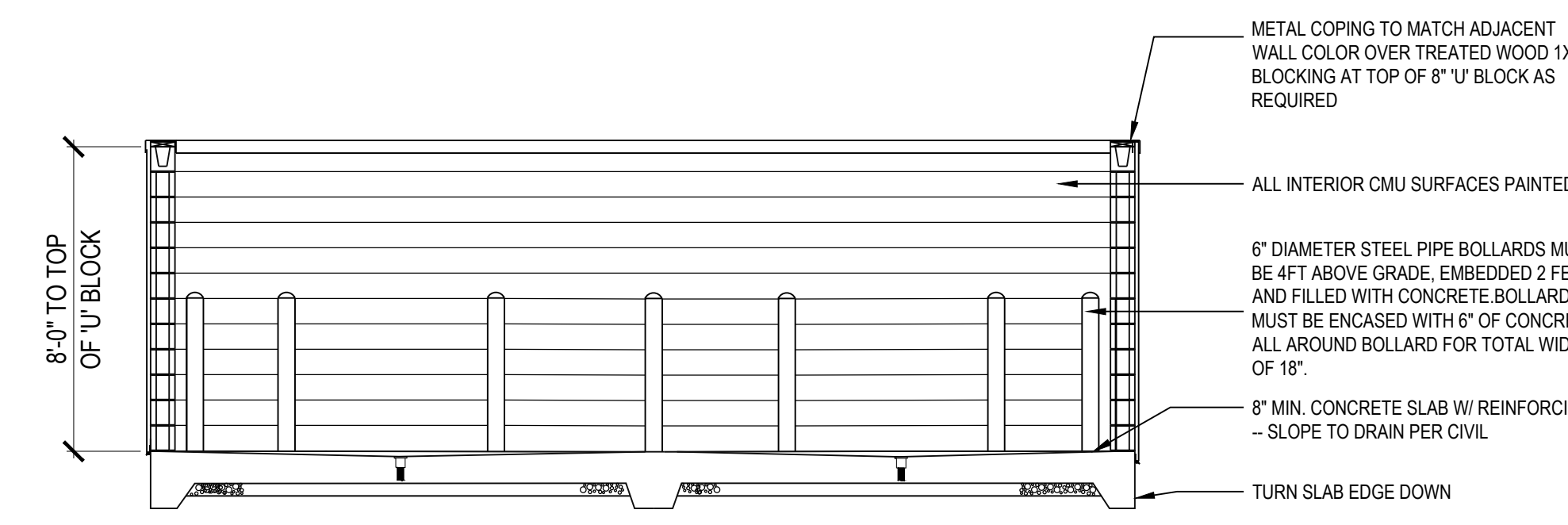
FINISH KEY :	
BK 1	BRICK - ACME BRICK SNOWDRIFT
BK 2	BRICK - ACME BRICK ONYX
ST 1	STONE - STONE VENEER - AUSTIN 6" LIMESTONE
CS 1	CAST STONE
EF 1	EIFS - BENJAMIN MOORE GRAY 2121
EF 2	EIFS (BEACON REVEAL) COLOR: HOME 2 SUITES SIGNATURE GREEN BENJAMIN MOORE 398 "FLOWER POWER"
MT 1	METALS - CANOPY, ALUMINUM WINDOWS, EXTERIOR LOUVERS AND GRILLES - MATTE BLACK FINISH
GL 1	GLASS - GUARDIAN, SUN GUARD SWS4, CRYSTAL GRAY - CLEAR

GENERAL NOTES THIS SHEET :

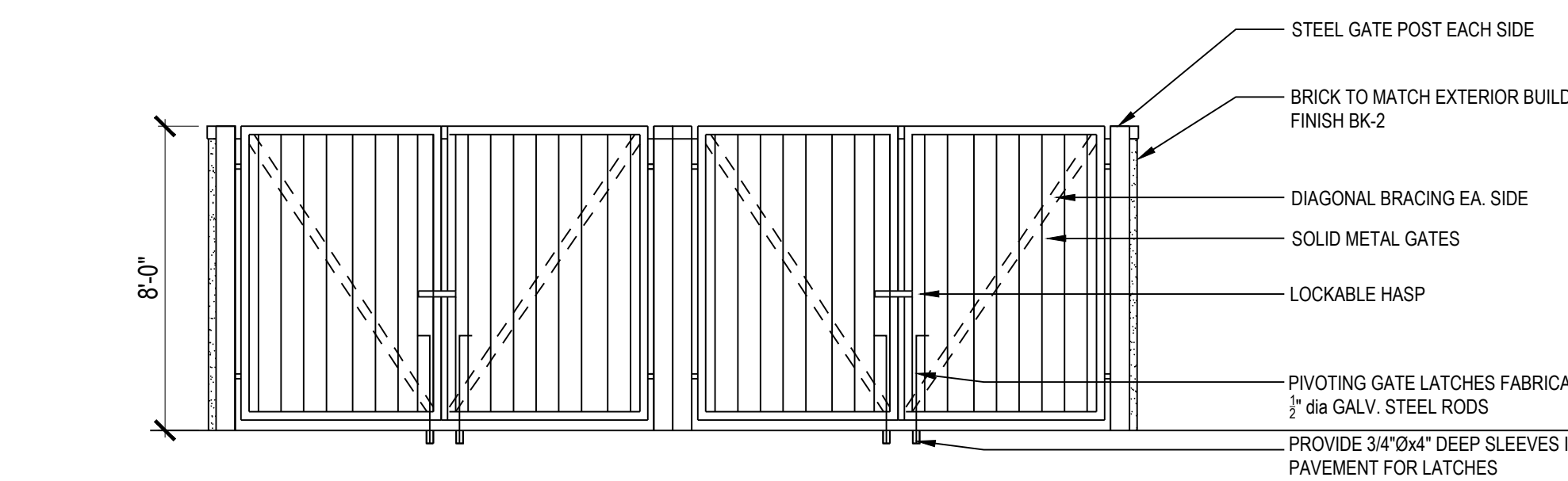
- GROUT/MORTAR COLOR TO MATCH EXTERIOR TILE OR MASONRY.
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.



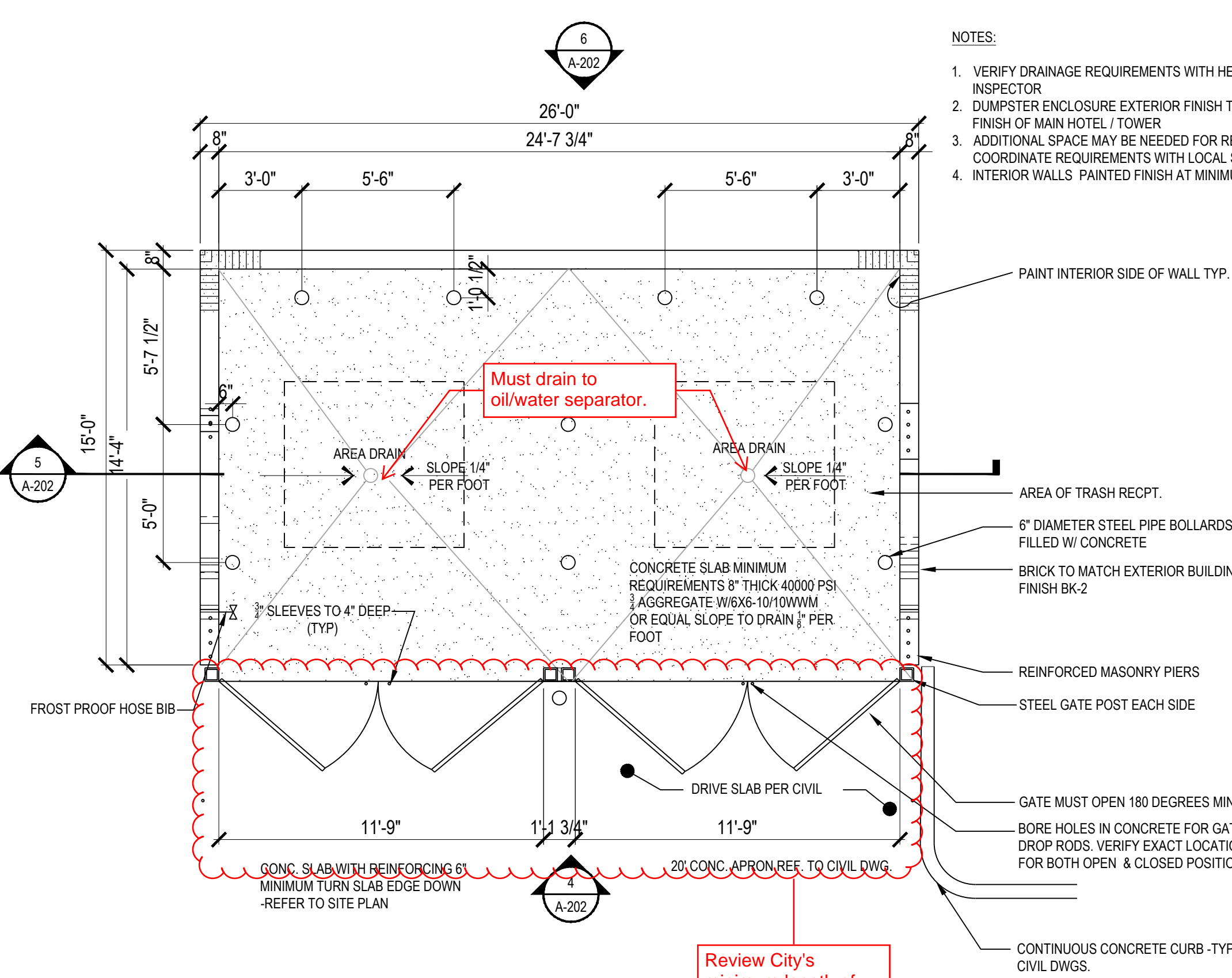
6 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



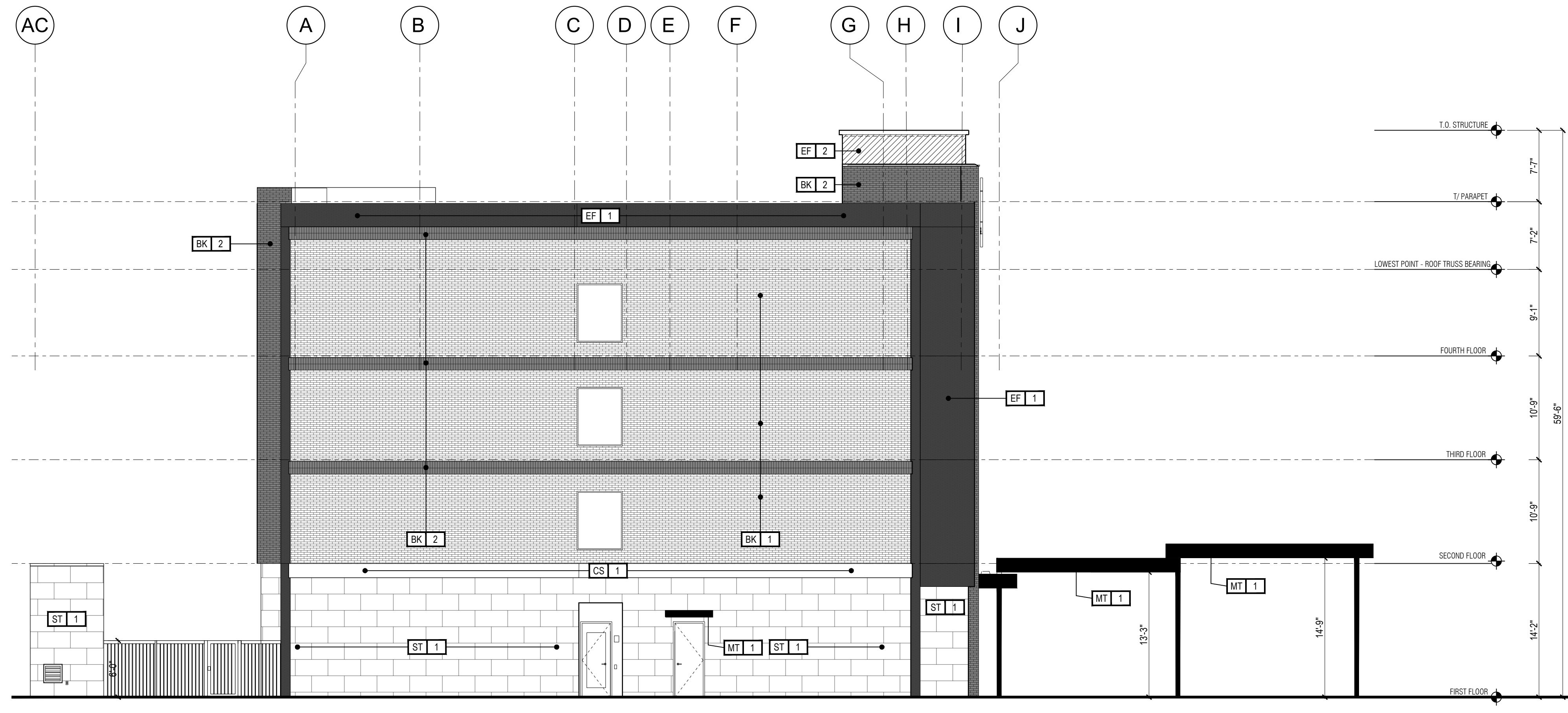
5 TRASH ENCLOSURE SECTION
SCALE: 1/4" = 1'-0"



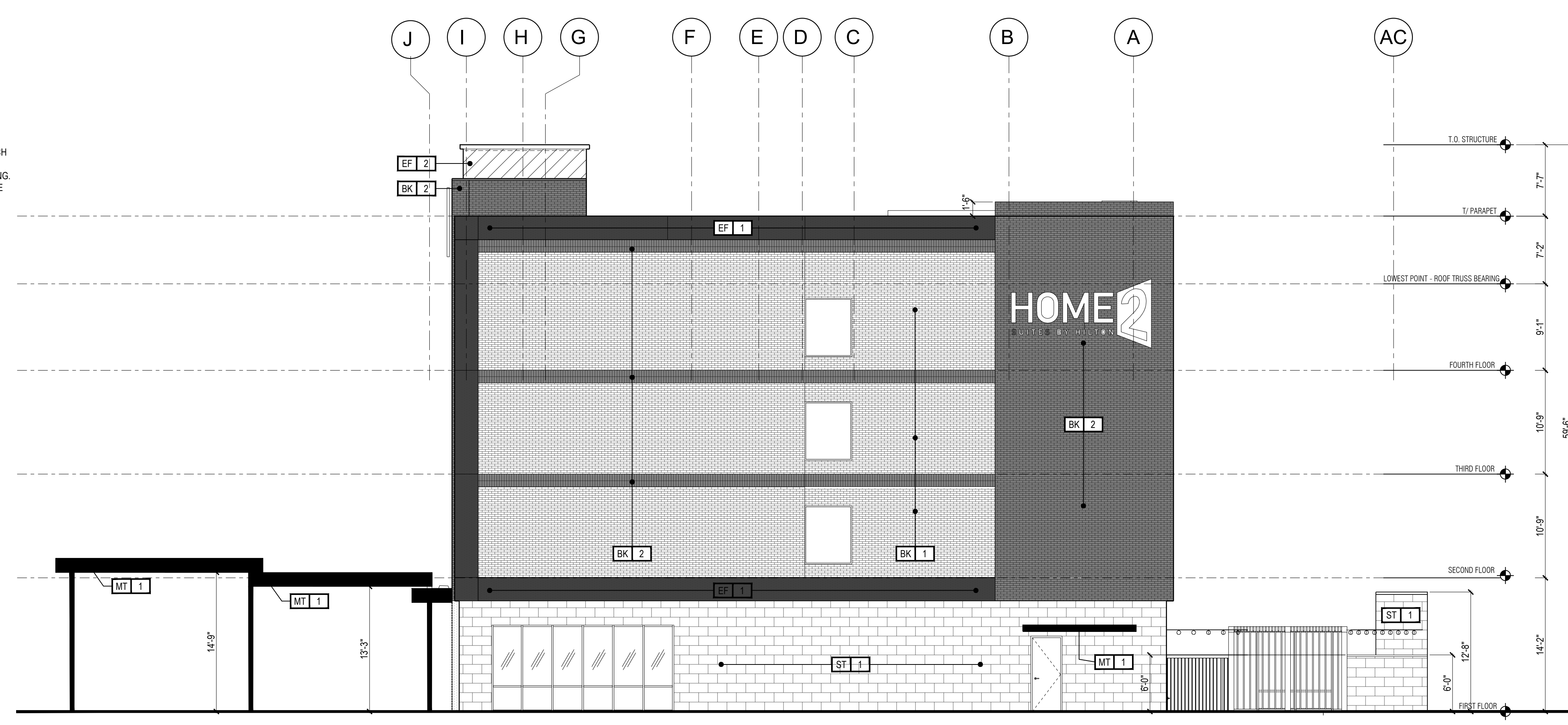
4 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



3 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

- ARCHITECTURAL ELEMENTS INCORPORATED INTO THE BUILDING DESIGN FOR EACH FAÇADE.**
- CANOPIES, AWNINGS, OR PORTICOS
 - RECESSES/ PROJECTIONS
 - OUTDOOR PATIOS
 - ARTICULATED GROUND FLOOR LEVELS OR BASES
 - ARTICULATED CORNICE LINE
 - VARIED ROOF HEIGHTS

project
HOME 2 SUITES by Hilton
Rockwall, TX 75082



The drawings and written material herein constitute original work of the architect, and as intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the express written consent of the architect.

revisions

title
EXTERIOR ELEVATIONS

date 06/14/2024

sheet

A-202



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Fit Sport Life Blvd.

SUBDIVISION Fit Sport Life Addition

LOT 6 BLOCK B

GENERAL LOCATION 750' South and 337' East of Intersection of I-30 and Corporate Crossing

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial - C

CURRENT USE Vacant

PROPOSED ZONING Commercial - C with SUP

PROPOSED USE Hotel

ACREAGE 2.82 acres

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Structured REA-Rockwall Land LLC APPLICANT Wier & Associates, Inc.

CONTACT PERSON Conor Keilty, AIA

CONTACT PERSON Renee Ward, P.E.

ADDRESS 3104 E. Camelback Road, Ste. 2387

ADDRESS 2201 E. Lamar Blvd, Ste 200E

CITY, STATE & ZIP Phoenix, Arizona 85016

CITY, STATE & ZIP Arlington, Texas 76006

PHONE (480) 856-8808

PHONE (817) 467-7700

E-MAIL conork@structuredrea.com

E-MAIL ReneeW@wierassociates.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CONOR KEILTY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 242.30 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE FIFTH DAY OF SEPTEMBER, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5TH DAY OF September, 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF ~~TEXAS~~

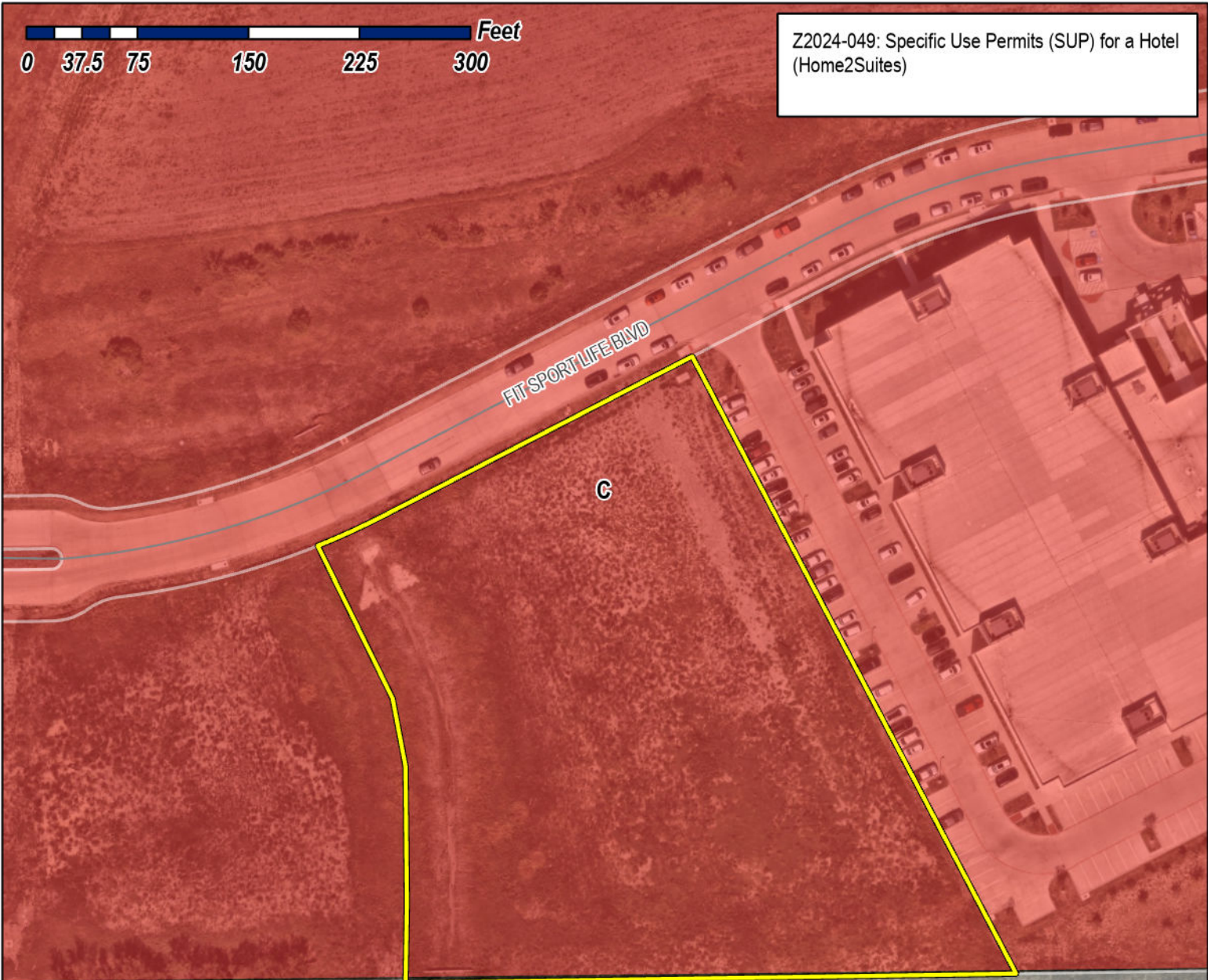
New Jersey

IVAN M BALEV
Commission # 2273810
Notary Public, State of New Jersey
My Commission Expires

MY COMMISSION EXPIRES 04/03/2026



Z2024-049: Specific Use Permits (SUP) for a Hotel (Home2Suites)



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

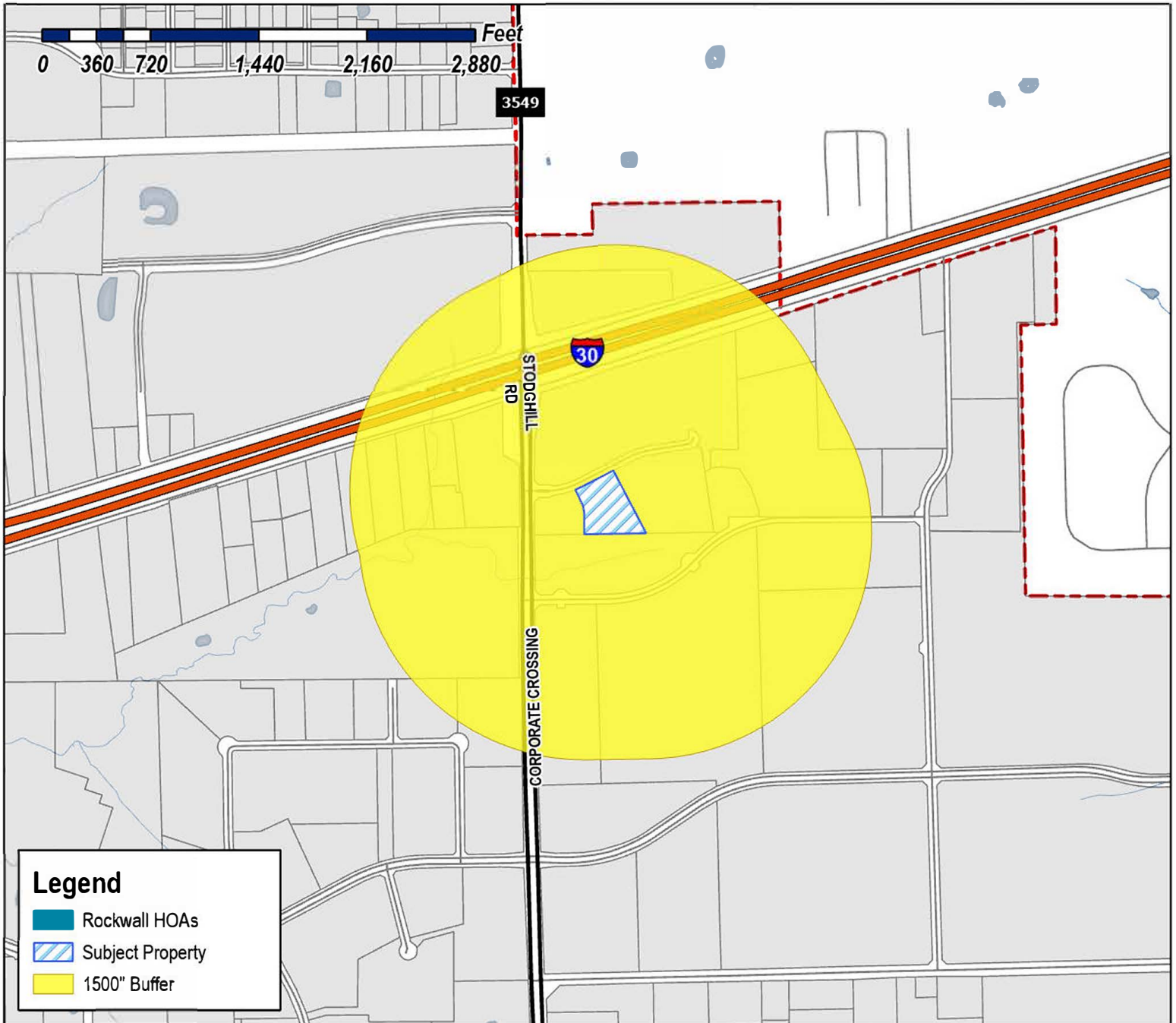
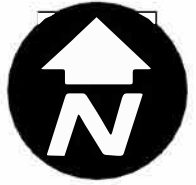




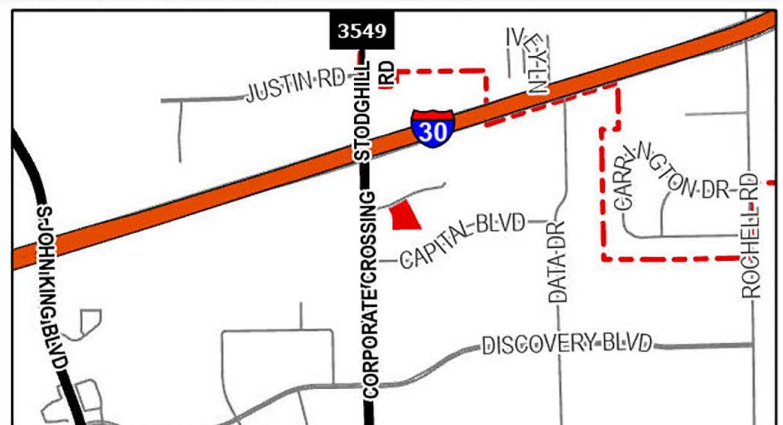
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-049
Case Name: SUP for a Residence Hotel
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: East of Intersection of I-30 and Corporate Crossing



Date Saved: 10/18/2024

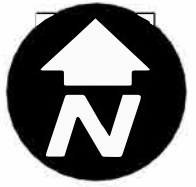
For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-049
Case Name: SUP for Residence Hotel
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: East of Intersection of IH-30 and Corporate Crossing

Date Saved: 10/18/2024

For Questions on this Case Call: (972) 771-7745



ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

LOVE'S COUNTRY STORES INC
PO BOX 26210
OKLAHOMA CITY, OK 73126

WESTCORE BRAVO ROCKWALL LLC
4350 LA JOLLA VILLAGE DR STE 900
SAN DIEGO, CA 92122

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

CAPITAL BOULEVARD VENTURE LLC AND
GLOBAL WELLS INVESTMENT GROUP LLC
1225 W IMPERIAL HWY STE B
BREA, CA 92821

STRUCTURED REA FSL ROCKWALL LLC
3104 E CAMELBACK RD
PHOENIX, AZ 85016

RESIDENT
1990 E I30
ROCKWALL, TX 75032

RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75032

RESIDENT
3201 CAPITAL BLVD
ROCKWALL, TX 75032

RESIDENT
3101 FIT SPORT LIFE BLVD
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-049: Specific Use Permit for a Residence Hotel

Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 12, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 18, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 18, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-049: Specific Use Permit for a Residence Hotel

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [text box]
Address: [text box]

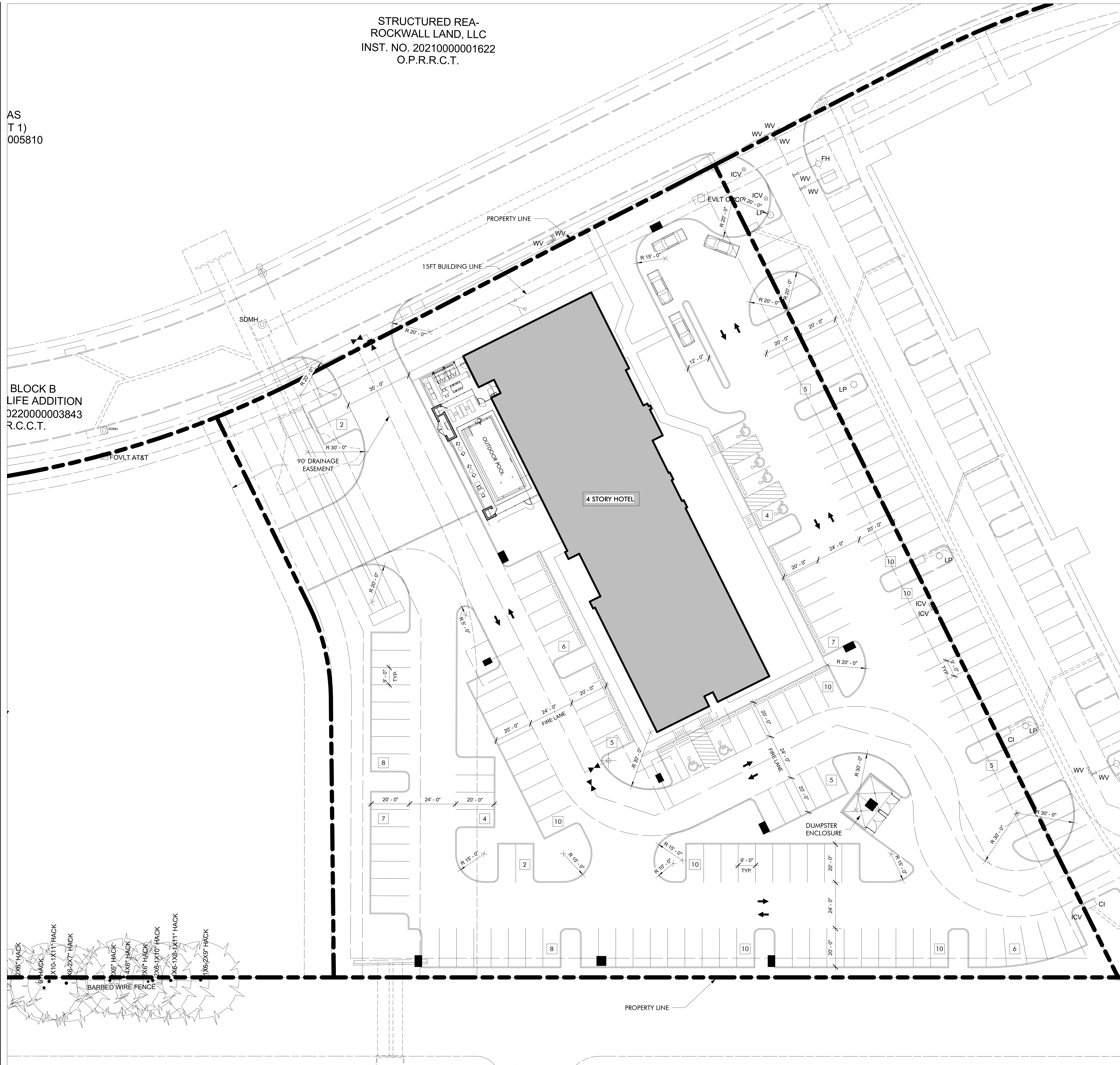
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

STRUCTURED REA-
ROCKWALL LAND, LLC
INST. NO. 2021000001622
O.P.R.R.C.T.

AS
T 1)
005810

BLOCK B
LIFE ADDITION
0220000003843
R.C.C.T.



PROJECT DATA

PARKING DATA	
GUEST ROOMS 107 (1:1) =	107 PARKING SPACES
STORAGE USES (1/1,000 SF @ 1,499 SF) =	2 PARKING SPACES
OFFICE (1/300 SF @ 1,340 SF) =	5 PARKING SPACES
LIMITED SERVICE RESTAURANT AREA (1/250 SF @ 1,661 SF) = 1/2 (AS ACCESSORY USE) =	4 PARKING SPACES
MARKET (I.E. GENERAL RETAIL) (1/250 SF @ 99 SF) = 1/2 (AS ACCESSORY USE) =	1 PARKING SPACE
FITNESS CENTER AND POOL (1/200 SF @ 2,266 SF) = 1/2 (AS ACCESSORY USE) =	6 PARKING SPACES
TOTAL PARKING FOR HOTEL:	125 SPACES
PARKING REMOVED FROM AMERISPORTS:	12 SPACES
PARKING SPACES REQUIRED:	137 PARKING SPACES
PARKING SPACES PROVIDED:	144 PARKING SPACES

BUILDING DATA	
PROJECT DESCRIPTION	HOME 2 SUITES BY HILTON
BUILDING LOCATION	ROCKWALL, TX
CITY OF ROCKWALL CODES	2021 IBC W/ ROCKWALL AMENDMENTS 2021 IMC W/ ROCKWALL AMENDMENTS 2020 NEC W/ ROCKWALL AMENDMENTS 2021 IPC W/ ROCKWALL AMENDMENTS 2021 IECC W/ ROCKWALL AMENDMENTS 2012 TAS
TOTAL SITE AREA	122,785 SF = 2.82 ACRES
BUILDING AREA	61,496 SF GROSS
BUILDING HEIGHT	65' 0" HIGHEST POINT, 52' 0" MAIN PARAPET
NUMBER OF STORIES	4
CONSTRUCTION TYPE	TYPE VA
OCCUPANCY TYPE	A-2 R-1
SPRINKLED	YES NFPA 13
ORDINANCE NO. ZONING	

BUILDING AREA STATISTICS

AREA: 107 ROOM PROTOTYPE	UNIT	SF	TOTAL SF
GROSS AREA:			
GROUND LEVEL	1	16586	16586
UPPER LEVELS	3	14970	44910
TOTAL GROSS AREA			61496

studiodot
architecture + design + build

09.10.2024

These documents are issued for interim review only and may not be used for bidding, permit or other construction purposes.

The drawings and written material herein constitute original work of the architect and as intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the express written consent of the architect.

revisions

NO.	DATE	DESCRIPTION

title
CONCEPT SITE PLAN

date 05.16.2024
sheet

A1.01

01 CONCEPTUAL SITE PLAN
SCALE: 1" = 20'-0"



BUILDING ELEVATION AREAS										
	TOTAL SURFACE AREA	TOTAL GLAZING AREA	NET SURFACE AREA	STONE	BRICK	EIFS*				
EAST ELEVATION	11791 sq. ft.	3291 sq. ft.	27.9 %	8500 sq. ft.	1717 sq. ft.	20.2 %	5800 sq. ft.	68 %	980 sq. ft.	11 %
WEST ELEVATION	11571 sq. ft.	2574 sq. ft.	22.2 %	8997 sq. ft.	2248 sq. ft.	24.9 %	5900 sq. ft.	65 %	848 sq. ft.	9.4 %
NORTH ELEVATION	4124 sq. ft.	293 sq. ft.	7%	3831 sq. ft.	674 sq. ft.	18 %	2826 sq. ft.	73 %	373 sq. ft.	9 %
SOUTH ELEVATION	4112 sq. ft.	142 sq. ft.	3.4%	3970 sq. ft.	950 sq. ft.	24 %	2612 sq. ft.	66 %	403 sq. ft.	10 %

FINISH KEY :	
BK 1	BRICK - ACME BRICK SNOWDRIFT
BK 2	BRICK - ACME BRICK ONYX
ST 1	STONE - STONE VENEER - AUSTIN 6" LIMESTONE
CS 1	CAST STONE
EF 1	EIFS - BENJAMIN MOORE GRAY 2121
EF 2	EIFS (BEACON REVEAL) COLOR: HOME 2 SUITES SIGNATURE GREEN BENJAMIN MOORE 388 TOWER POWER
MT 1	METALS - CANOPY, ALUMINUM WINDOWS, EXTERIOR LOUVERS AND GRILLES - MATTE BLACK FINISH
GL 1	GLASS - GUARDIAN, SUN GUARD SWS4, CRYSTAL GRAY - CLEAR

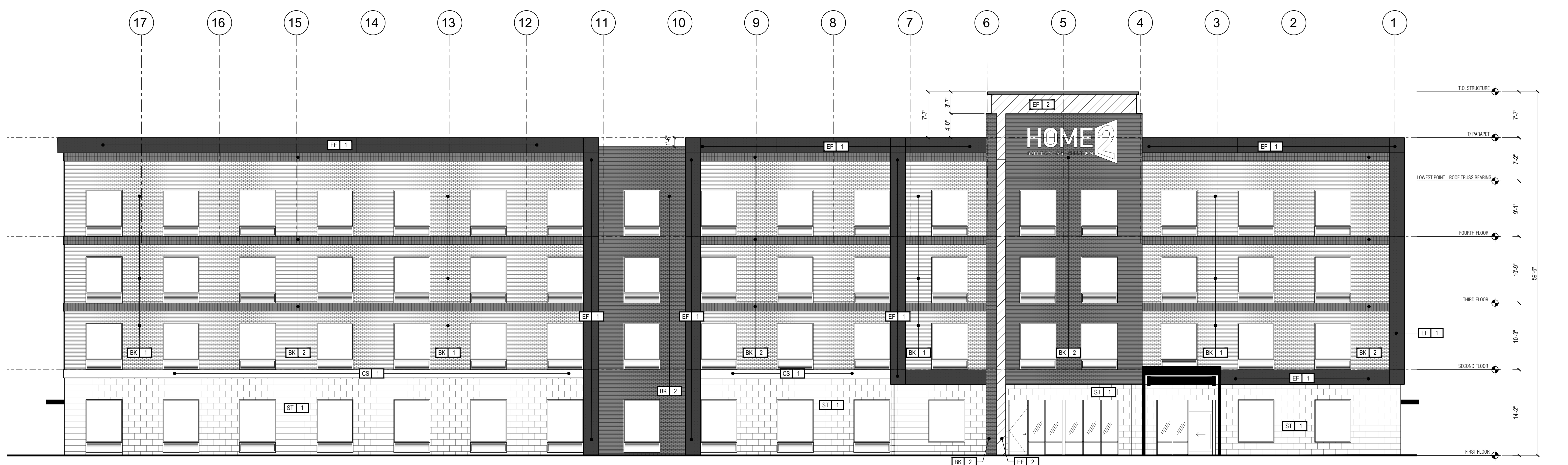
GENERAL NOTES THIS SHEET :

- GROUT/MORTAR COLOR TO MATCH EXTERIOR TILE OR MASONRY.
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.

- ARCHITECTURAL ELEMENTS INCORPORATED INTO THE BUILDING DESIGN FOR EACH FACADE.**
- CANOPIES, AWNINGS, OR PORTICOS
 - RECESSES/ PROJECTIONS
 - OUTDOOR PATIOS
 - ARTICULATED GROUND FLOOR LEVELS OR BASES
 - ARTICULATED CORNICE LINE
 - VARIED ROOF HEIGHTS



2 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



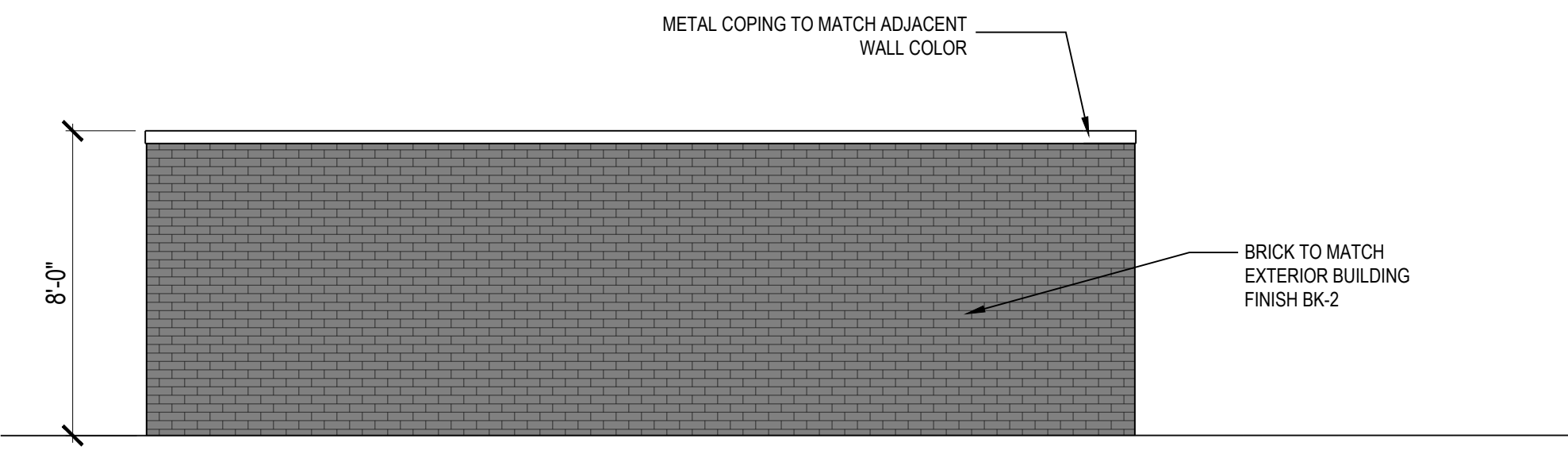
1 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"

BUILDING ELEVATION AREAS						
	TOTAL SURFACE AREA	TOTAL GLAZING AREA	NET SURFACE AREA	STONE	BRICK	EIFS*
EAST ELEVATION	11791 sq. ft.	3291 sq. ft. 27.9 %	8500 sq. ft.	1717 sq. ft. 20.2 %	5800 sq. ft. 68 %	980 sq. ft. 11 %
WEST ELEVATION	11571 sq. ft.	2574 sq. ft. 22.2 %	8997 sq. ft.	2248 sq. ft. 24.9 %	5900 sq. ft. 65 %	848 sq. ft. 9.4 %
NORTH ELEVATION	4124 sq. ft.	293 sq. ft. 7%	3831 sq. ft.	674 sq. ft. 18 %	2826 sq. ft. 73 %	373 sq. ft. 9 %
SOUTH ELEVATION	4112 sq. ft.	142 sq. ft. 3.4%	3970 sq. ft.	950 sq. ft. 24 %	2812 sq. ft. 66 %	403 sq. ft. 10 %

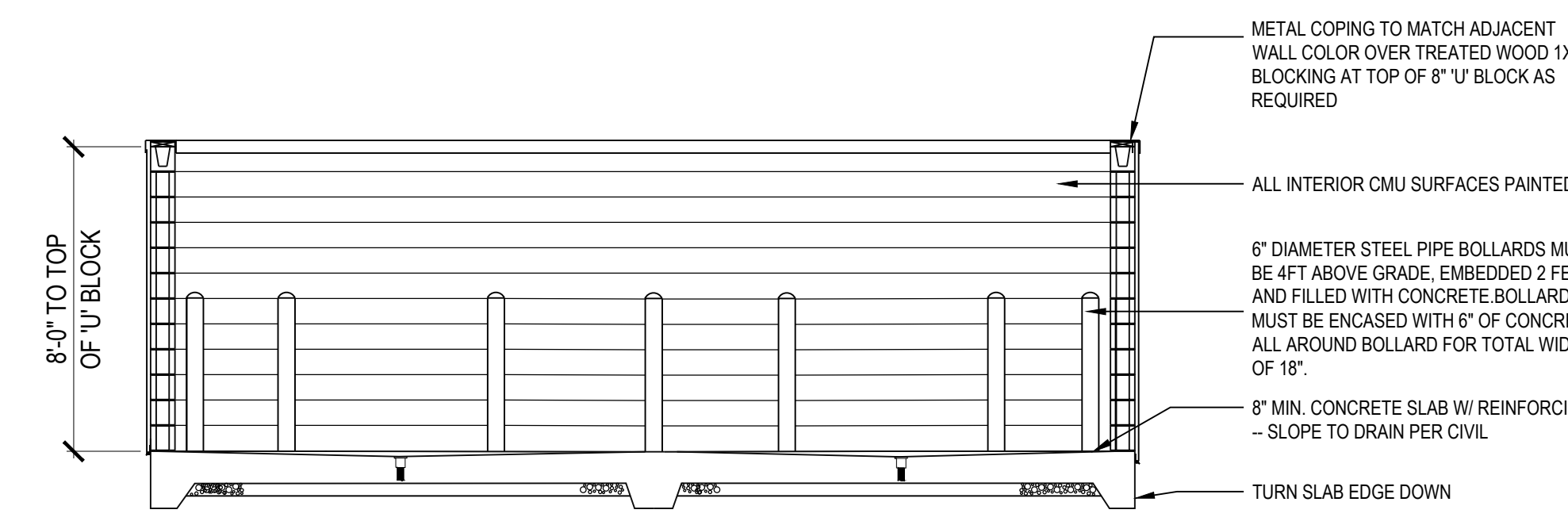
FINISH KEY :	
BK 1	BRICK - ACME BRICK SNOWDRIFT
BK 2	BRICK - ACME BRICK ONYX
ST 1	STONE - STONE VENEER - AUSTIN 6" LIMESTONE
CS 1	CAST STONE
EF 1	EIFS - BENJAMIN MOORE GRAY 2121
EF 2	EIFS (BEACON REVEAL) COLOR: HOME 2 SUITES SIGNATURE GREEN BENJAMIN MOORE 398 "FLOWER POWER"
MT 1	METALS - CANOPY, ALUMINUM WINDOWS, EXTERIOR LOUVERS AND GRILLES - MATTE BLACK FINISH
GL 1	GLASS - GUARDIAN, SUN GUARD SNS4, CRYSTAL GRAY - CLEAR

GENERAL NOTES THIS SHEET :

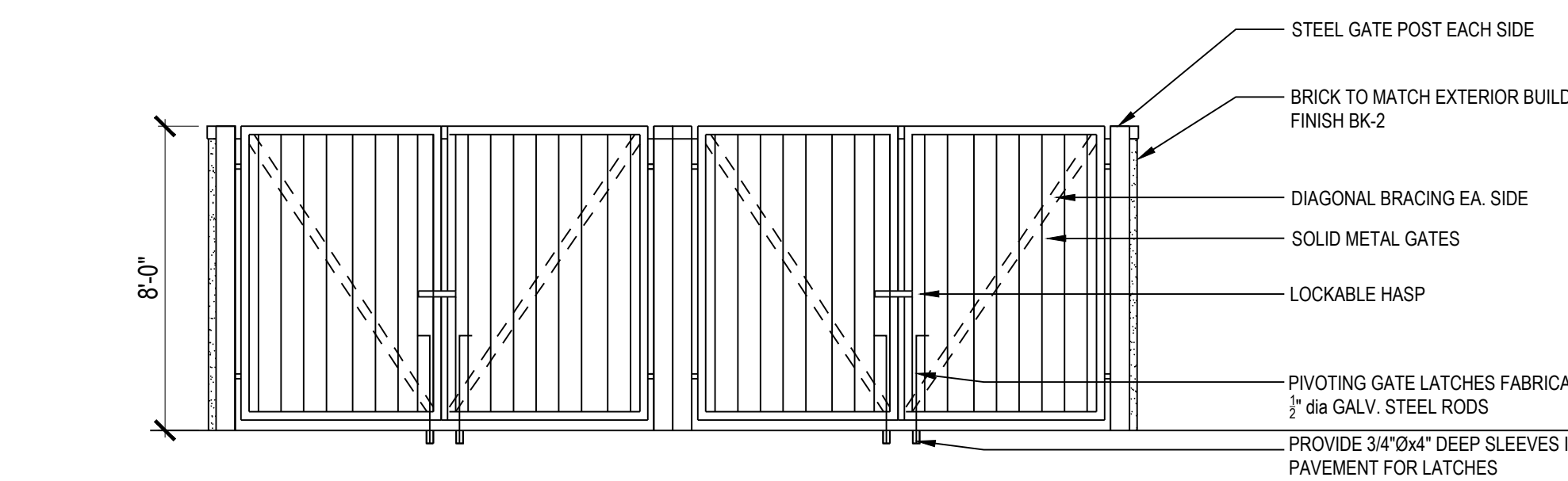
- GROUT/MORTAR COLOR TO MATCH EXTERIOR TILE OR MASONRY.
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.



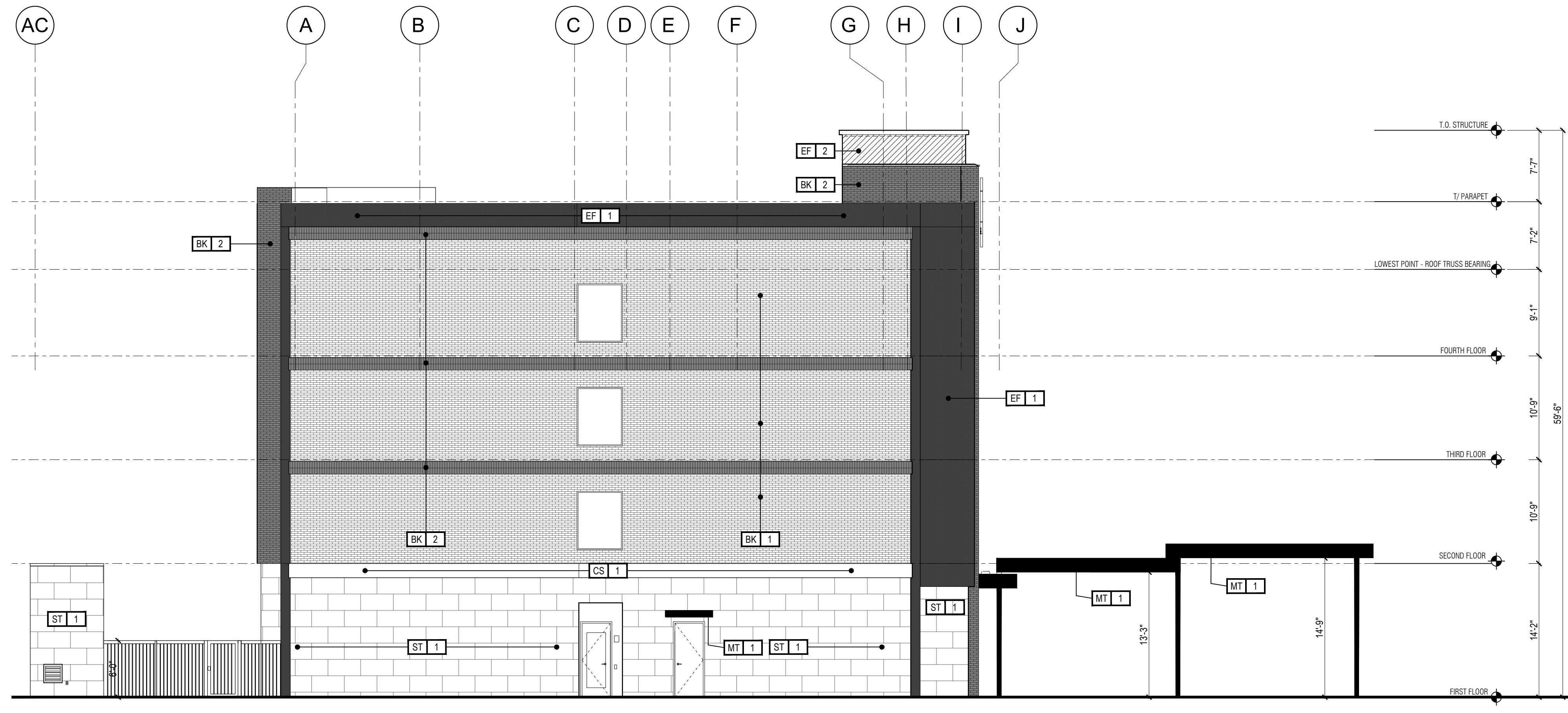
6 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



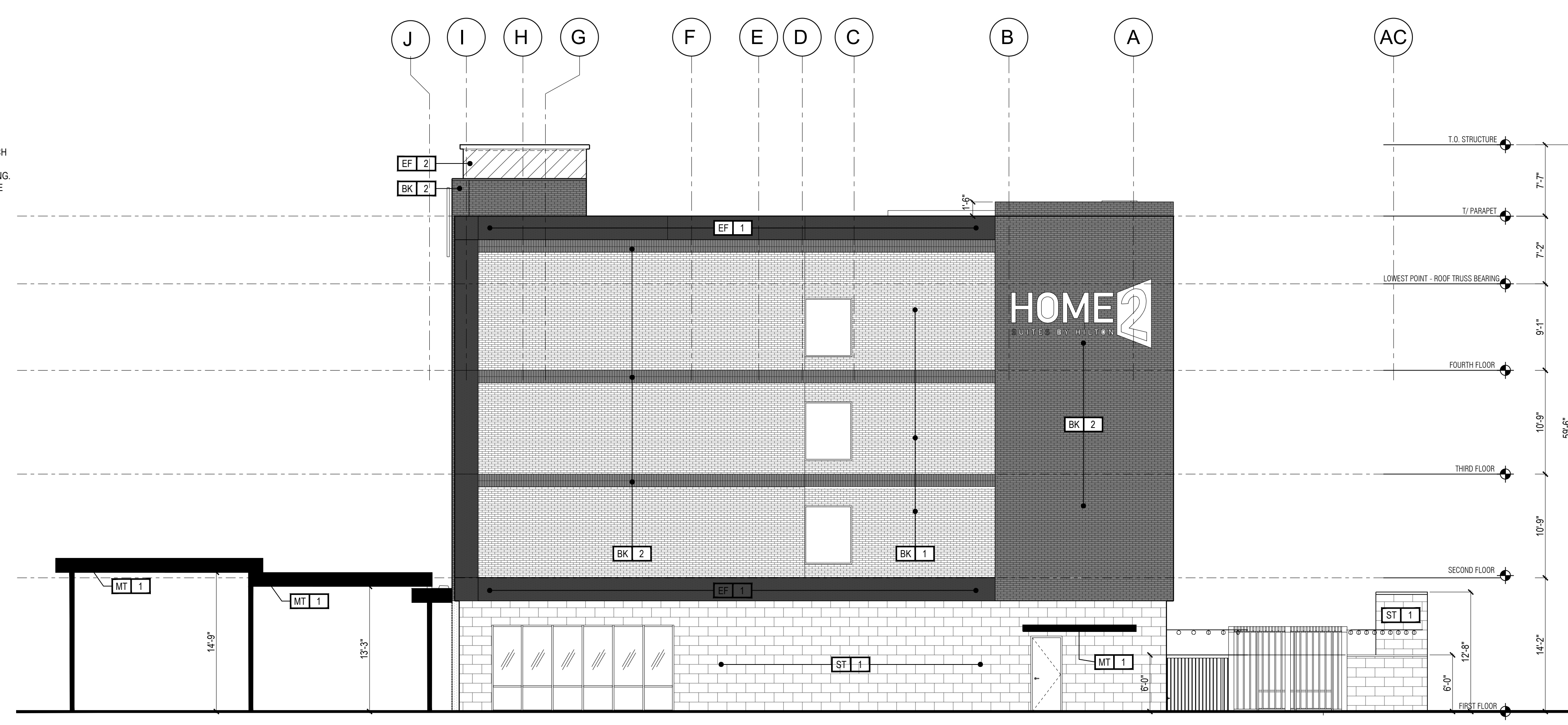
5 TRASH ENCLOSURE SECTION
SCALE: 1/4" = 1'-0"



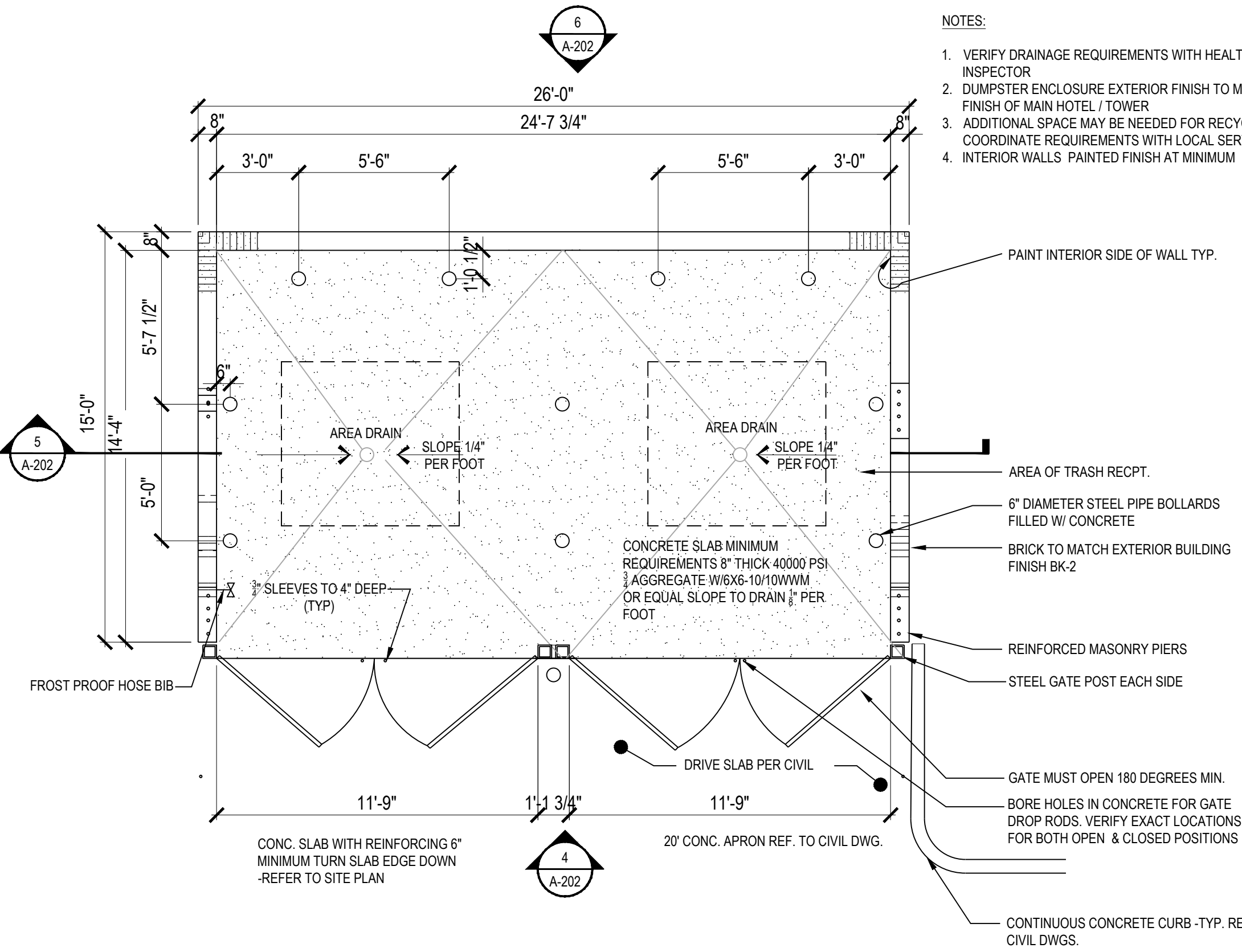
4 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



3 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

- ARCHITECTURAL ELEMENTS INCORPORATED INTO THE BUILDING DESIGN FOR EACH FAÇADE.**
- CANOPIES, AWNINGS, OR PORTICOS
 - RECESSES/ PROJECTIONS
 - OUTDOOR PATIOS
 - ARTICULATED GROUND FLOOR LEVELS OR BASES
 - ARTICULATED CORNICE LINE
 - VARIED ROOF HEIGHTS

project
HOME 2 SUITES by Hilton
Rockwall, TX 75032



The drawings and written material herein constitute original work of the architect, and as intellectual property and instruments of service, are subject to copyright and may not be reproduced, distributed, published or used in any way without the express written consent of the architect.

revisions

title
EXTERIOR ELEVATIONS

date 06/14/2024

sheet

A-202

2.819 ACRE TRACT

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF LOT 6, BLOCK B, FIT SPORT LIFE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT RECORDED IN INSTRUMENT NO. 20220000003843, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTH RIGHT-OF-WAY LINE OF FIT SPORT LIFE BOULEVARD (A 60' RIGHT-OF-WAY), SAID IRON ROD BEING THE NORTHEAST CORNER OF SAID LOT 6 AND THE NORTHWEST CORNER OF LOT 5, BLOCK B OF SAID FIT SPORT LIFE ADDITION;

THENCE S 27°18'10" E, DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID FIT SPORT LIFE BOULEVARD, ALONG THE EAST LINE OF SAID LOT 6 AND THE WEST LINE OF SAID LOT 5, A DISTANCE OF 471.23 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC" IN THE NORTH LINE OF LOT 1, BLOCK B, ROCKWALL TECHNOLOGY PARK PHASE IV, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT RECORDED IN INSTRUMENT NO. 20160000023061, O.P.R.C.C.T., SAID IRON ROD BEING THE SOUTHEAST CORNER OF SAID LOT 6 AND THE SOUTHWEST CORNER OF SAID LOT 5;

THENCE S 89°10'38" W, ALONG THE SOUTH LINE OF SAID LOT 6 AND THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 410.08 FEET TO A POINT;

THENCE N 00°36'39" W, DEPARTING THE SOUTH LINE OF SAID LOT 6 AND THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 149.65 FEET TO A POINT, BEING THE BEGINNING OF A CURVE TO THE LEFT;

THENCE NORTHWESTERLY, AN ARC LENGTH OF 48.96 FEET ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 110.00 FEET, A DELTA ANGLE OF 25°30'11", AND A CHORD BEARING N 13°21'44" W, A DISTANCE OF 48.56 FEET TO A POINT;

THENCE N 26°06'50" W, A DISTANCE OF 109.76 FEET TO A POINT IN THE NORTH LINE OF SAID LOT 6 AND THE SOUTH RIGHT-OF-WAY LINE OF SAID FIT SPORT LIFE BOULEVARD, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE NORTHEASTERLY, AN ARC LENGTH OF 50.67 FEET ALONG THE NORTH LINE OF SAID LOT 6, THE SOUTH RIGHT-OF-WAY LINE OF SAID FIT SPORT LIFE BOULEVARD, AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 530.00 FEET, A DELTA ANGLE OF 05°28'40", AND A CHORD BEARING OF N 65°23'25" E, A DISTANCE OF 50.65 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 62°39'05" E, CONTINUING ALONG THE NORTH LINE OF SAID LOT 6 AND THE SOUTH RIGHT-OF-WAY LINE OF SAID FIT SPORT LIFE BOULEVARD, A DISTANCE OF 235.27 FEET TO THE PLACE OF BEGINNING AND CONTAINING 2.819 ACRES (122,785 SQUARE FEET) OF LAND, MORE OR LESS.

WA# 19144.03 PRINTED: 9/10/2024 1:26 PM STB FILE: WIER-SURVEY.STB LAST SAVED: 9/10/2024 1:26 PM SAVED BY: RENEW FILE: ZONING-2.819ACRE-M&B-19144.03.DWG

BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

WIA SURVEYOR PREPARING THIS EXHIBIT:
WIER & ASSOCIATES, INC.
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 Texas Board of Professional Land Surveying Registration No. 10033900

2.819 ACRE TRACT CITY OF ROCKWALL, COUNTY OF ROCKWALL, TEXAS	
DRAWN BY: CV	SHEET NO. 1 OF 1
APPROVED: ALS	
REV.	

ZONING CASE:

Our Guest



Business Transient

Away from home for business meetings, this guest appreciates a home-like design but doesn't necessarily require space to fully settle in and unpack.

Average Length of Stay: 1+ Days

The business traveler demands intuitive design, so they can keep focused, connected, and on pace with their routines.



Sports / Leisure

Whether traveling with a sports team or for special events like family reunions, these guests seek hotels with spacious, comfortable rooms.

Leisure travelers appreciate the fun, eclectic atmosphere and room for the whole family and their sports gear in the guest suite.



Business Extended Stay

Traveling to where their skills are needed, these business professionals require a home base away from their actual homes and families. They require space to unpack and enjoy making their suite their own.

Average Length of Stay: 5+ Days

Extended business travelers want the ability to cook their own meals and appreciate great communal spaces where they can engage with others.



Vacations / Groups

Vacationing for an extended period of time, these guests choose their stay based on the unique attributes of the hotel and nearby attractions.

Vacationers want to explore their local surroundings with a comfortable home-base to return to. They enjoy the added amenities like the pool, grills and fire pits.



- | | | | | |
|------------------|-----------------|---------------------|-------------------------|---------------------------|
| 1 Fire Pits | 6 Home2 MKT | 11 Sales Office | 16 Pool Restroom | 21 Pet Relief Station |
| 2 Outdoor Lounge | 7 Breakfast | 12 TV Lounge | 17 BOH Laundry | 22 Food Delivery Drop |
| 3 Entry | 8 BOH Food Prep | 13 Public Restrooms | 18 BOH Office | 23 Guest Engagement Wall |
| 4 Lobby | 9 Elevators | 14 Grilling Patio | 19 Employee Break Room | 24 Hydration/Caffeination |
| 5 Reception | 10 Spin2 Cycle | 15 Pool | 20 EV Charging Stations | |

Successful Adjacencies



Public Space | Dynamic



Public Space | Dynamic

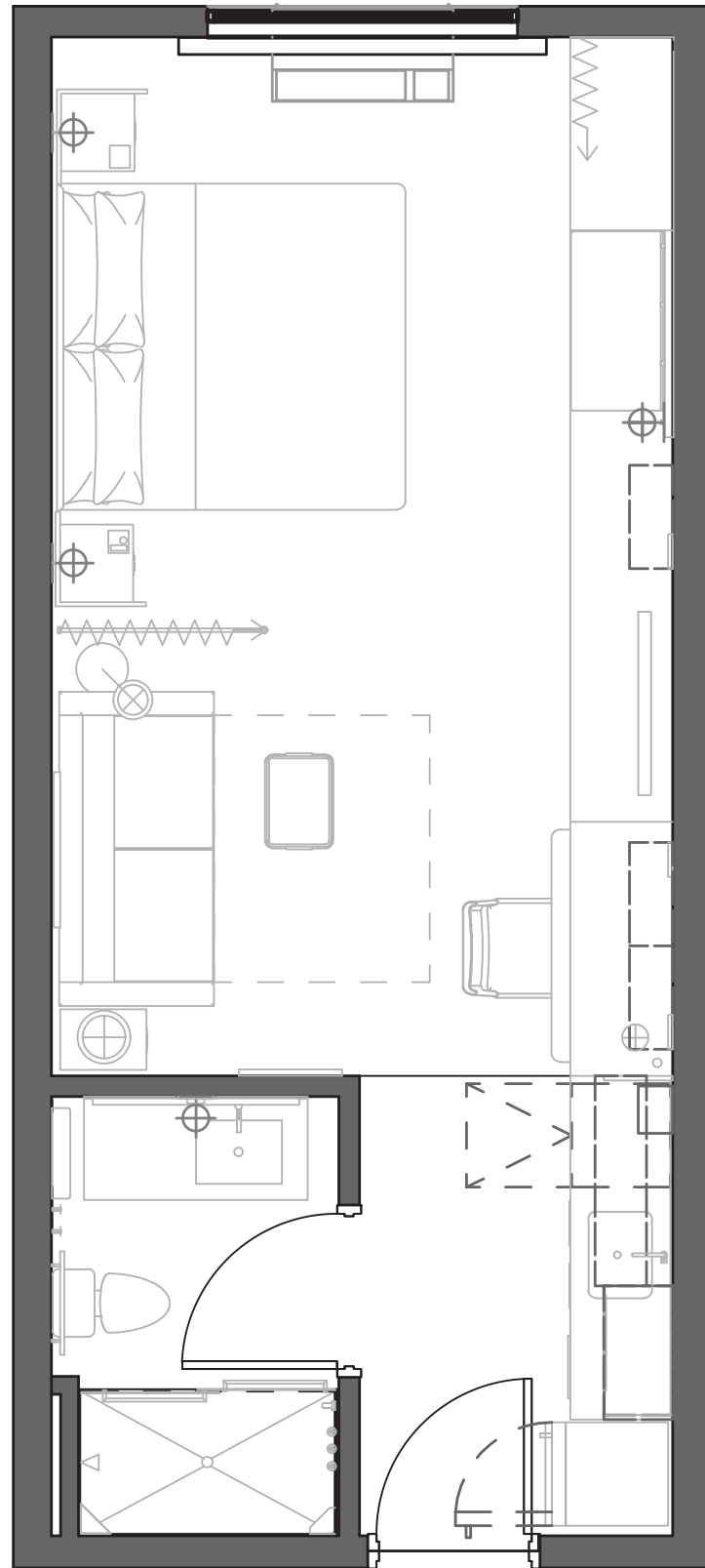


Public Space | Dynamic



Guestrooms | Vibrant

Studio Suite



The Studio Suite Defined

The Studio Suite was designed with the core Extended Stay guest in mind. It purposefully provides ample space for multiple guests and is the most prominent type of suite in the Home2 guest suite room mix. Defined zones of functionality and experience allow guests to spread out and make the space their own.

Ample storage, lighting, and convenient power throughout support the typical activities taking place in most homes. Working, studying, gaming, surfing the internet, watching TV, reading, or gathering as a family, each guest can claim their spot.

The luggage bench and hooks above offer different places for guests to store their belongings.

With the potential for four guests in this room, the required operable drapery panel allows guests to visually separate the room into two sleeping areas. This provides a degree of privacy, as well as the flexibility to begin or end their day at separate times.

The required signature kitchen provides ample storage for guests' items as well as cookware, dishware and cutlery. A portable cooktop allows guests more flexibility for meal preparation.

The furniture is **hyper functional** and **flexible** to accommodate all guest experiences throughout the day.



Guestrooms | Vibrant



Guestrooms | Vibrant



Guestrooms | Vibrant

Mr. Miller,

On behalf of Structured Real Estate and Gatehouse Capital, we are reaching out to discuss our collaborative endeavor—the development of a Home2 Suites by Hilton hotel on Fit Sport Life Blvd., Rockwall, Texas. This project is envisioned as a complementary facility to the Fit Sport Life building and is poised to meet the accommodation needs of families visiting for Amerisports tournaments and other local events. We are submitting this letter as our formal application for a Specific Use Permit (SUP), as guided by our pre-development meeting with your office.

The Home2 Suites brand, a contemporary addition to Hilton's collection, has been carefully selected for its proven appeal to both guests and developers. Its design philosophy, emphasizing guest comfort and safety, aligns with the city's standards for temporary lodging. Notably, the Home2 Suites model is distinct from traditional extended-stay hotels, offering short-term lodging without incentives for long-term stays, thereby aligning more closely with the "Limited-Service Hotel" classification as per Article 13 of the Unified Development Code.

Our market research underscores a substantial demand for quality lodging in Rockwall, with Amerisports projecting an annual requirement of 10,000 to 28,000 room nights. The Home2 Suites hotel is strategically positioned to address this need, enhancing Rockwall's capacity to host visitors and support local economic development.

In addition to serving the weekend family and sports traffic generated by Amerisports tournaments, we anticipate that the Home2 Suites hotel will also cater to the business travel needs of the thriving Rockwall Technology Park and its neighboring companies to the south.

As the Rockwall Technology Park continues to expand and welcome new companies, we anticipate a growing demand for midweek business travel accommodations. The Home2 Suites hotel, with its proximity to the park and its suite of business-friendly amenities, is well-positioned to meet this demand, complementing the weekend family and sports traffic.

The proposed hotel will feature guest-friendly amenities such as a fitness center with Peloton bikes, daily complimentary breakfast, and a swimming pool, all of which are designed to serve the families and sports teams that frequent our city. The hotel's operational model, with an average stay of only 2.7 nights, is tailored to the short term nature of our guests' visits, further distinguishing it from the "Residence Hotel" category.

We are committed to providing a safe, welcoming environment for our guests, with 24/7 staffing and internal corridor access to all guestrooms. This commitment extends to the economic well-being of Rockwall, as the hotel is expected to generate jobs and stimulate local spending.

In light of the above, we respectfully request the City of Rockwall's Planning and Zoning Department's favorable consideration of our SUP application for the Home2 Suites by Hilton hotel. We are enthusiastic about the potential of this project to contribute positively to the Rockwall community and are available to provide any further information or engage in discussions at your convenience.

We appreciate your attention to this matter and look forward to the opportunity to contribute to the city's vibrant future.

Sincerely,

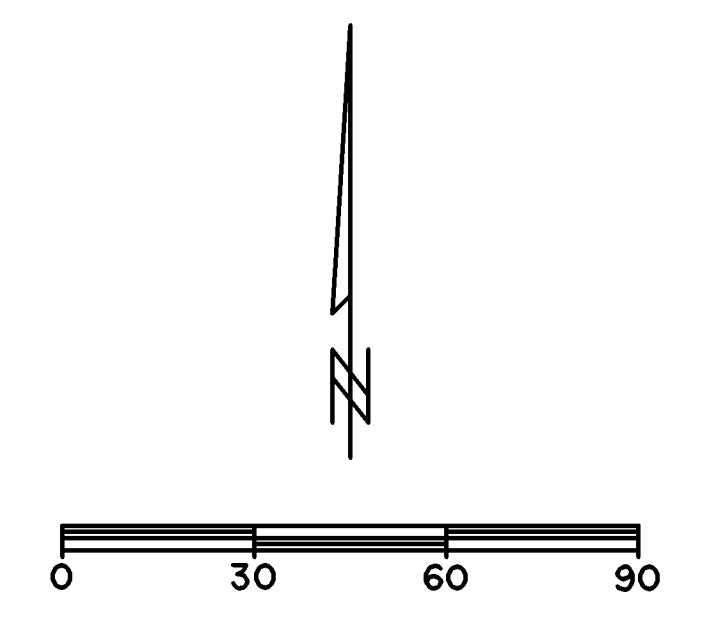
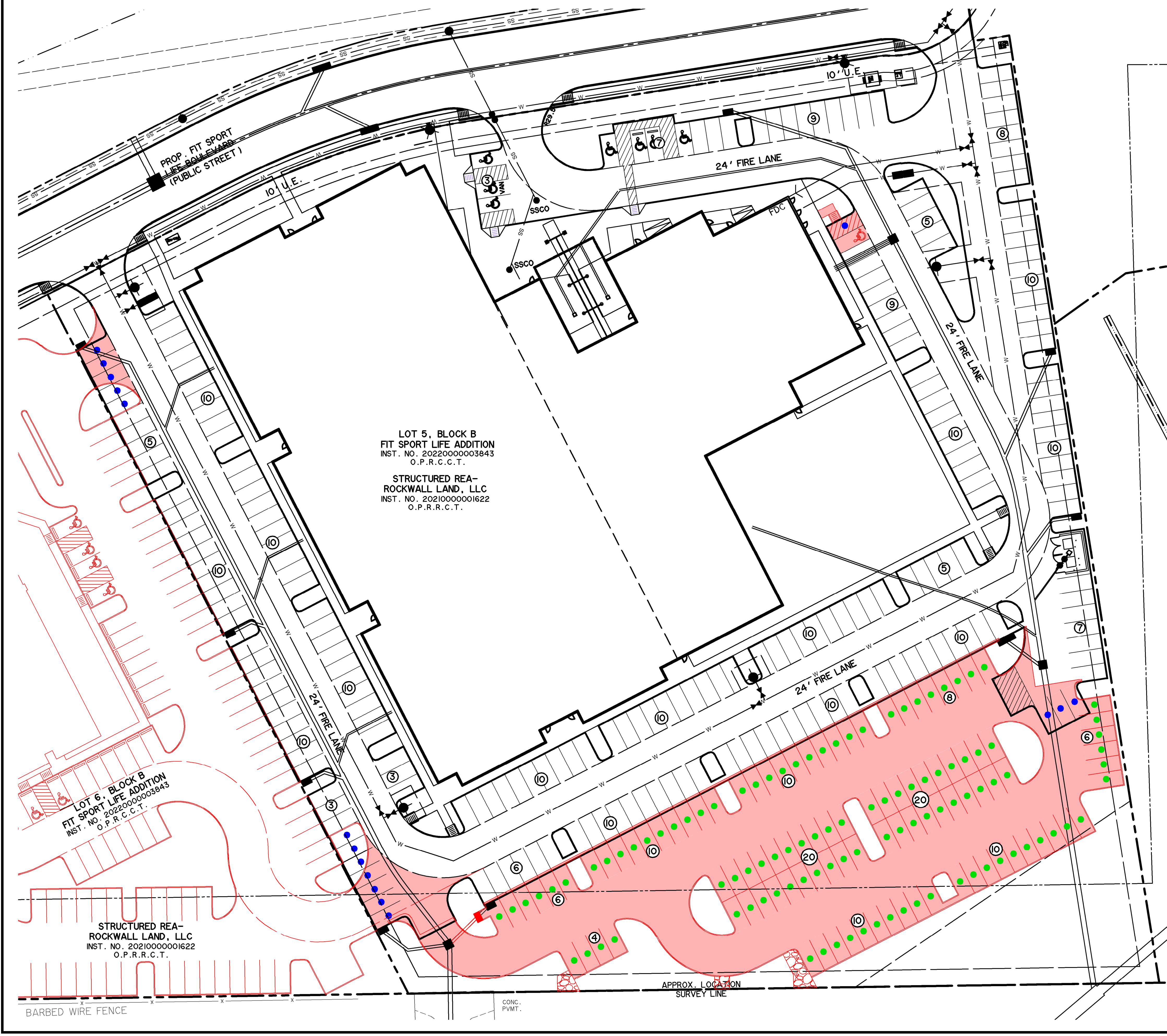


Conor Keilty
Principal
Structured Real Estate



Penn Collins
President and CEO
Gatehouse Capital

PRINTED: 9/10/2024 5TB FILE: WIER-PAVING.STB LAST SAVED: 9/10/2024 4:08 PM. SAVED BY: RENEWE FILE: PARKING COUNT EXHIBIT - 19144.03.DWG



- PARKING SPACE TO BE ADDED
- PARKING SPACE TO BE REMOVED

AMERISPORTS PARKING CALCULATIONS											
PROPOSED BUILDING AREA	87,155 SF±										
BUILDING HEIGHT	1 STORY										
MINIMUM REQUIRED PARKING	<table border="0"> <tr> <td>PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF)</td> <td>56</td> </tr> <tr> <td>PUBLIC RECREATION CLUB: 3/GAME COURT</td> <td>42</td> </tr> <tr> <td>GYM: 1/200 SF (7,000 SF)</td> <td>35</td> </tr> <tr> <td>MEDICAL OFFICE L: 1/200 SF (10,900 SF)</td> <td>54</td> </tr> <tr> <td></td> <td>187</td> </tr> </table>	PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF)	56	PUBLIC RECREATION CLUB: 3/GAME COURT	42	GYM: 1/200 SF (7,000 SF)	35	MEDICAL OFFICE L: 1/200 SF (10,900 SF)	54		187
PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF)	56										
PUBLIC RECREATION CLUB: 3/GAME COURT	42										
GYM: 1/200 SF (7,000 SF)	35										
MEDICAL OFFICE L: 1/200 SF (10,900 SF)	54										
	187										
PREVIOUS MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7										
PREVIOUS PROPOSED PARKING	<table border="0"> <tr> <td>TOTAL STANDARD (9'x20')</td> <td>218</td> </tr> <tr> <td>HANDICAP-ACCESSIBLE</td> <td>7</td> </tr> <tr> <td></td> <td>225</td> </tr> </table>	TOTAL STANDARD (9'x20')	218	HANDICAP-ACCESSIBLE	7		225				
TOTAL STANDARD (9'x20')	218										
HANDICAP-ACCESSIBLE	7										
	225										
UPDATED MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	8										
UPDATED PARKING PROVIDED	<table border="0"> <tr> <td>TOTAL STANDARD (9'x20')</td> <td>306</td> </tr> <tr> <td>HANDICAP-ACCESSIBLE</td> <td>8</td> </tr> <tr> <td></td> <td>314</td> </tr> </table>	TOTAL STANDARD (9'x20')	306	HANDICAP-ACCESSIBLE	8		314				
TOTAL STANDARD (9'x20')	306										
HANDICAP-ACCESSIBLE	8										
	314										

PREPARED BY:
WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76010 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com

PARKING COUNT EXHIBIT

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
 Prepared By/Or Under Direct Supervision Of: Ronald Earley, PE
 Texas Registration No. 104957 On Date Shown Below.

COPYRIGHT © WIER & ASSOCIATES, INC.
 LAST SHEET EDIT DATE: 9/10/2024
 WA# 19144.03
SHEET NO. 1

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESIDENCE HOTEL* ON A 2.819-ACRE PORTION OF A LARGER 4.767-ACRE PARCEL OF LAND IDENTIFIED AS LOT 6, BLOCK B, FIT SPORT LIFE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBITS 'A' AND 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a *Specific Use Permit (SUP)* for a *Residence Hotel* on a 2.819-acre portion of a larger 4.767-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and being more specifically described and depicted in *Exhibits 'A' and 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Residence Hotel* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *General Commercial District Standards*; Subsection 04.05, *Commercial (C) District*; Subsection 06.02, *General Overlay District Standards*; and, Subsection 06.13, *FM-549 Overlay District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Residence Hotel* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this Specific Use Permit (SUP) ordinance for the development of a *Residence Hotel*.
- (2) The development of the subject property shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) and review and recommendation by the Architecture Review Board (ARB) prior to approval by the Planning and Zoning Commission at the time of site plan. In addition, the approval of this Specific Use Permit (SUP) shall not constitute the approval of a variance or exception to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the *Residence Hotel*.
- (3) The maximum overall height of the building shall not exceed four (4)-stories or 60-feet.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the

application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF DECEMBER, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 18, 2024

2nd Reading: December 2, 2024

Exhibit 'A'
Legal Description

BEING a tract of land located in the Robert Boyd Irvine Survey, Abstract No. 120, Rockwall County, Texas, being a portion of Lot 6, Block B, Fit Sport Life Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plat recorded in Instrument No. 2022000003843, official public records, Rockwall County, Texas (O.P.R.C.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a ½" iron rod with cap stamped "Wier & Assoc Inc", in the south right-of-way line of Fit Sport Life Boulevard (a 60' right-of-way), said iron rod being the northeast corner of said Lot 6 and the northwest corner of Lot 5, Block B of said Fit Sport Life Addition;

THENCE S 27°18'10" E, departing the south right-of-way line of said Fit Sport Life Boulevard, along the east line of said Lot 6 and the west line of said Lot 5, a distance of 471.23 feet to a ½" iron rod found with a cap stamped "Wier & Assoc Inc", in the north line of Lot 1, Block B, Rockwall Technology Park Phase IV, an addition to the City of Rockwall, Rockwall County, Texas according to the plat recorded in Instrument No. 20160000023061, O.P.R.R.C.T., said iron being the southeast corner of said Lot 6 and the southwest corner of said Lot 5.

THENCE S 89°10'38" W, along the south line of said Lot 6 and the north line of said Lot 1, a distance of 424.11 feet to a point;

THENCE N 00°36'39" W, departing the south line of said Lot 6 and the north line of said Lot 1, a distance of 149.65 feet to a point, being the beginning of a curve to the left;

THENCE Northwesterly, an arc length of 48.96 feet along said curve to the left, having a radius of 110.00 feet, a delta angle of 25°30'11", and a chord bearing N 13°21'44" W, a distance of 48.56 feet to a point;

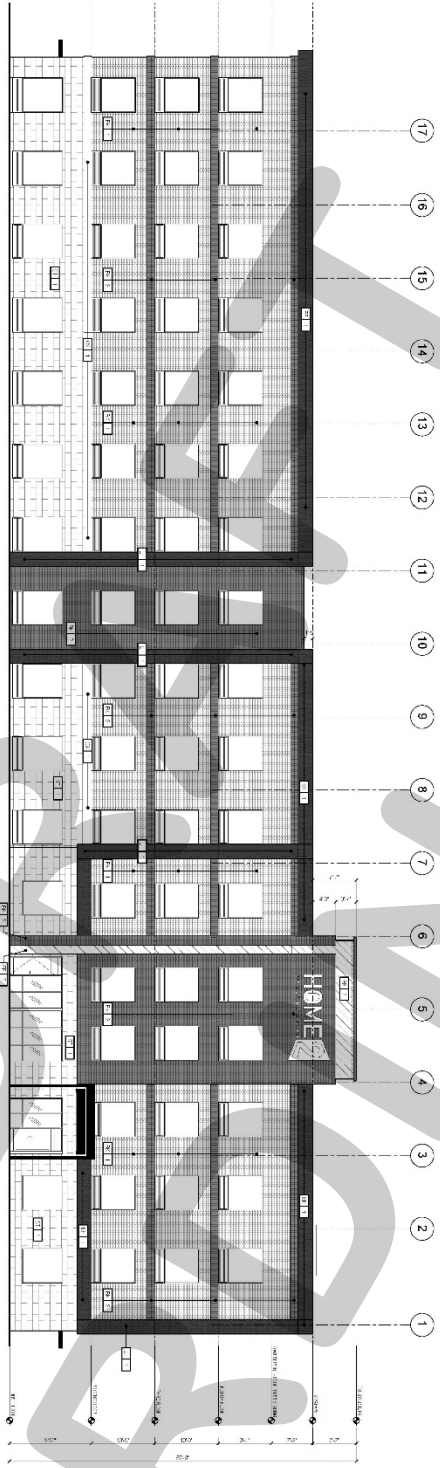
THENCE N 26°06'50" W, a distance of 109.76 feet to a point in the north line of said Lot 6 and in the south right-of-way line of said Fit Sport Life Boulevard, being the beginning of a non-tangent curve to the left;

THENCE Northeasterly, an arc length of 50.67 feet along the north line of said Lot 6, the south right-of-way line of said Fit Sport Life Boulevard, and said curve to the left, having a radius of 530.00 feet, a delta angle of 05°28'40", and a chord bearing of N 65°23'25" E, a distance of 50.65 feet to a ½" iron rod found with a cap stamped "Wier & Assoc Inc";

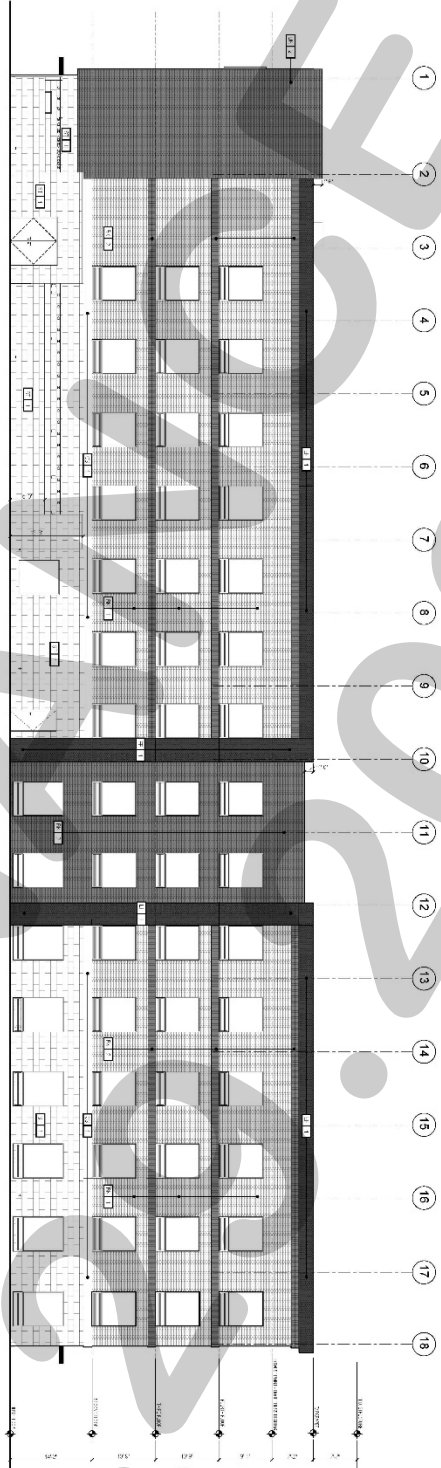
THENCE N 62°39'05" E, continuing along the north line of said Lot 6 and the south right-of-way line of said Fit Sport Life Boulevard, a distance of 235.27 feet to the place of beginning and containing 2.819 acres (122,785 square feet) of land, more or less.

Exhibit 'C': Building Elevations

4 EXTERIOR ELEVATION - EAST



5 EXTERIOR ELEVATION - WEST



BUILDING ELEVATION AREAS											
AREA	FINISH	TEXTURE	WALL	ROOF	SPR	SPR	SPR	SPR	SPR	SPR	SPR
1	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
2	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
3	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
4	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
5	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
6	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
7	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
8	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
9	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
10	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
11	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
12	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
13	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
14	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
15	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
16	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
17	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT
18	BRICK	SMOOTH	CONCRETE	FLAT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT	ASPH/FLT

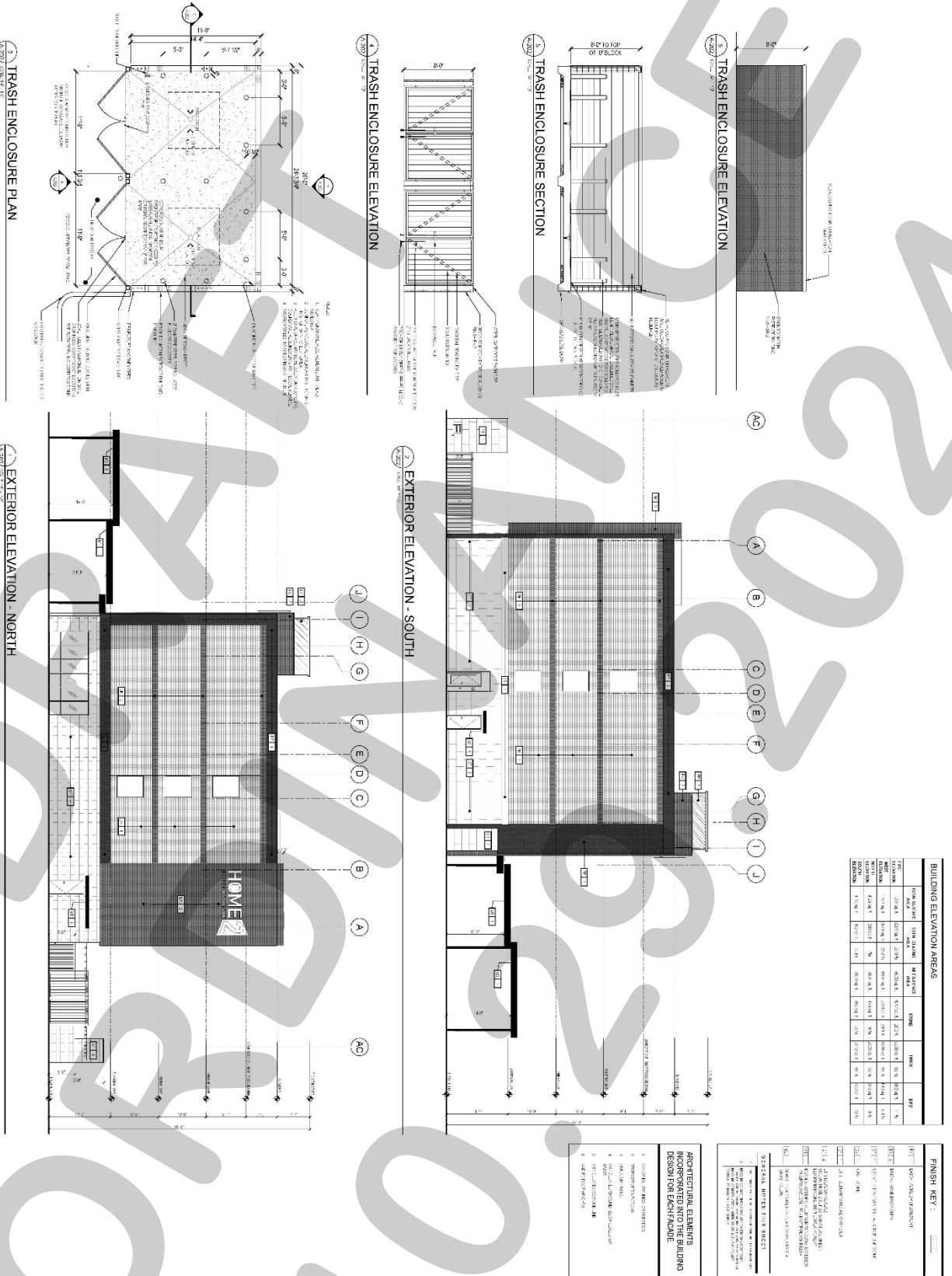
FINISH KEY:

- 1. BRICK
- 2. CONCRETE
- 3. ASPHALT/FLY ASH
- 4. METAL PANELS
- 5. GLASS
- 6. STAINLESS STEEL
- 7. ALUMINUM
- 8. POLYURETHANE
- 9. POLYURETHANE
- 10. POLYURETHANE
- 11. POLYURETHANE
- 12. POLYURETHANE
- 13. POLYURETHANE
- 14. POLYURETHANE
- 15. POLYURETHANE
- 16. POLYURETHANE
- 17. POLYURETHANE
- 18. POLYURETHANE

ARCHITECTURAL ELEMENTS INCORPORATED INTO THE BUILDING DESIGN FOR EACH FACADE:

1. CORNICE
2. MODERN
3. CLASSIC
4. MODERN
5. MODERN
6. MODERN
7. MODERN
8. MODERN
9. MODERN
10. MODERN
11. MODERN
12. MODERN
13. MODERN
14. MODERN
15. MODERN
16. MODERN
17. MODERN
18. MODERN

Exhibit 'C': Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: Z2024-050
PROJECT NAME: Lot 5AR
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1340-acre parcel of land identified as Lot 5A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	10/24/2024	Approved w/ Comments

10/24/2024: THIS CASE VIOLATES THE ANTI-MONOTONY STANDARDS WITH CASE # Z2024-050

10/24/2024: Z2024-050; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1340-acre parcel of land identified as Lot 5A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, and generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-050) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within 500-feet of the Bishop Second and Eppstein Subdivisions which have been in existence for more than ten (10) years, consist of more than five (5) lots, and are considered to be 100% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 Garage Requirements. According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is approximately two (2) feet in front of the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

M.7 Anti-Monotony Standards. According to Subsection 03.01(D), Anti-Monotony, of Article 05, District Development Standards, of the Unified Development Code (UDC), the front building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least five (5) intervening homes of differing appearance. Identical building material blends and colors may not occur on adjacent (side by-side) properties. Homes are considered to differ in appearance if any three (3) elements are different:

- (a) The number of stories of the home.
- (b) The garage location/orientation on the home.
- (c) The roof type and layout of the home.
- (d) The articulation of the front façade of the home.

In this case, the request for residential infill associated with Case No. Z2024-051 is proposing the exact same elevation as the subject property. This will not meet the anti-monotony requirements and will require an exception from the Planning and Zoning Commission.

M.8 Ordinances. Please review the attached draft ordinance prior to the November 12, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by November 5, 2024.

I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 29, 2024, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on November 12, 2024.

I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be November 18, 2024 (1st Reading) and December 2, 2024 (2nd Reading).

I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved w/ Comments

- 10/23/2024:
1. Driveway radius cannot extend past property line.
 2. Additional comments may be provided at time of Building Permit.
 3. Both drives will require a culvert. Culvert must be designed by an engineer, a minimum 18", and must be RCP.
 4. Water services will have to be off of 1 City meter/service or two separate service to the main. Bulling heading of meters off 1 service line is not allowed. If doing 1 service line and City meter, can sub-meter after City's meter. City water main is on opposite side of the roadway.
 5. Sewer will have to be either 1 service or two. If each unit has it's own City meter, but be two separate sewer services. City sewer main is under the road.
 6. New services to City mains will be at owner's expense.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/24/2024	Approved

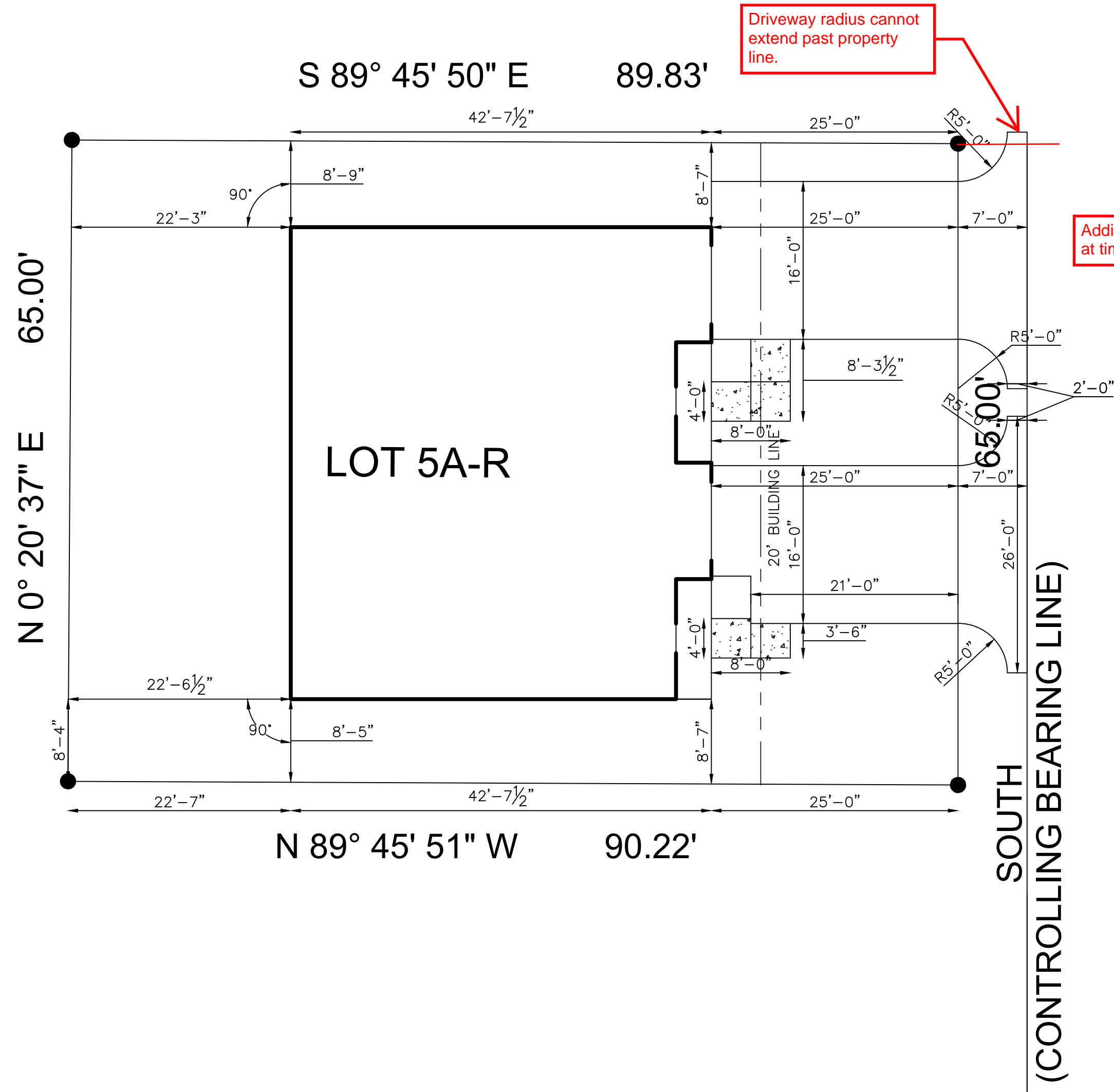
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

GIS	Lance Singleton	10/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved
No Comments			



Driveway radius cannot extend past property line.

Additional comments may be provided at time of Building Permit.

Both drives will require a culvert. Culvert must be designed by an engineer, a minimum 18", and must be RCP.

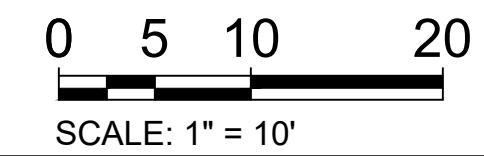
FLATWORK AREA CALCULATIONS 5A-R	
DRIVEWAYS	781 SQ FT
APRONS	286 SQ FT
SIDEWALKS	79 SQ FT
TOTAL	1,146 SQ FT

Water services will have to be off of 1 City meter/service or two separate service to the main. Bulling heading of meters off 1 service line is not allowed. If doing 1 service line and City meter, can sub-meter after City's meter. City water main is on opposite side of the roadway.

Sewer will have to be either 1 service or two. If each unit has it's own City meter, but be two separate sewer services. City sewer main is under the road.

New services to City mains will be at owner's expense.

BOST ST.
40' R.O.W.



These architectural drawings have been prepared for use by the client and are for architectural design only. Civil, structural, mechanical, and other related engineering design and specifications are the responsibility of the respective engineer. Compliance to these drawings will be the responsibility of the owner or his appointed general contractor. Local building codes should be conformed to. All measurements shall be verified by the contractor performing the respective work.

LOT 5A-R & LOT 6A-R
LOFLAND SUBDIVISION
B.F. BOYDSTRUM SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL
ROCKWALL COUNTY, TX

BOST ST. DUPLEXES
Prepared for:
JIM JOYCE HOMES, LLC

DRAFTING SERVICES	
1171 RIVER CREST DR GLEN ROSE, TX 76043	
504-251-9597	
DRAWN BY: TLG	
SCALE: AS SHOWN	
JOB NO: 241001	SHEET NO. SITE
DATE: 10/15/24	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

BOST

SUBDIVISION

LOFLAND SUBDIVISION BF BOYD SR

LOT

5AR

BLOCK

GENERAL LOCATION

SURVY ABSTRACT 14

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

2F

CURRENT USE

PROPOSED ZONING

2F

PROPOSED USE

2F DUALFD

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

JIM JOYCE JFI SERVICES LLC

APPLICANT

JIM JOYCE

CONTACT PERSON

JIM JOYCE

CONTACT PERSON

SAME

ADDRESS

453 CREEK CROSSING LN

ADDRESS

CITY, STATE & ZIP

ROYSLE CITY TX 75189

CITY, STATE & ZIP

PHONE

972-849-1034

PHONE

E-MAIL

Jim@JimJoyceHomes.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

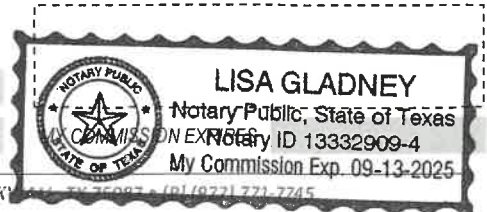
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jim Joyce [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF OCTOBER 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF OCTOBER 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 5 10 20 30 40 Feet

Z2024-050: Specific Use Permit (SUP) for a Residential Infill Lot 5AR



2F

BOST ST

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

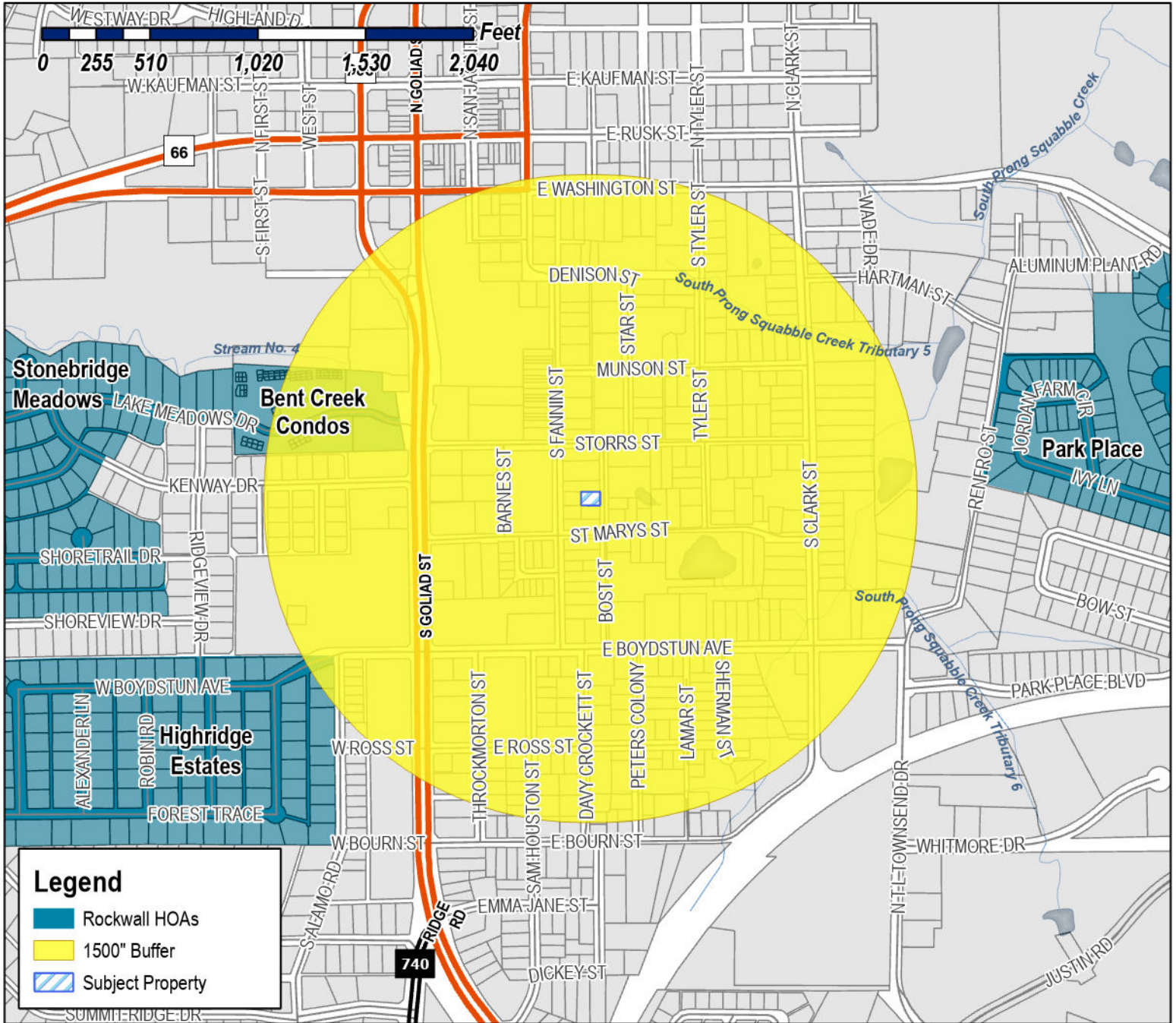




City of Rockwall

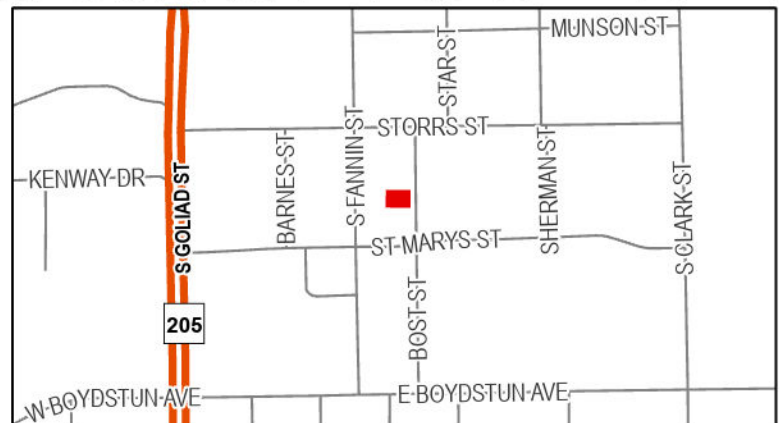
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-050
Case Name: Specific Use Permit (SUP) for Residential Infill
Case Type: Zoning
Zoning: Two Family (2F) District
Case Address: Lot 5AR

Date Saved: 10/18/2024
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-050]
Date: Wednesday, October 23, 2024 2:28:40 PM
Attachments: [Public Notice \(P&Z\) \(10.22.2024\).pdf](#)
[HOA Map \(10.23.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, October 25, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, November 12, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, November 18, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2024-050: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision on a 0.1340-acre parcel of land identified as Lot 5A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

Thank you,

Melanie Zavala

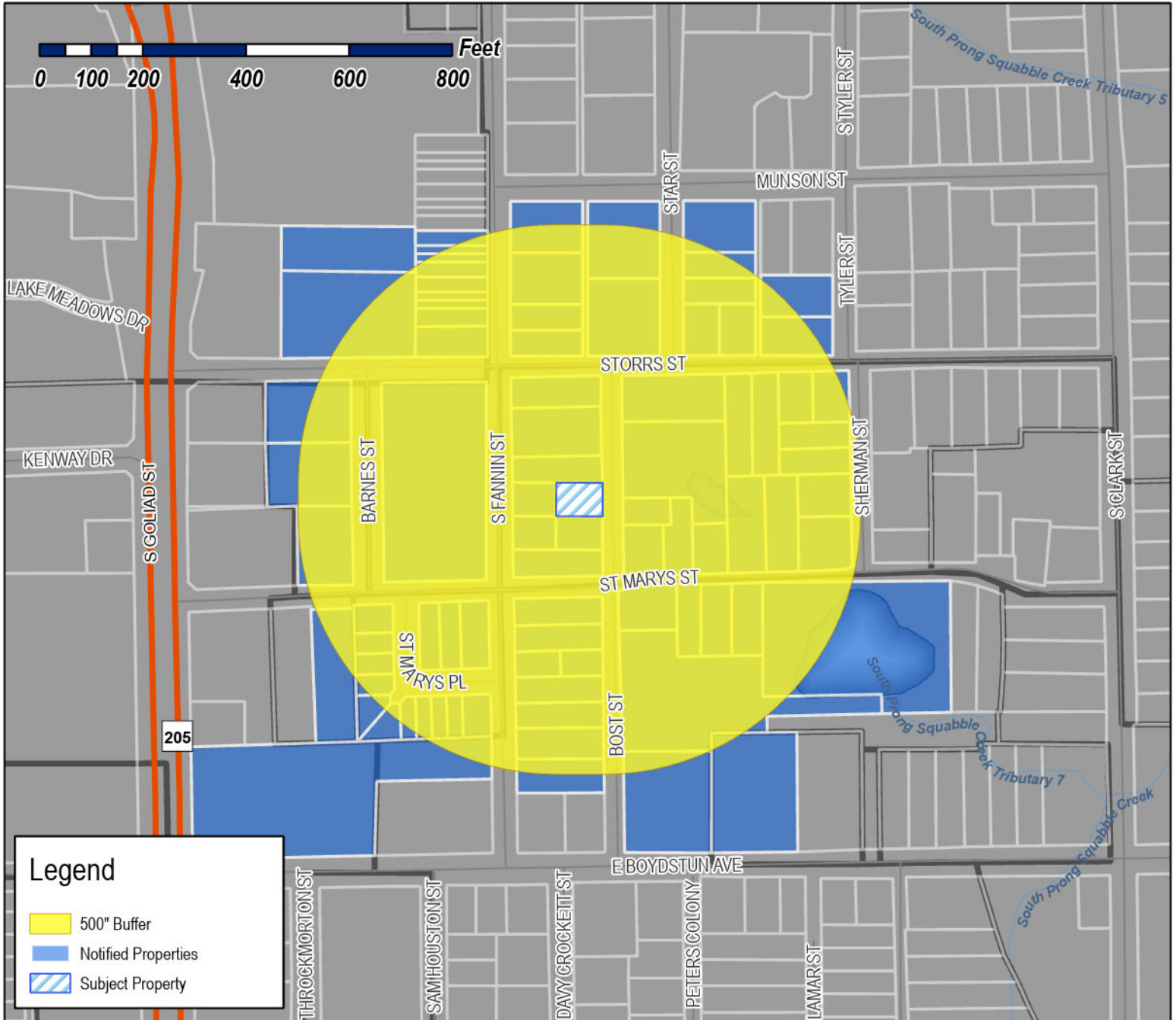
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

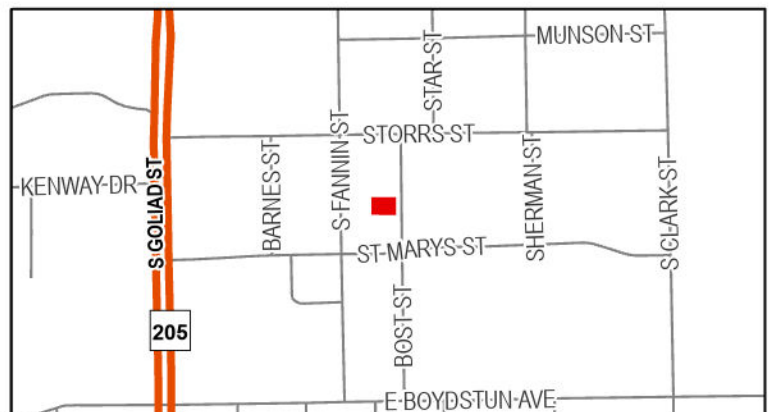
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-050
Case Name: Specific Use Permit (SUP) for Residential Infill
Case Type: Zoning
Zoning: Two Family (2F) District
Case Address: Lot 5AR

Date Saved: 10/18/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT
108 ST MARY
ROCKWALL, TX 75087

EGAN ASHLEY
109 ST MARY ST
ROCKWALL, TX 75087

LINDLEY ROBERT AND SHERRY
109 ST MARYS STREET
ROCKWALL, TX 75087

LAKEPOINTE ENTERPRISES LLC
1309 MORAIN PL
HEATH, TX 75032

LAKEPOINTE ENTERPRISES LLC
1309 MORAIN PL
HEATH, TX 75032

HEATH RENTAL PROPERTIES LLC
1309 MORAIN PLACE
HEATH, TX 75032

HEATH RENTAL PROPERTIES LLC
1309 MORAIN PLACE
HEATH, TX 75032

THURSTON-KAHLE CHERYL
145 WESTWOOD DR
ROCKWALL, TX 75032

THURSTON-KAHLE CHERYL
145 WESTWOOD DR
ROCKWALL, TX 75032

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

PRITCHARD GARY W & DONNA C
1610 SHORES BLVD
ROCKWALL, TX 75087

PRITCHARD GARY W & DONNA C
1610 SHORES BLVD
ROCKWALL, TX 75087

PRITCHARD GARY W & DONNA C
1610 SHORES BLVD
ROCKWALL, TX 75087

PLISKA KAREN
1685 PLUMMER DR
ROCKWALL, TX 75087

ROGERS JOE FRANK
1829 KELLY LN
ROCKWALL, TX 75087

HEAD TIM
1884 TAHOE DRIVE
ROCKWALL, TX 75087

MORGENSTERN CHRISTIAN
1957 E. FM 550
ROCKWALL, TX 75032

RICKARDS NATALIE
202 ST MARY'S PL
ROCKWALL, TX 75087

MOORE GLEN & JACKIE
2026 SUNNY CIR
ROCKWALL, TX 75032

FALONE MARY ELLEN
204 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
205 ST MARYS PL
ROCKWALL, TX 75087

MORKEN PETER & GAY ANDERSON
GILMA L MORKEN LIFE ESTATE
206 SAINT MARYS PL
ROCKWALL, TX 75087

RESIDENT
210 ST MARYS PL
ROCKWALL, TX 75087

COLLICHIO KIMBERLY ANN
210 RAINBOW CIR
ROCKWALL, TX 75032

CROSS RICK D & KIMBERLY
210 RAINBOW CIR
ROCKWALL, TX 75032

CROSS RICK D & KIMBERLY
210 RAINBOW CIR
ROCKWALL, TX 75032

RESIDENT
212 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
214 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
216 ST MARYS PL
ROCKWALL, TX 75087

CHANNELL ALEXANDER B & LEYLA M BATTISTA-
CHANNELL
218 SAINT MARYS PL
ROCKWALL, TX 75087

RESIDENT
219 ST MARYS PL
ROCKWALL, TX 75087

MCGEE DWONE
220 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
221 ST MARYS PL
ROCKWALL, TX 75087

THOMPSON MAVIS Y
222 ST MARYS PLACE
ROCKWALL, TX 75087

RESIDENT
223 ST MARYS PL
ROCKWALL, TX 75087

VIZCAINO-LEPE SINUHE
22710 1ST DRIVE SE
BOTHELL, WA 98021

SPAMPINATO MICHELE AND KACI D
300 MUNSON ST
ROCKWALL, TX 75087

ZYLKA JOE AND
RAY SPERRING
3021 RIDGE ROAD A66
ROCKWALL, TX 75032

HORTON DARJUAN CORTEZ AND NATALIE
3042 LONGHORN LN
ROCKWALL, TX 75087

MCKINNEY TERRY WAYNE
308 MUNSON ST
ROCKWALL, TX 75087

MCKINNEY TERRY W & LINDA A
308 MUNSON ST
ROCKWALL, TX 75087

CULLINS JAMES &
SHARON DAY
315 S FANNIN
ROCKWALL, TX 75087

RESIDENT
402 MUNSON ST
ROCKWALL, TX 75087

RESIDENT
402-502 STORRS ST
ROCKWALL, TX 75087

COOK RENE COMPTON
403 STAR ST
ROCKWALL, TX 75087

COOK KASHONDRA RENE
405 STAR ST
ROCKWALL, TX 75087

RESIDENT
406 S FANNIN ST
ROCKWALL, TX 75087

DAFFRON JORDAN RENICK
406 S FANNIN STREET #B
ROCKWALL, TX 75087

BKN REALTY LLC
406 STAR ST
ROCKWALL, TX 75087

LECOUR CARY &
MARISA SCHEXNAYDER
406 TYLER ST
ROCKWALL, TX 75087

RESIDENT
407 S FANNIN ST
ROCKWALL, TX 75087

WANDERER KATHY L
408 S FANNIN ST APT D
ROCKWALL, TX 75087

RESIDENT
408 S FANNIN ST
ROCKWALL, TX 75087

MARLOW SHIRLEY A
409 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
410 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
411 S FANNIN ST
ROCKWALL, TX 75087

JFI SERIES 1 (BOST 5A-R), LLC A SERIES OF JFI JFI
SERIES LLC
453 CREEK CROSSING LN
ROYSE CITY, TX 75189

JFI SERIES 1 (BOST 6A-R), LLC A SERIES OF JFI
SERIES LLC
453 CREEK CROSSING LN
ROYSE CITY, TX 75189

CONFIDENTIAL
4595 E FM 552
ROCKWALL, TX 75087

RESIDENT
500-502 SHERMAN ST
ROCKWALL, TX 75087

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
501 S FANNIN ST
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES SERIES LLC
501 STORRS STREET
ROCKWALL, TX 75087

RESIDENT
504 STORRS ST
ROCKWALL, TX 75087

MERRITT CRAIG
504 BARNES ST
ROCKWALL, TX 75087

RESIDENT
504-506 SHERMAN ST
ROCKWALL, TX 75087

VELEZ HENRRY AND CEDYS
505 S FANNIN ST
ROCKWALL, TX 75087

HARBISON LLOYD
505 SAINT MARY ST
ROCKWALL, TX 75087

MECA PHILIPPE
505 STORRS ST
ROCKWALL, TX 75087

BAXTER C STEPHEN AND SHAWN RENAE
506 BARNES STREET
ROCKWALL, TX 75087

RESIDENT
507 ST MARYS ST
ROCKWALL, TX 75087

MCDONALD MICHAEL & CARA
507 BOST STREET
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

SALINAS ANTONIO & ELISA
507 S FANNIN ST
ROCKWALL, TX 75087

UNRUH JON CLINT AND SHANNON L
508 ST MARY ST
ROCKWALL, TX 75087

RESIDENT
509 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
509 STORRS ST
ROCKWALL, TX 75087

COLEMAN FREDY ORLANDO & SILVIA A
HERNANDEZ
509 BOST ST
ROCKWALL, TX 75087

RESIDENT
509 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
510 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
510-512 STORRS ST
ROCKWALL, TX 75087

RESIDENT
511 S FANNIN ST
ROCKWALL, TX 75087

WILLET CAROLINE G
511 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
512 ST MARYS ST
ROCKWALL, TX 75087

2022 T A JOHNSON REVOCABLE TRUST
513 SAINT MARY ST
ROCKWALL, TX 75087

2022 T A JOHNSON REVOCABLE TRUST
513 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
514-516 STORRS ST
ROCKWALL, TX 75087

RESIDENT
517 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
518-520 STORRS ST
ROCKWALL, TX 75087

WALDON CHRYSSTEEN & DAVID
601 BOST ST
ROCKWALL, TX 75087

RESIDENT
601 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
603 S FANNIN ST
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

RESIDENT
605 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
605 S FANNIN ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
607 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
609 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
609 S GOLIAD
ROCKWALL, TX 75087

NONUS SHELLY REYNA AND THOMAS
611 FANNIN STREET
ROCKWALL, TX 75087

TANNER TRUDY LEANN
613 S FANNIN
ROCKWALL, TX 75087

NEXT ROCKWALL REALTY LLC
6444 N RIDGEWAY AVE
LINCOLNWOOD, IL 60712

NEXT ROCKWALL REALTY LLC
6444 N RIDGEWAY AVE
LINCOLNWOOD, IL 60712

NEXT ROCKWALL REALTY LLC
6444 N RIDGEWAY AVE
LINCOLNWOOD, IL 60712

HONEA ADAM AND LAURIE
670 COUNTY ROAD 3417
LEESBURG, TX 75451

HONEA ADAM AND LAURIE
670 COUNTY ROAD 3417
LEESBURG, TX 75451

TOVAR MARIO & HORTENCIA
8861 CR 2474
ROYSE CITY, TX 75189

GREENS CHRYSALIS TRUST
MAUREEN GREEN- TRUSTEE
945 BREEZY HILL LANE
ROCKWALL, TX 75087

GREENS CHRYSALIS TRUST
MAUREEN GREEN- TRUSTEE
945 BREEZY HILL LANE
ROCKWALL, TX 75087

504-506 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

514-516 STORRS A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

500-502 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

518-520 STORRS, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

504-506 STORRS, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

504-506 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

510-512 STORRS, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIRCLE
ROCKWALL, TX 75087

POPE JOSHUA
P.O. BOX 2107
FORNEY, TX 75126

JUICEBOX HOLDINGS, LLC - SERIES 509A S
FANNIN
PO BOX 1835
ROWLETT, TX 75030

JUICEBOX HOLDINGS LLC- SERIES 511 S FANNIN
PO BOX 1835
ROWLETT, TX 75088

UNITED STATES POSTAL SERVICES
PO BOX 667160
DALLAS, TX 75266

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-050: Specific Use Permit for a Residential Infill

Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a *Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision* on a 0.1340-acre parcel of land identified as Lot 5A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 12, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 18, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 18, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-050: Specific Use Permit for a Residential Infill

Please place a check mark on the appropriate line below:

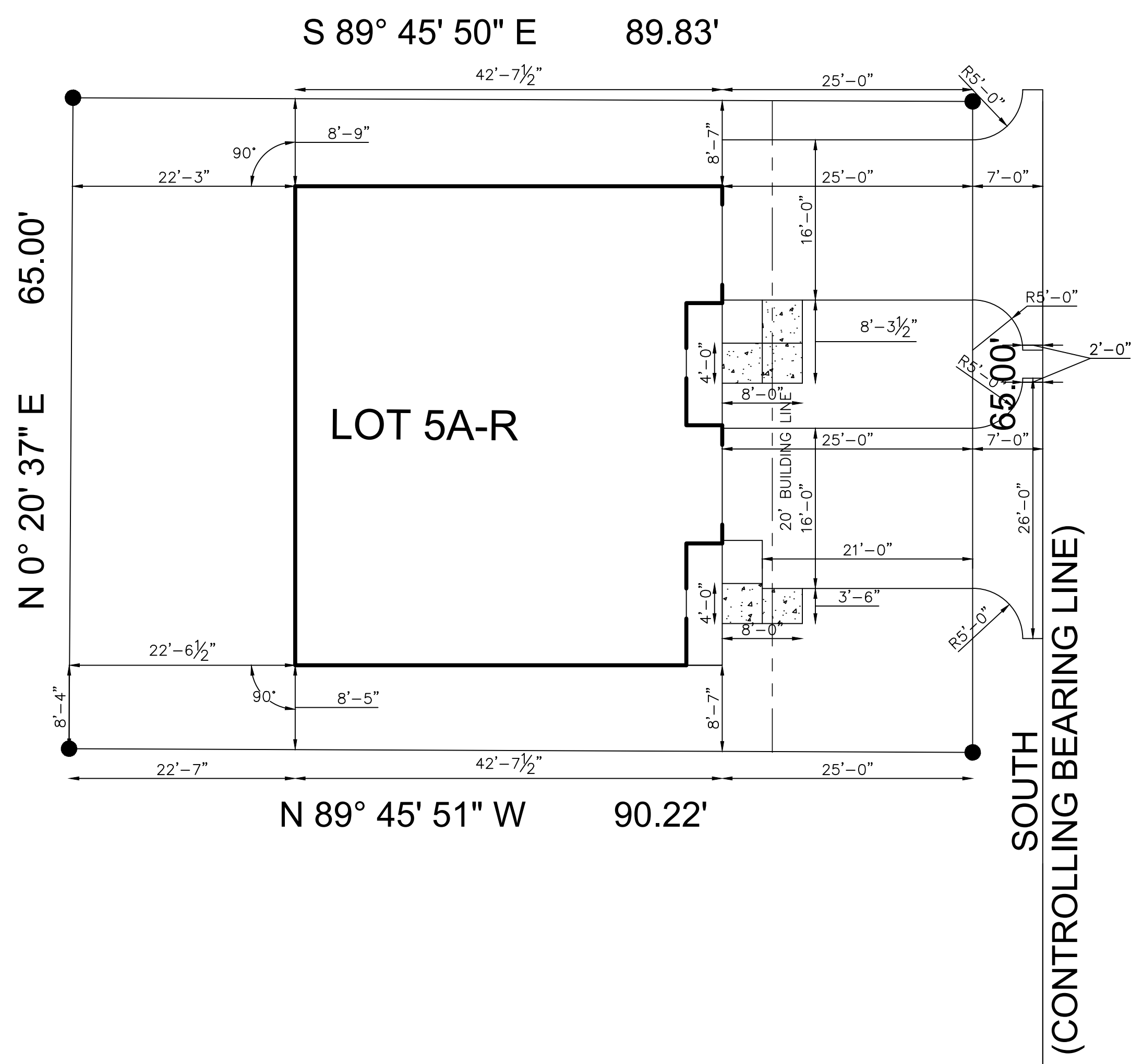
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

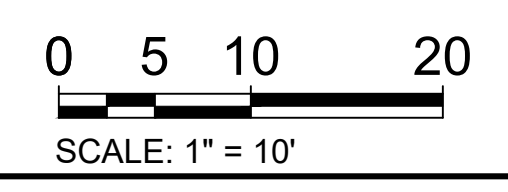
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FLATWORK AREA CALCULATIONS 5A-R	
DRIVEWAYS	781 SQ FT
APRONS	286 SQ FT
SIDEWALKS	79 SQ FT
TOTAL	1,146 SQ FT



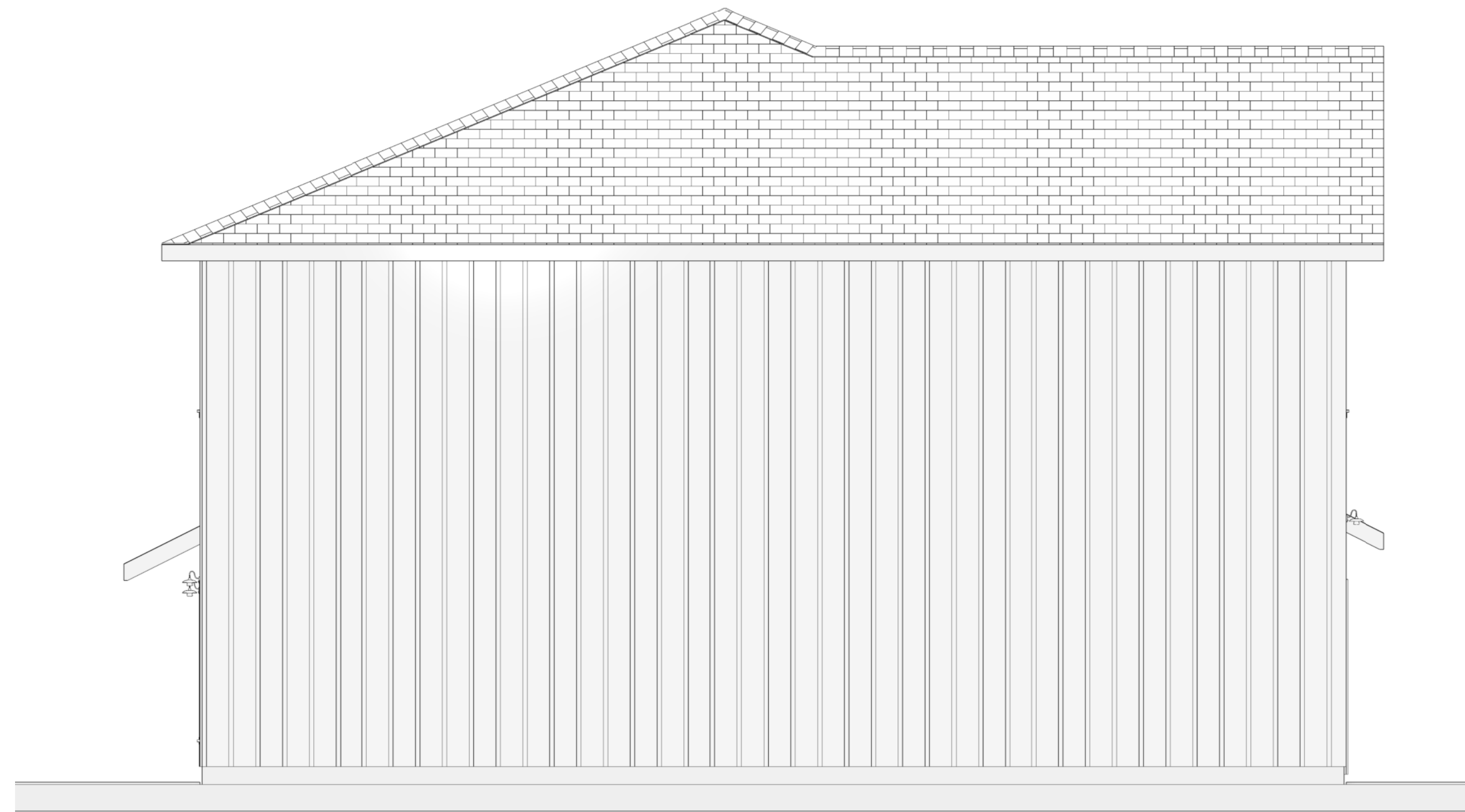
<small>These architectural drawings have been prepared for use by the client and are for architectural design only. Civil, structural, mechanical, and other related engineering design and specifications are the responsibility of the respective engineer. Compliance to these drawings will be the responsibility of the owner or his appointed general contractor. Local building codes should be conformed to. All measurements shall be verified by the contractor performing the respective work.</small>	BOST ST. DUPLEXES Prepared for: JIM JOYCE HOMES, LLC		DRAFTING SERVICES 1171 RIVER CREST DR GLEN ROSE, TX 76043 504-251-9597
	LOT 5A-R & LOT 6A-R LOFLAND SUBDIVISION B.F. BOYDSTRUM SURVEY, ABSTRACT NO. 14 CITY OF ROCKWALL ROCKWALL COUNTY, TX		DRAWN BY: TLG SCALE: AS SHOWN
	JOB NO: 241001 DATE: 10/15/24		SHEET NO: SITE
	<small>ROCKWALL COUNTY, TX</small>		



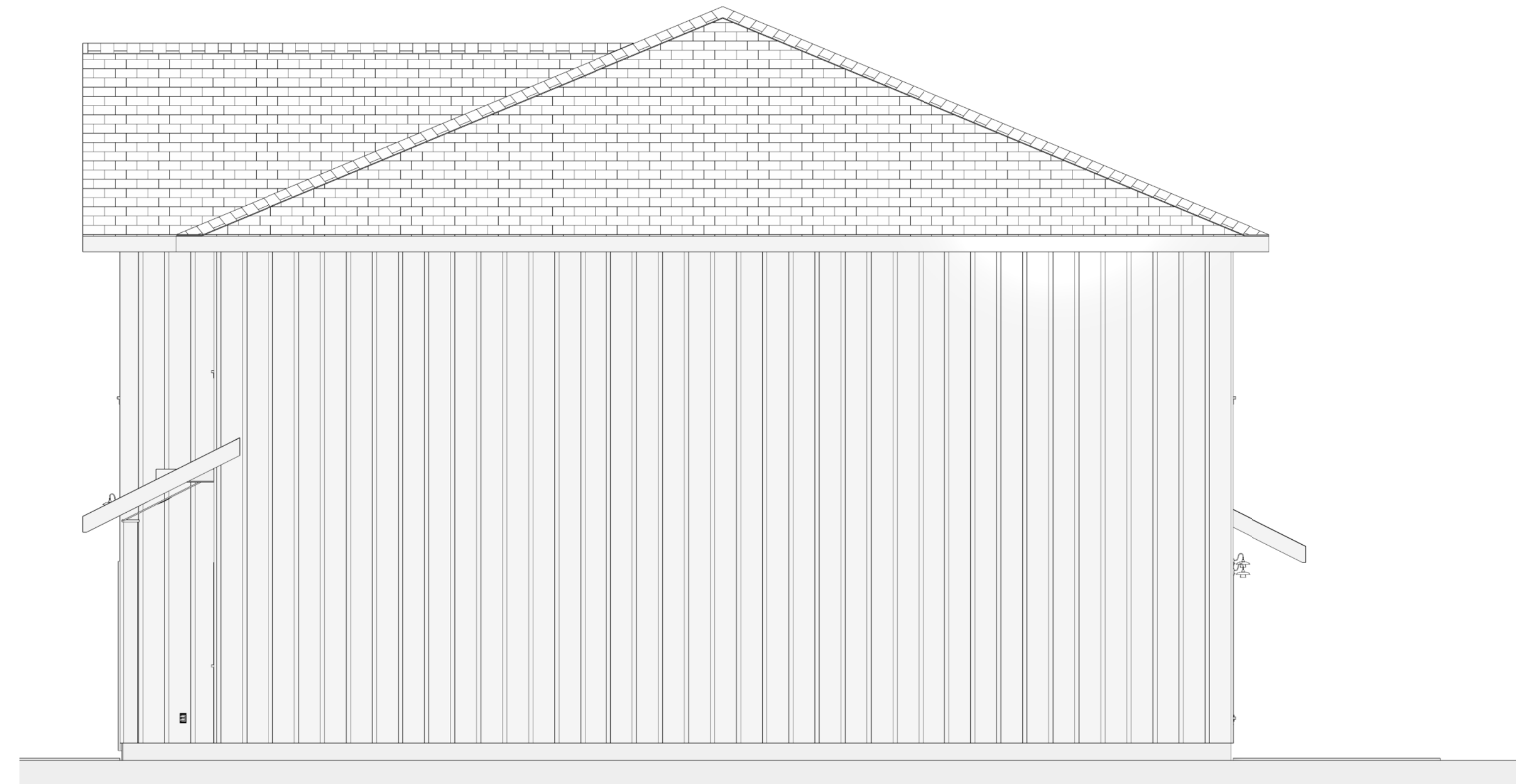
Exterior Elevation Front



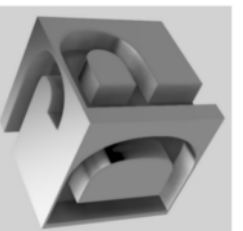
Exterior Elevation Back



Exterior Elevation Left



Exterior Elevation Right







CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-050

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
402-502 Storrs Street	Housing Authority	N/A	N/A	N/A	Brick and Siding
507 Bost Street	Single-Family Home	1985	1,796	144	Siding
509 Bost Street	Single-Family Home	1980	1,379	589	Siding
505 St. Mary's Street	Single-Family Home	1985	1,275	100	Siding
501 S. Fannin Street	Commercial Lot	1984	9,804	N/A	N/A
505 S. Fannin Street	Single-Family Home	1972	2,105	1032	Brick
507 S. Fannin Street	Single-Family Home	1965	958	N/A	Siding
509 A & B S. Fannin Street	Duplex	1975	2,127	N/A	Siding
511 & 513 S. Fannin Street	Duplex	1975	2,088	N/A	Siding
517 S. Fannin Street	Single-Family Home	1967	2,190	N/A	Siding
AVERAGES:		1976	2,636	466	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-050

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



402-502 Storrs Street



507 Bost Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-050

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



509 Bost Street



505 St. Mary's Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-050

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



501 S. Fannin Street



505 S. Fannin Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-050

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



507 S. Fannin Street



509 A & B S. Fannin Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-050

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



511 & 513 S. Fannin Street



517 S. Fannin Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.1340-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5A-R OF THE LOFLAND ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jim Joyce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a duplex on a 0.1340-acre parcel of land identified as Lot 5A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two Family (2F) District land uses, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a duplex in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a duplex on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a duplex on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF DECEMBER, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: November 18, 2024

2nd Reading: December 2, 2024

**Exhibit 'A':
Location Map**

Address: West side of Bost Street and North of the intersection of St. Mary's Street and Bost Street

Legal Description: Lot 5A-R of the Lofland Addition



Exhibit 'B':
Residential Plot Plan

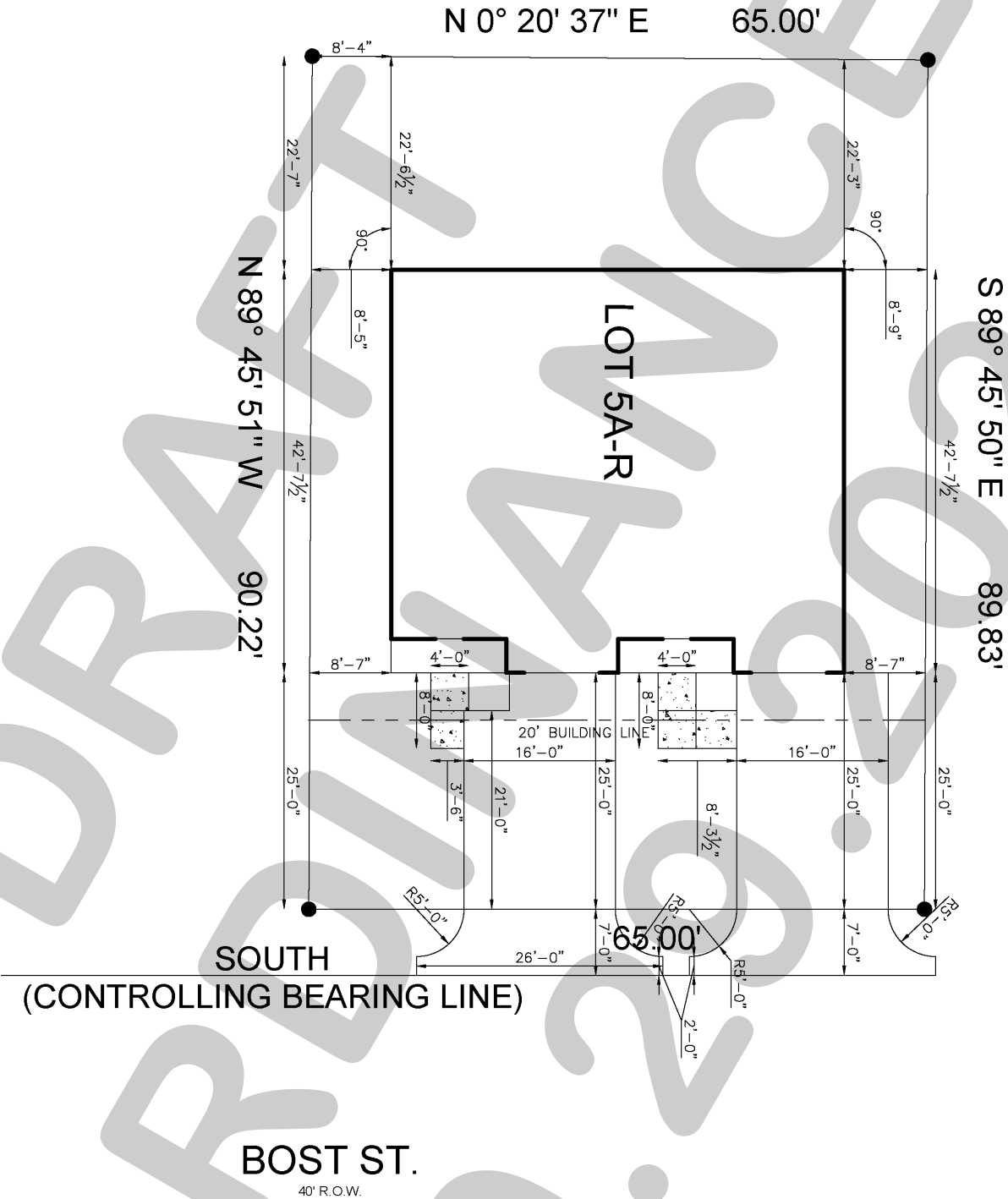
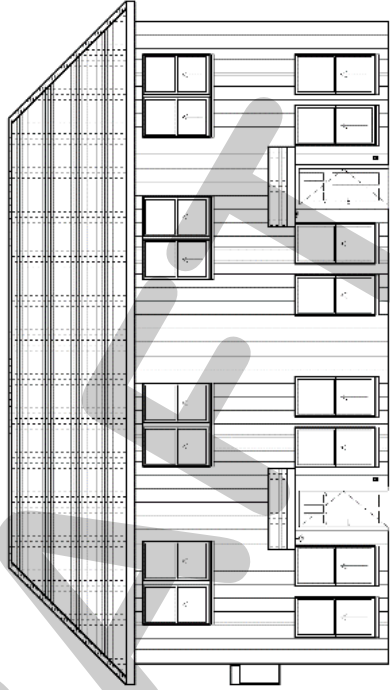


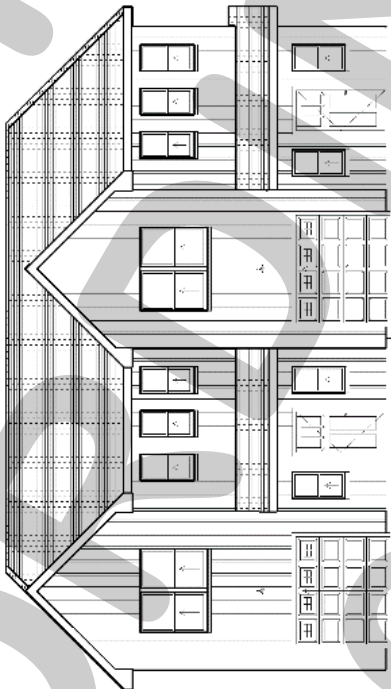
Exhibit 'C':
Building Elevations



Exterior Elevation Back



Exterior Elevation Right



Exterior Elevation Front



Exterior Elevation Left

Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: Z2024-051
PROJECT NAME: Lot 6AR
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1340-acre parcel of land identified as Lot 6A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	10/24/2024	Approved w/ Comments

10/24/2024: Z2024-051; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1340-acre parcel of land identified as Lot 6A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, and generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-051) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within 500-feet of the Bishop Second and Eppstein Subdivisions which have been in existence for more than ten (10) years, consist of more than five (5) lots, and are considered to be 100% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 Garage Requirements. According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is approximately two (2) feet in front of the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

M.7 Anti-Monotony Standards. According to Subsection 03.01(D), Anti-Monotony, of Article 05, District Development Standards, of the Unified Development Code (UDC), the front

building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least five (5) intervening homes of differing appearance. Identical building material blends and colors may not occur on adjacent (side by-side) properties. Homes are considered to differ in appearance if any three (3) elements are different:

- (a) The number of stories of the home.
- (b) The garage location/orientation on the home.
- (c) The roof type and layout of the home.
- (d) The articulation of the front façade of the home.

In this case, the request for residential infill associated with Case No. Z2024-051 is proposing the exact same elevation as the subject property. This will not meet the anti-monotony requirements and will require an exception from the Planning and Zoning Commission.

M.8 Ordinances. Please review the attached draft ordinance prior to the November 12, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by November 5, 2024.

I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 29, 2024, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on November 12, 2024.

I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be November 18, 2024 (1st Reading) and December 2, 2024 (2nd Reading).

I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved w/ Comments

- 10/23/2024: 1. Driveway radius cannot extend past property line.
 2. Additional comments may be provided at time of Building Permit.
 3. Water services will have to be off of one City meter/service or two separate service to the main. Bulling heading of meters off 1 service line is not allowed. If doing 1 service line and City meter, can sub-meter after City's meter. City water main is on opposite side of the roadway.
 4. Sewer will have to be either 1 service or two. If each unit has it's own City meter, but be two separate sewer services. City sewer main is under the road.
 5. New services to City mains will be at owner's expense.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/24/2024	Needs Review

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved

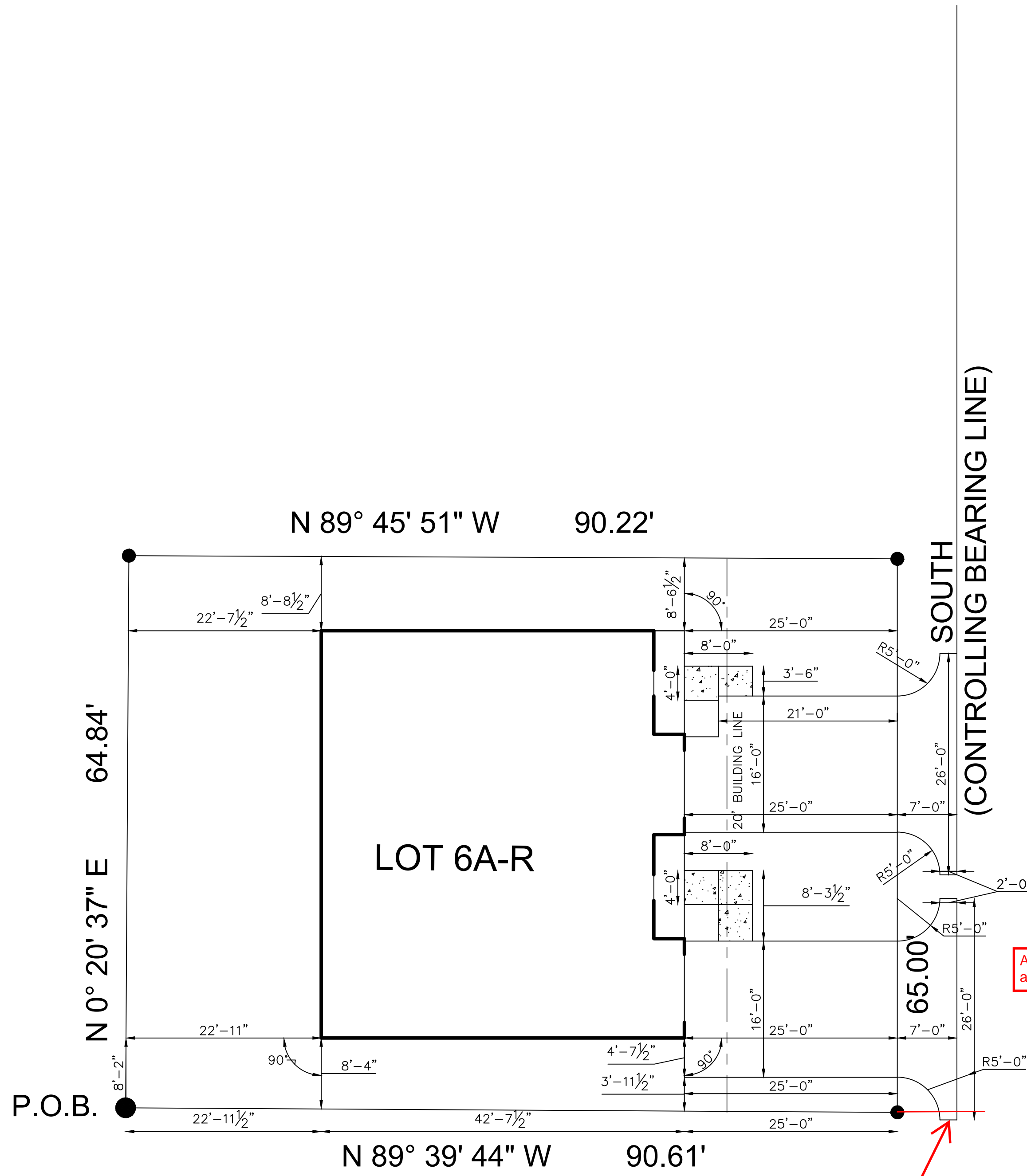
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Chris Cleveland	10/21/2024	Approved

No Comments



BOST ST.
40' R.O.W.

Water services will have to be off of 1 City meter/service or two separate service to the main. Building heading of meters off 1 service line is not allowed. If doing 1 service line and City meter, can sub-meter after City's meter. City water main is on opposite side of the roadway.

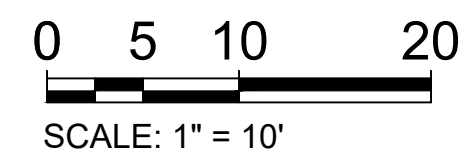
Sewer will have to be either 1 service or two. If each unit has it's own City meter, but be two separate sewer services. City sewer main is under the road.

New services to City mains will be at owner's expense.

Additional comments may be provided at time of Building Permit.

Driveway radius cannot extend past property line.

FLATWORK AREA CALCULATIONS 6A-R	
DRIVEWAYS	781 SQ FT
APRONS	286 SQ FT
SIDEWALKS	79 SQ FT
TOTAL	1,146 SQ FT



These architectural drawings have been prepared for use by the client and are for architectural design only. Civil, structural, mechanical, and other related engineering design and specifications are the responsibility of the respective engineer. Compliance to these drawings will be the responsibility of the owner or his appointed general contractor. Local building codes should be conformed to. All measurements shall be verified by the contractor performing the respective work.

LOT 5A-R & LOT 6A-R
LOFLAND SUBDIVISION
B.F. BOYDSTRUM SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL
ROCKWALL COUNTY, TX

BOST ST. DUPLEXES
Prepared for:
JIM JOYCE HOMES, LLC

DRAFTING SERVICES	
1171 RIVER CREST DR GLEN ROSE, TX 76043	
504-251-9597	
DRAWN BY: TLG	
SCALE: AS SHOWN	
JOB NO: 241001	SHEET NO. SITE
DATE: 10/15/24	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

BOST

SUBDIVISION

LOFLAND SUBDIVISION

LOT

6AR

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

2F

CURRENT USE

PROPOSED ZONING

2F

PROPOSED USE

2F (DUPLX)

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

JFI SERIES 2 LLC

APPLICANT

JTM JOYCE

CONTACT PERSON

Jim JOYCE

CONTACT PERSON

ADDRESS

4 53 CREEK CROSSING LN

ADDRESS

SAME

CITY, STATE & ZIP

ROYSIE CITY TX 75087

CITY, STATE & ZIP

PHONE

972-849-1034

PHONE

E-MAIL

Jim@JimJoyceHomes.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

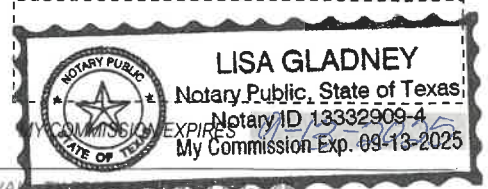
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jim JOYCE [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF OCTOBER, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF OCTOBER, 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 5 10 20 30 40 Feet

Z2024-051: Specific Use Permit (SUP) for Residential Infill Lot 6AR



2F

BOST ST

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-051]
Date: Wednesday, October 23, 2024 2:27:04 PM
Attachments: [HOA Map \(10.23.2024\).pdf](#)
[Public Notice \(P&Z\) \(10.22.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, October 25, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, November 12, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, November 18, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2024-051: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision on a 0.1340-acre parcel of land identified as Lot 6A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

Thank you,

Melanie Zavala

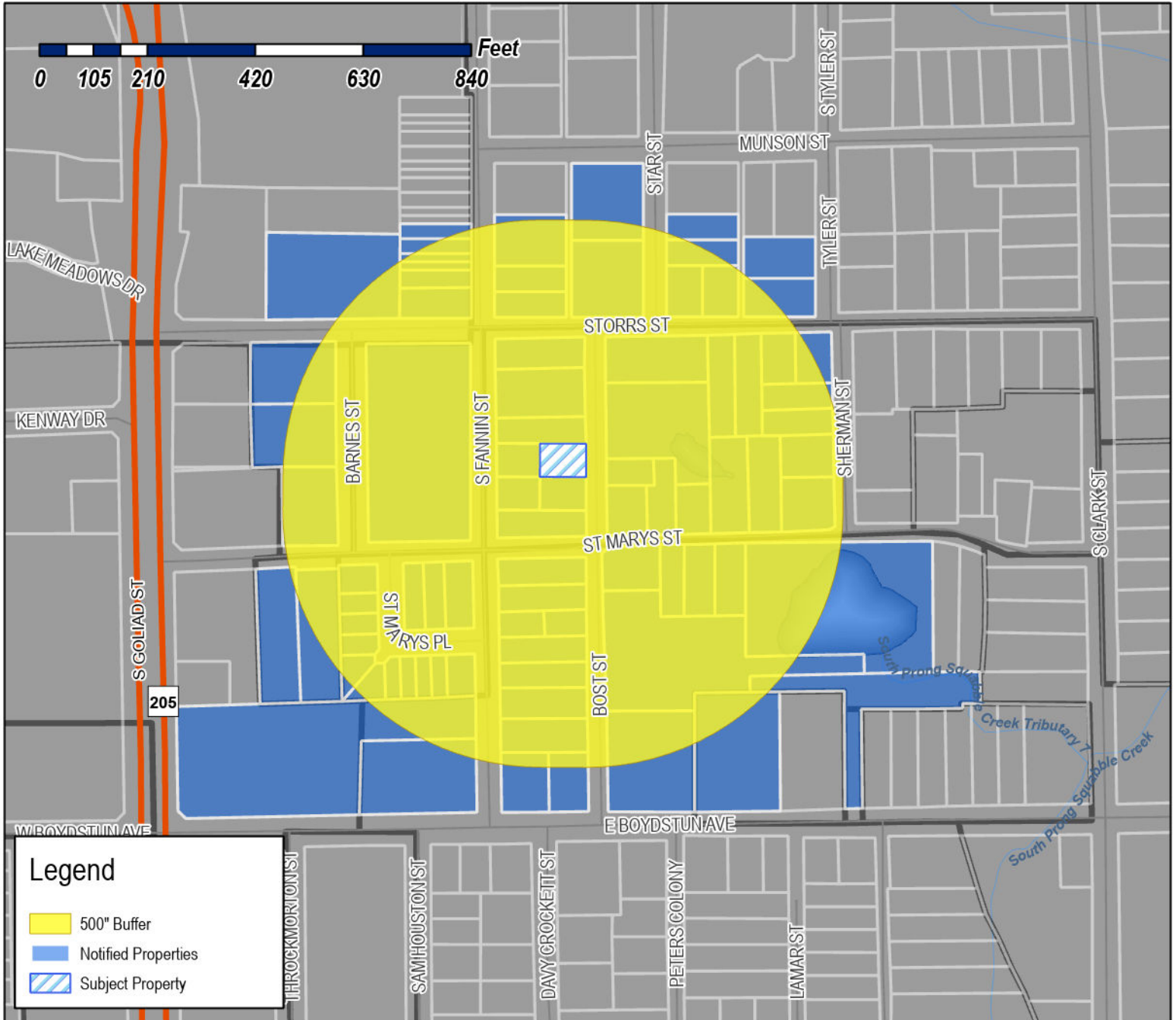
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-051
Case Name: Specific Use Permit (SUP) for Residential Infill
Case Type: Zoning
Zoning: Two Family (2F) District
Case Address: Lot 6AR

Date Saved: 10/18/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT
106 ST MARY
ROCKWALL, TX 75087

EGAN ASHLEY
109 ST MARY ST
ROCKWALL, TX 75087

LINDLEY ROBERT AND SHERRY
109 ST MARYS STREET
ROCKWALL, TX 75087

LAKEPOINTE ENTERPRISES LLC
1309 MORAIN PL
HEATH, TX 75032

LAKEPOINTE ENTERPRISES LLC
1309 MORAIN PL
HEATH, TX 75032

HEATH RENTAL PROPERTIES LLC
1309 MORAIN PLACE
HEATH, TX 75032

HEATH RENTAL PROPERTIES LLC
1309 MORAIN PLACE
HEATH, TX 75032

THURSTON-KAHLE CHERYL
145 WESTWOOD DR
ROCKWALL, TX 75032

THURSTON-KAHLE CHERYL
145 WESTWOOD DR
ROCKWALL, TX 75032

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

PRITCHARD GARY W & DONNA C
1610 SHORES BLVD
ROCKWALL, TX 75087

PLISKA KAREN
1685 PLUMMER DR
ROCKWALL, TX 75087

ROGERS JOE FRANK
1829 KELLY LN
ROCKWALL, TX 75087

HEAD TIM
1884 TAHOE DRIVE
ROCKWALL, TX 75087

NASUFI ZIKRI
1885 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
201 STORRS ST
ROCKWALL, TX 75087

RICKARDS NATALIE
202 ST MARY'S PL
ROCKWALL, TX 75087

MOORE GLEN & JACKIE
2026 SUNNY CIR
ROCKWALL, TX 75032

FALONE MARY ELLEN
204 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
205 ST MARYS PL
ROCKWALL, TX 75087

MORKEN PETER & GAY ANDERSON
GILMA L MORKEN LIFE ESTATE
206 SAINT MARYS PL
ROCKWALL, TX 75087

RESIDENT
208 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
210 ST MARYS PL
ROCKWALL, TX 75087

COLLICHIO KIMBERLY ANN
210 RAINBOW CIR
ROCKWALL, TX 75032

CROSS RICK D & KIMBERLY
210 RAINBOW CIR
ROCKWALL, TX 75032

CROSS RICK D & KIMBERLY
210 RAINBOW CIR
ROCKWALL, TX 75032

RESIDENT
212 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
214 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
216 ST MARYS PL
ROCKWALL, TX 75087

CHANNELL ALEXANDER B & LEYLA M BATTISTA-
CHANNELL
218 SAINT MARYS PL
ROCKWALL, TX 75087

RESIDENT
219 ST MARYS PL
ROCKWALL, TX 75087

MCGEE DWONE
220 ST MARYS PL
ROCKWALL, TX 75087

RESIDENT
221 ST MARYS PL
ROCKWALL, TX 75087

THOMPSON MAVIS Y
222 ST MARYS PLACE
ROCKWALL, TX 75087

RESIDENT
223 ST MARYS PL
ROCKWALL, TX 75087

VIZCAINO-LEPE SINUHE
22710 1ST DRIVE SE
BOTHELL, WA 98021

ZYLKA JOE AND
RAY SPERRING
3021 RIDGE ROAD A66
ROCKWALL, TX 75032

HORTON DARJUAN CORTEZ AND NATALIE
3042 LONGHORN LN
ROCKWALL, TX 75087

RESIDENT
305 E BOYDSTUN AVE
ROCKWALL, TX 75087

MCKINNEY TERRY WAYNE
308 MUNSON ST
ROCKWALL, TX 75087

MCKINNEY TERRY W & LINDA A
308 MUNSON ST
ROCKWALL, TX 75087

PEOPLES J PHILIP AND
BILLY W PEOPLES JR
311 HIGHLAND DRIVE
ROCKWALL, TX 75087

CULLINS JAMES &
SHARON DAY
315 S FANNIN
ROCKWALL, TX 75087

JORDAN ERICK DEAN AND LAKESHA
401 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
403 E BOYDSTUN AVE
ROCKWALL, TX 75087

COOK RENE COMPTON
403 STAR ST
ROCKWALL, TX 75087

COOK KASHONDRA RENE
405 STAR ST
ROCKWALL, TX 75087

RESIDENT
406 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
406 S TYLER ST
ROCKWALL, TX 75087

BKN REALTY LLC
406 STAR ST
ROCKWALL, TX 75087

LECOUR CARY &
MARISA SCHEXNAYDER
406 TYLER ST
ROCKWALL, TX 75087

RESIDENT
407 S FANNIN ST
ROCKWALL, TX 75087

WANDERER KATHY L
408 S FANNIN ST APT D
ROCKWALL, TX 75087

RESIDENT
408 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
408 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
408 S FANNIN ST
ROCKWALL, TX 75087

MARLOW SHIRLEY A
409 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
410 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
411 S FANNIN ST
ROCKWALL, TX 75087

JFI SERIES 1 (BOST 5A-R), LLC A SERIES OF JFI JFI
SERIES LLC
453 CREEK CROSSING LN
ROYSE CITY, TX 75189

JFI SERIES 1 (BOST 6A-R), LLC A SERIES OF JFI
SERIES LLC
453 CREEK CROSSING LN
ROYSE CITY, TX 75189

CONFIDENTIAL
4595 E FM 552
ROCKWALL, TX 75087

RESIDENT
500-502 SHERMAN ST
ROCKWALL, TX 75087

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
501 S FANNIN ST
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES SERIES LLC
501 STORRS STREET
ROCKWALL, TX 75087

RESIDENT
504 STORRS ST
ROCKWALL, TX 75087

MERRITT CRAIG
504 BARNES ST
ROCKWALL, TX 75087

RESIDENT
504-506 SHERMAN ST
ROCKWALL, TX 75087

VELEZ HENRRY AND CEDYS
505 S FANNIN ST
ROCKWALL, TX 75087

HARBISON LLOYD
505 SAINT MARY ST
ROCKWALL, TX 75087

MECA PHILIPPE
505 STORRS ST
ROCKWALL, TX 75087

BAXTER C STEPHEN AND SHAWN RENAE
506 BARNES STREET
ROCKWALL, TX 75087

RESIDENT
507 ST MARYS ST
ROCKWALL, TX 75087

MCDONALD MICHAEL & CARA
507 BOST STREET
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

SALINAS ANTONIO & ELISA
507 S FANNIN ST
ROCKWALL, TX 75087

UNRUH JON CLINT AND SHANNON L
508 ST MARY ST
ROCKWALL, TX 75087

RESIDENT
509 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
509 STORRS ST
ROCKWALL, TX 75087

COLEMAN FREDY ORLANDO & SILVIA A
HERNANDEZ
509 BOST ST
ROCKWALL, TX 75087

RESIDENT
509 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
510 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
510-512 STORRS ST
ROCKWALL, TX 75087

RESIDENT
511 S FANNIN ST
ROCKWALL, TX 75087

WILLET CAROLINE G
511 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
512 ST MARYS ST
ROCKWALL, TX 75087

2022 T A JOHNSON REVOCABLE TRUST
513 SAINT MARY ST
ROCKWALL, TX 75087

2022 T A JOHNSON REVOCABLE TRUST
513 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
514-516 STORRS ST
ROCKWALL, TX 75087

RESIDENT
517 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
518-520 STORRS ST
ROCKWALL, TX 75087

WALDON CHRYSTEEN & DAVID
601 BOST ST
ROCKWALL, TX 75087

RESIDENT
601 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
603 S FANNIN ST
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

RESIDENT
605 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
605 S FANNIN ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
607 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
609 S FANNIN ST
ROCKWALL, TX 75087

RESIDENT
609 S GOLIAD
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

NONUS SHELLY REYNA AND THOMAS
611 FANNIN STREET
ROCKWALL, TX 75087

TANNER TRUDY LEANN
613 S FANNIN
ROCKWALL, TX 75087

NEXT ROCKWALL REALTY LLC
6444 N RIDGEWAY AVE
LINCOLNWOOD, IL 60712

NEXT ROCKWALL REALTY LLC
6444 N RIDGEWAY AVE
LINCOLNWOOD, IL 60712

NEXT ROCKWALL REALTY LLC
6444 N RIDGEWAY AVE
LINCOLNWOOD, IL 60712

HONEA ADAM AND LAURIE
670 COUNTY ROAD 3417
LEESBURG, TX 75451

HONEA ADAM AND LAURIE
670 COUNTY ROAD 3417
LEESBURG, TX 75451

TOVAR MARIO & HORTENCIA
8861 CR 2474
ROYSE CITY, TX 75189

GREENS CHRYSALIS TRUST
MAUREEN GREEN- TRUSTEE
945 BREEZY HILL LANE
ROCKWALL, TX 75087

GREENS CHRYSALIS TRUST
MAUREEN GREEN- TRUSTEE
945 BREEZY HILL LANE
ROCKWALL, TX 75087

504-506 SHERMAN, A SERIES OF STARK FAMILLY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

514-516 STORRS A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

500-502 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

518-520 STORRS, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

504-506 STORRS, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

504-506 SHERMAN, A SERIES OF STARK FAMILLY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

510-512 STORRS, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIRCLE
ROCKWALL, TX 75087

POPE JOSHUA
P.O. BOX 2107
FORNEY, TX 75126

JUICEBOX HOLDINGS, LLC - SERIES 509A S
FANNIN
PO BOX 1835
ROWLETT, TX 75030

JUICEBOX HOLDINGS LLC- SERIES 511 S FANNIN
PO BOX 1835
ROWLETT, TX 75088

UNITED STATES POSTAL SERVICES
PO BOX 667160
DALLAS, TX 75266

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-051: Specific Use Permit for a Residential Infill

Hold a public hearing to discuss and consider a request by Jim Joyce on behalf of JFI Series 1, LLC for the approval of a *Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision* on a 0.1340-acre parcel of land identified as Lot 6A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 12, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 18, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 18, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-051: Specific Use Permit for a Residential Infill

Please place a check mark on the appropriate line below:

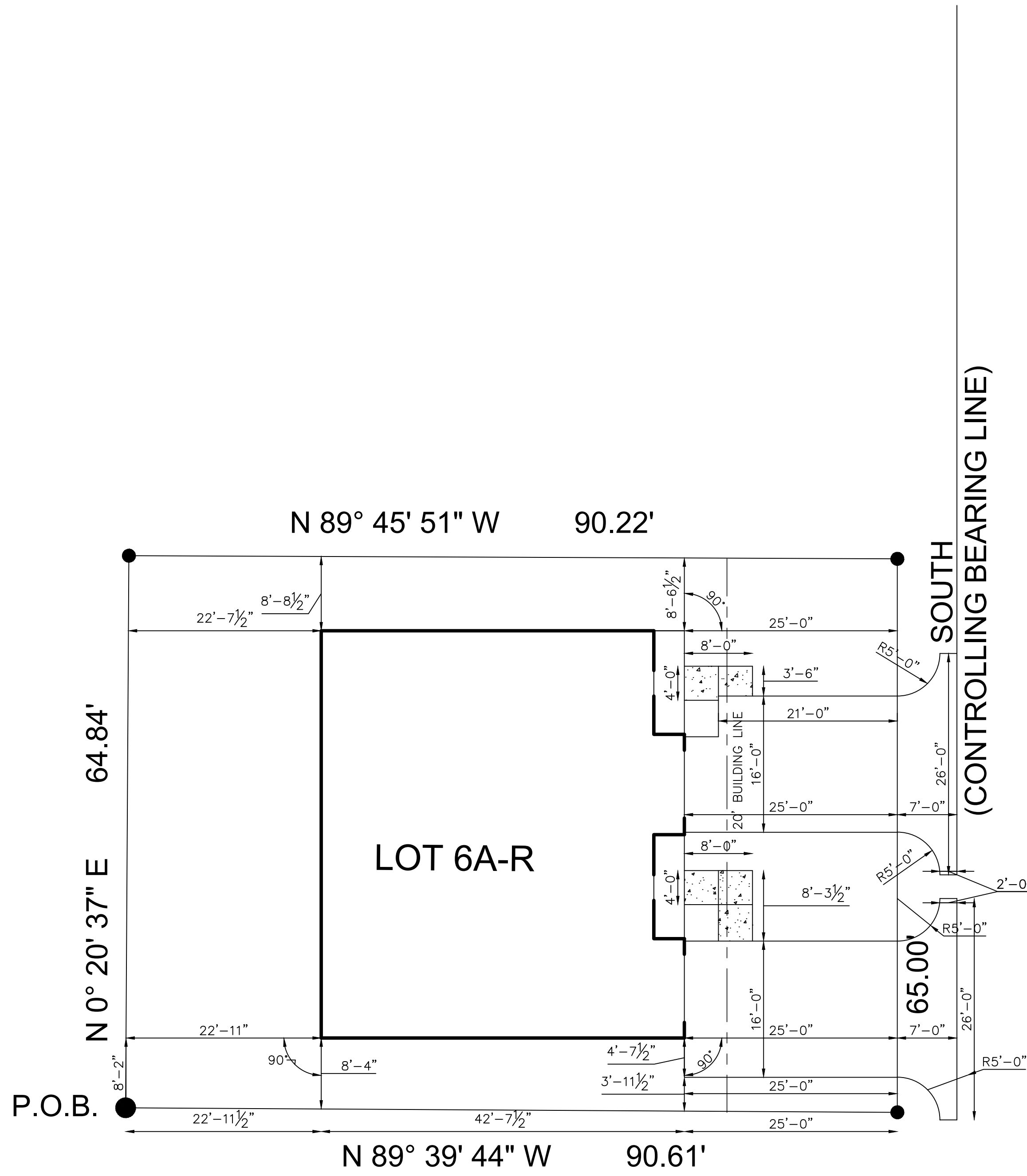
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

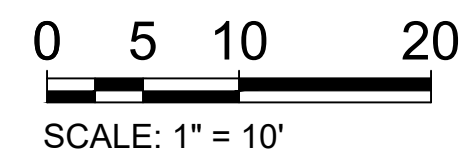
Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FLATWORK AREA CALCULATIONS 6A-R	
DRIVEWAYS	781 SQ FT
APRONS	286 SQ FT
SIDEWALKS	79 SQ FT
TOTAL	1,146 SQ FT



These architectural drawings have been prepared for use by the client and are for architectural design only. Civil, structural, mechanical, and other related engineering design and specifications are the responsibility of the respective engineer. Compliance to these drawings will be the responsibility of the owner or his appointed general contractor. Local building codes should be confirmed to. All measurements shall be verified by the contractor performing the respective work.

BOST ST. DUPLEXES
Prepared for:
JIM JOYCE HOMES, LLC

LOT 5A-R & LOT 6A-R
LOFLAND SUBDIVISION
B.F. BOYDSTRUM SURVEY, ABSTRACT NO. 14
CITY OF ROCKWALL
ROCKWALL COUNTY, TX

DRAFTING SERVICES	
1171 RIVER CREST DR GLEN ROSE, TX 76043	
504-251-9597	
DRAWN BY: TLG	
SCALE: AS SHOWN	
JOB NO: 241001	SHEET NO. SITE
DATE: 10/15/24	



E1

Exterior Elevation Front
1/4 in = 1 ft



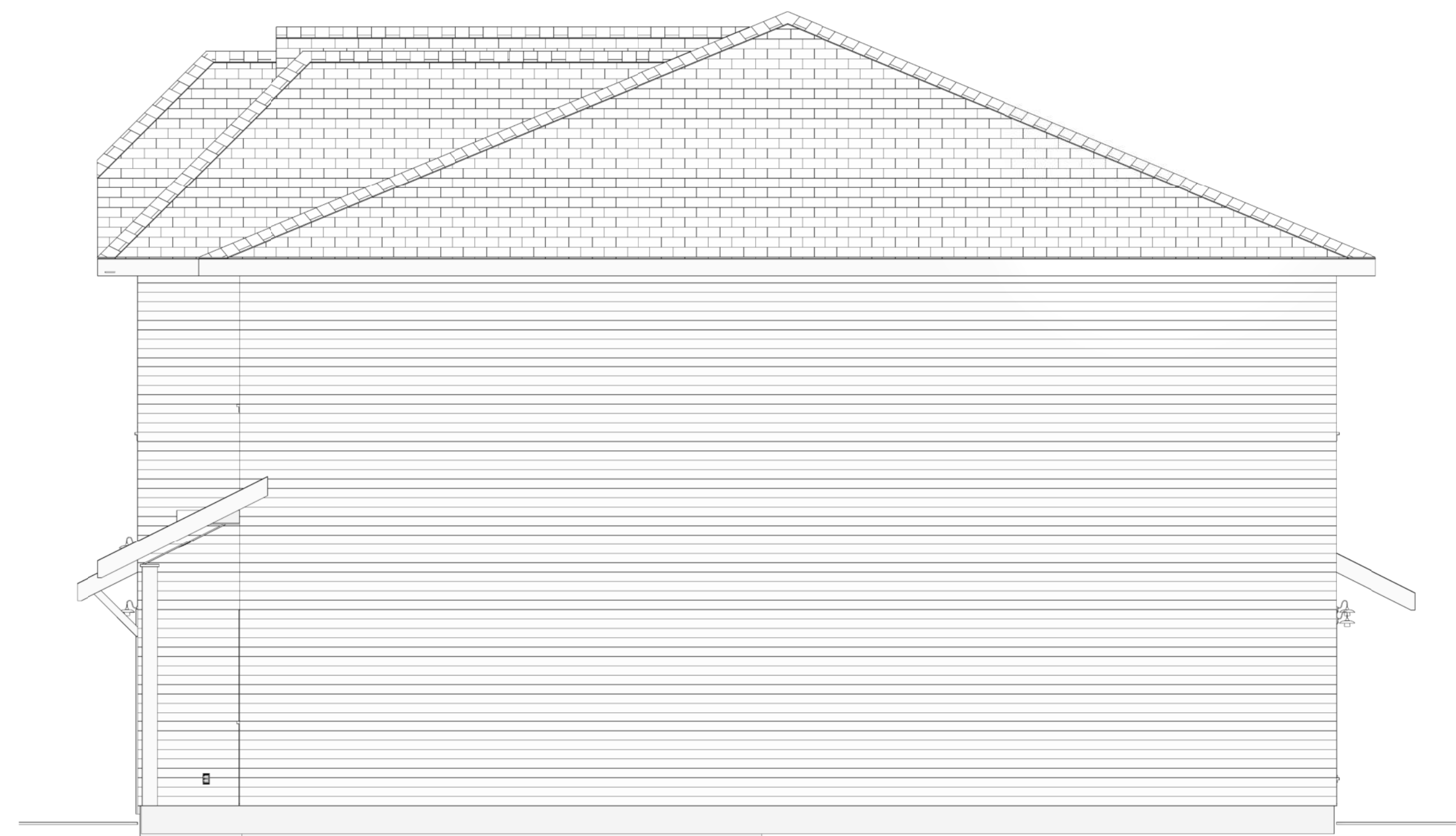
E3

Exterior Elevation Back
1/4 in = 1 ft



E2

Exterior Elevation Left
1/4 in = 1 ft



E4

Exterior Elevation Right
1/4 in = 1 ft

PAGE DESCRIPTION:

Elevations

PROJECT DESCRIPTION:

Jim Joyce Homes
Bost Duplex 2

DJP
Home Services &
Designs

DRAWN BY:
D. PIERCY

DATE: 10/23/2024 REV: None

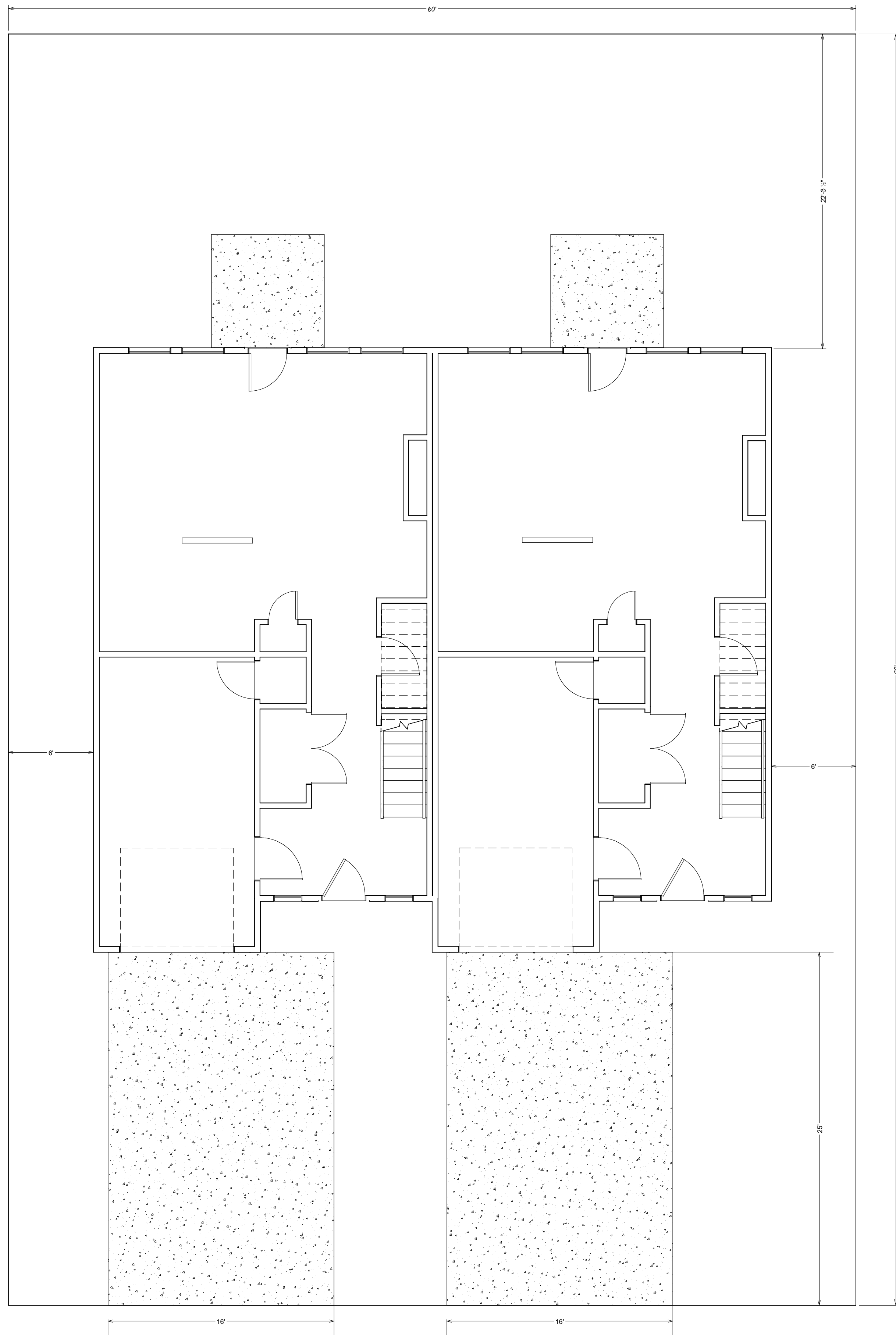
FILENAME:
Jim Joyce Homes 240222 Bost Duplex V212

SCALE:

PAGE SIZE:
ARCH D (24" x 36")

SHEET:

5



Front 3D View Perspective



Rear 3D View Perspective





CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-051

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
402-502 Storrs Street	Housing Authority	N/A	N/A	N/A	Brick and Siding
507 Bost Street	Single-Family Home	1985	1,796	144	Siding
509 Bost Street	Single-Family Home	1980	1,379	589	Siding
505 St. Mary's Street	Single-Family Home	1985	1,275	100	Siding
501 S. Fannin Street	Commercial Lot	1984	9,804	N/A	N/A
505 S. Fannin Street	Single-Family Home	1972	2,105	1032	Brick
507 S. Fannin Street	Single-Family Home	1965	958	N/A	Siding
509 A & B S. Fannin Street	Duplex	1975	2,127	N/A	Siding
511 & 513 S. Fannin Street	Duplex	1975	2,088	N/A	Siding
517 S. Fannin Street	Single-Family Home	1967	2,190	N/A	Siding
AVERAGES:		1976	2,636	466	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-051

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



402-502 Storrs Street



507 Bost Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-051

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



509 Bost Street



505 St. Mary's Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-051

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



501 S. Fannin Street



505 S. Fannin Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-051

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



507 S. Fannin Street



509 A & B S. Fannin Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-051

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



511 & 513 S. Fannin Street



517 S. Fannin Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.1340-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6A-R OF THE LOFLAND ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jim Joyce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a duplex on a 0.1340-acre parcel of land identified as Lot 6A-R of the Lofland Addition, City of Rockwall, Rockwall County, Texas, zoned Two Family (2F) District land uses, generally located on the west side of Bost Street north of the intersection of St. Mary's Street and Bost Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a duplex in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a duplex on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a duplex on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF DECEMBER, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: November 18, 2024

2nd Reading: December 2, 2024

**Exhibit 'A':
Location Map**

Address: West side of Bost Street and North of the intersection of St. Mary's Street and Bost Street

Legal Description: Lot 6A-R of the Lofland Addition



Exhibit 'C':
Building Elevations

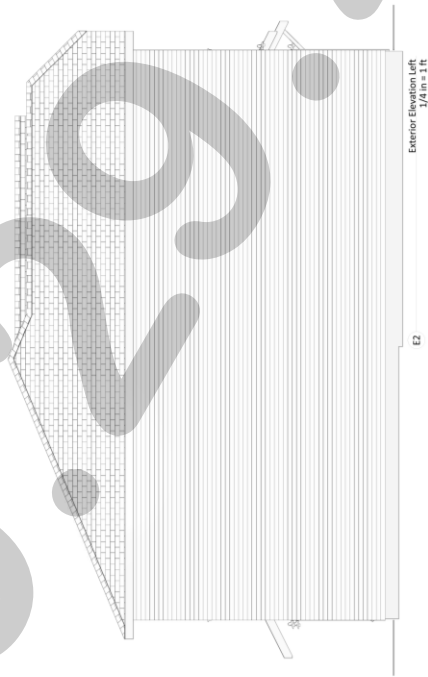
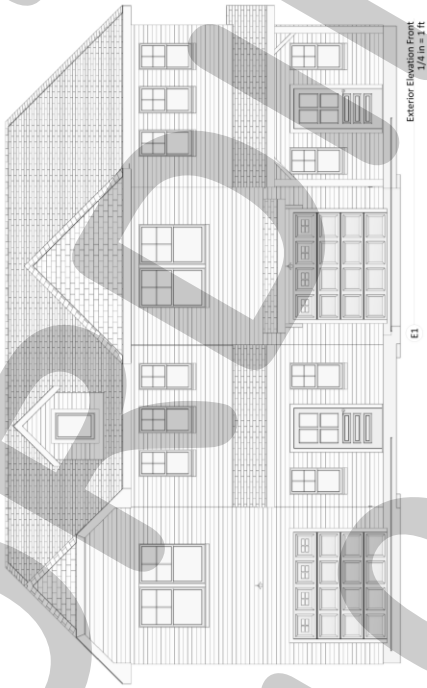
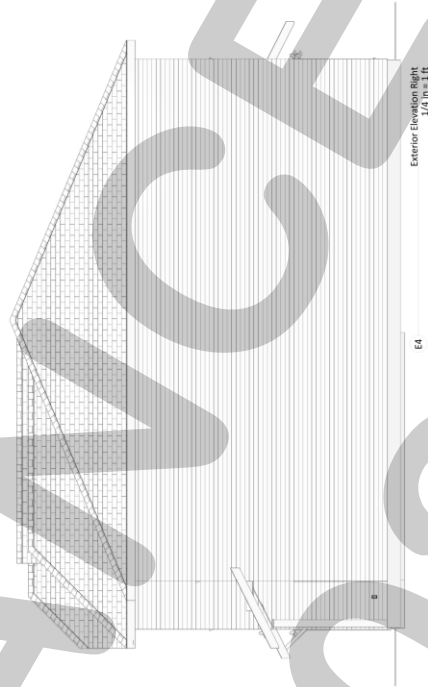
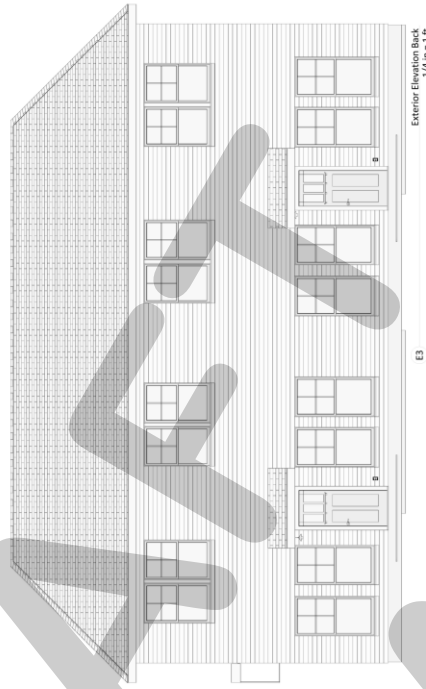


Exhibit 'C':
Building Elevations



Front 3D View Perspective



Rear 3D View Perspective

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: Z2024-052
PROJECT NAME: SUP for a Basketball Court
SITE ADDRESS/LOCATIONS: 1313 GIDEON WAY

CASE CAPTION: Hold a public hearing to discuss and consider a request by Chad and Cindy Shirley for the approval of a Specific Use Permit (SUP) for a Private Sports Court with Standalone or Dedicated Lighting on a 0.3444-acre parcel of land identified as Lot 6, Block 2, Gideon Grove Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1313 Gideon Way, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	10/23/2024	Approved w/ Comments

10/23/2024: Z2024-052; Specific Use Permit (SUP) for a Basketball Court at 1313 Gideon Way
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Private Sports Court with Standalone or Dedicated Lighting on a 0.3444-acre parcel of land identified as Lot 6, Block 2, Gideon Grove Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, and addressed as 1313 Gideon Way.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2024-052) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Planned Development District 77 (PD-77) for Single Family 10 (SF-10) District land uses.

I.5 According to Subsection 02.02.B.21, A Private Sports Court with Standalone or Dedicated Lighting is defined as “(a) designated area within a residential or commercial property, that is independent of the primary structure, and is intended for sports and recreational activities. These courts are typically owned and maintained by individual homeowners, residential communities, or commercial establishments. They provide space for activities such as basketball, tennis, volleyball, or other sports, offering residents, guests, members, or patrons a convenient and private location to engage in physical exercise and leisure pursuits.”

M.6 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

(1) The Private Sports Court with Standalone or Dedicated Lighting shall maintain conformance to the approved site plan depicted in Exhibits ‘B’ of the Specific Use Permit (SUP) ordinance.

(2) Exterior lights placed or erected on the Private Sports Court with Standalone or Dedicated Lighting shall not exceed a maximum height of 18-feet, the lights shall be directed downward, and shall not exceed a measured light intensity of 0.2 of one foot-candle at any property line. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.

(3) The light standards shall be directed downward, and shall be partially or fully cut-off at the light source.

M.7 Please provide a photometric plan for the entire property. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one foot-candle. (Subsection 03.03, Article 07, Unified Development Code).

I.8 According to the Land Use Charts of the Unified Development Code (UDC), a Sports Court with Standalone or Dedicated Lighting is permitted by Specific Use Permit (SUP) in Single-Family 10 (SF-10) District.

M.9 Please review the attached Draft Ordinance prior to the October 29, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 5, 2024.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on October 29, 2024.

I.11 The projected City Council meeting dates for this case will be November 18, 2024 [1st Reading] and December 2, 2024 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved w/ Comments

10/23/2024: 1. Current grading must be maintained. Drainage may not be directed to adjacent properties.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/24/2024	Approved w/ Comments

10/24/2024: * IF APPROVED A BUILDING & ELECTRICAL PERMIT WILL BE RERQUIRED.

* MUST BE SETBACK A MINIMUM OF 10 FEET FROM ANY PROPERTY LINE

* LOCATED BEHIND THE PRIMARY STRUCTURE

* LIGHT POLE CAN BE A MAXIMUM OF 14 FEET IN HEIGHT WITH LIGHT STANDARDS FULLY CUTOFF AND SHEILDED AND DIRECTED DOWNWARD TOWARD THE SURFACE OF THE COURT

* LIGHT GLARE NOT TO EXCEED .02 FC AT THE PROPERTY LINE

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved

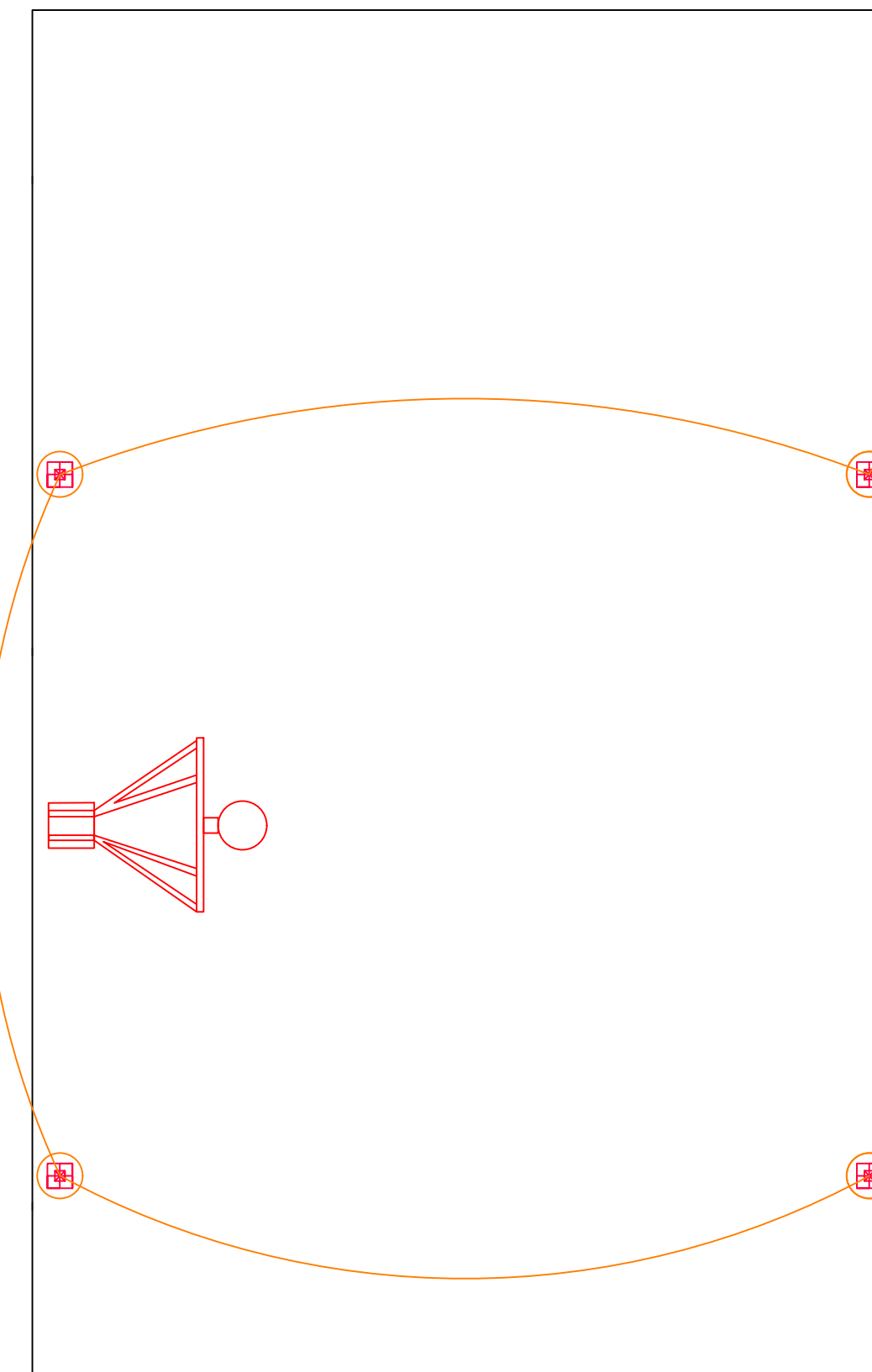
No Comments

Notes:

Exterior Electrical 50 Amp Sub Panel
(To be constructed under separate permit)

Current grading must be maintained. Drainage
may not be directed to adjacent properties.

1" Electrical Conduit Run
to Lighting Fixtures



REV:	DESCRIPTION:	BY:	DATE:

STATUS:

CLIENT: Owner Builder
Chad & Cindy Shirley

SITE: Chad & Cindy Shirley Residence
1313 Gideon Way Rockwall, TX 75087
Subdivision: Gideon Grove North - Bock 2 - Lot 6

TITLE: Electrical Location Plan

SCALE AT A1: $\frac{3}{16}'' = 1'$	DATE: 10/18/2024	DRAWN:	CHECKED:
PROJECT NO:	DRAWING NO: A-0.03	REVISION:	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1313 Gideon Way Rockwall, Texas 75087**

SUBDIVISION **Gideon Grove - North** LOT **6** BLOCK **2**

GENERAL LOCATION **N. John King Blvd & E. Quail Run rd.**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Chad & Cindy Shirley**

APPLICANT

CONTACT PERSON **Chad Shirley**

CONTACT PERSON

ADDRESS **1313 Gideon Way**

ADDRESS

CITY, STATE & ZIP **Rockwall, Texas 75087**

CITY, STATE & ZIP

PHONE **469-215-6171**

PHONE

E-MAIL **chad@shirleymasonry.com**

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad Shirley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

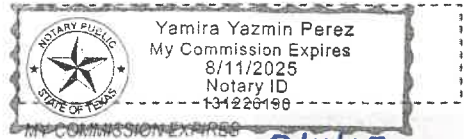
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF October, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF October, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]
Yamira Perez



8/11/25




Z2024-052: Specific Use Permit (SUP) for a Basketball Court at 1313 Gideon Way

GIDEON WAY



PD-77

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

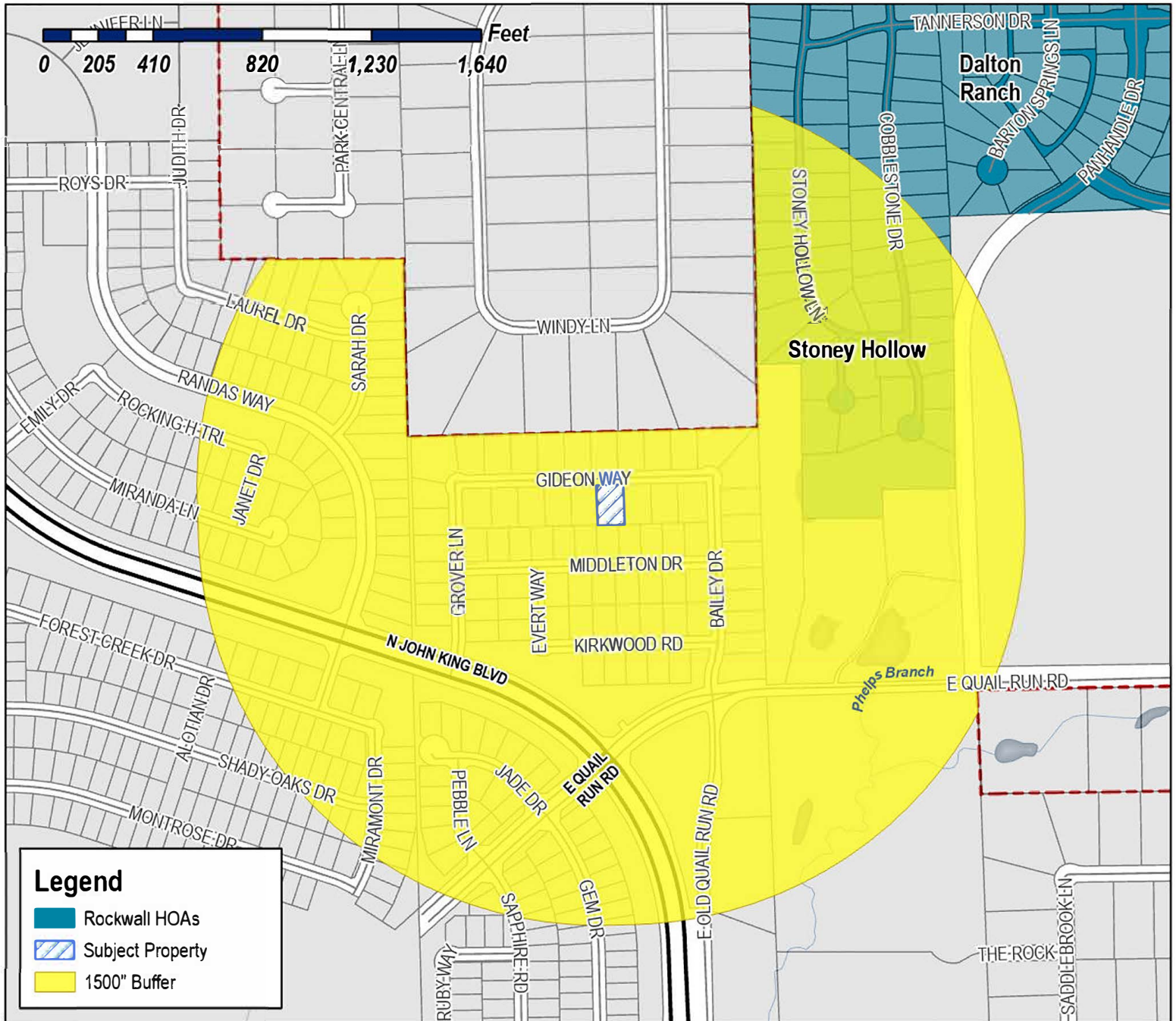




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-052
Case Name: Specific Use Permit (SUP) for a Private Sports Court
Case Type: Zoning
Zoning: Planned Development District 77 (PD-77)
Case Address: 1313 Gideon Way

Date Saved: 10/21/2024
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, October 23, 2024 2:26 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2024-052]
Attachments: Public Notice (P&Z) (10.22.2024).pdf; HOA Map (10.23.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 25, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 12, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 18, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-052: SUP for Private Sports Court

Hold a public hearing to discuss and consider a request by Chad and Cindy Shirley for the approval of a *Specific Use Permit (SUP)* for a *Private Sports Court with Standalone or Dedicated Lighting* on a 0.3444-acre parcel of land identified as Lot 6, Block 2, Gideon Grove Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1313 Gideon Way, and take any action necessary.

Thank you,

Melanie Zavala

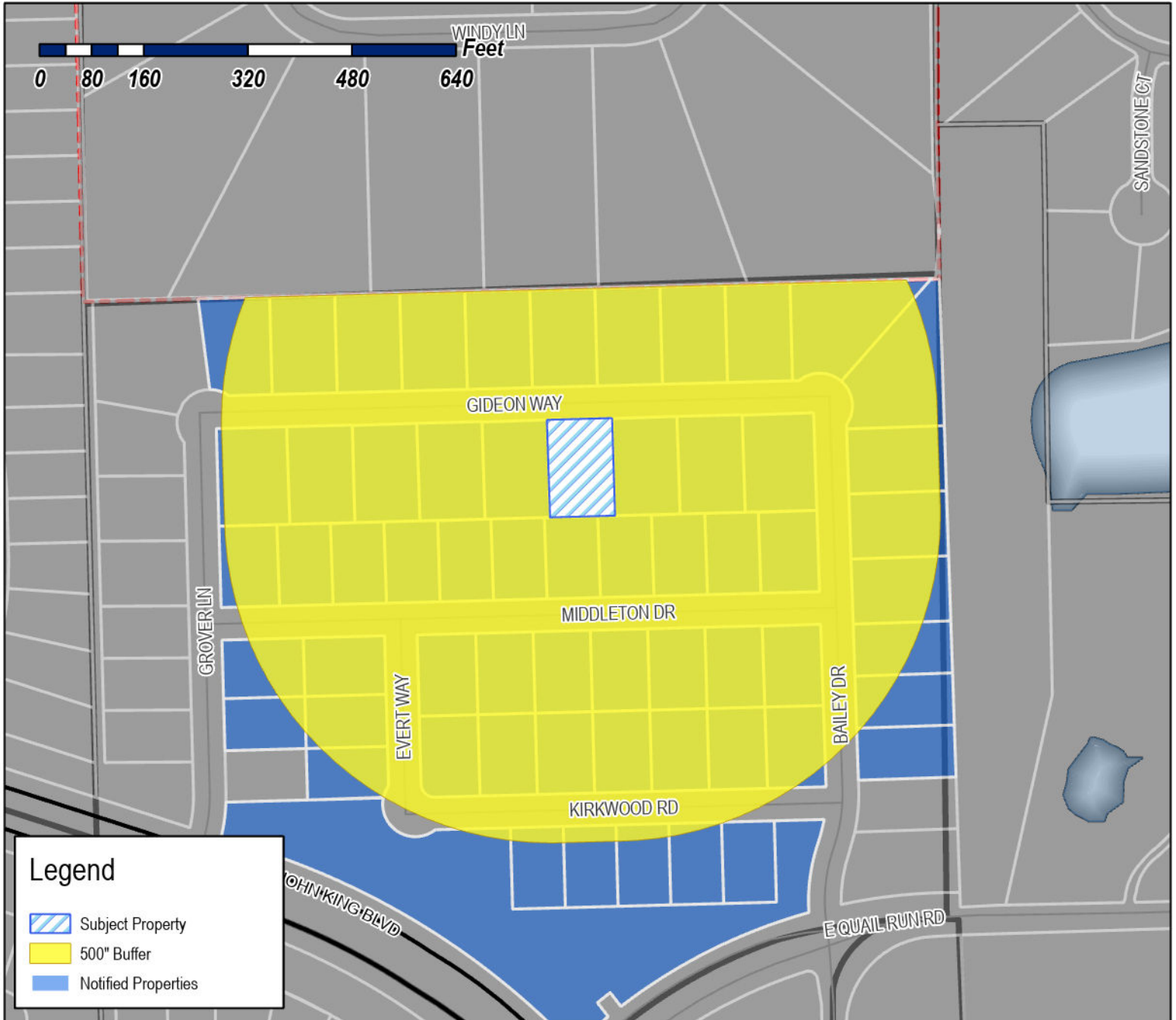
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568






City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-052
Case Name: Specific Use Permit (SUP) for a Private Sports Court
Case Type: Zoning
Zoning: Planned Development District 77 (PD-77)
Case Address: 1313 Gideon Way

Date Saved: 10/21/2024

For Questions on this Case Call: (972) 771-7745



GIDEON GROVE HOMEOWNERS ASSOCIATION
INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

HOPKINS RICHARD L III
10330 COUNTRY CLUB DR
DALLAS, TX 75218

HUSAIN SYED SAMAR AND SURAYA SAMAR
1204 MIDDLETON DRIVE
ROCKWALL, TX 75087

BOBBITT CARL E AND PRUDENCE D
1206 GIDEON WAY
ROCKWALL, TX 75087

2021 R S HERRERA REVOCABLE TRUST
RICKY DON HERRERA AND STEPHANIE MICHELLE
HERRERA- TRUSTEES
1207 GIDEON WAY
ROCKWALL, TX 75087

EDDINGS JACKIE AND CAROLYN
1208 MIDDLETON DRIVE
ROCKWALL, TX 75087

HOOKS JARRED AND BETHANY
1210 GIDEON WAY
ROCKWALL, TX 75087

PAGE JACOB STEWART AND JESSIE ANN
1211 GIDEON WAY
ROCKWALL, TX 75087

THOMAS BARBARA AND ISAAC
1212 MIDDLETON DRIVE
ROCKWALL, TX 75087

CONWAY DENNETT EUGENE AND MARY
1214 GIDEON WAY
ROCKWALL, TX 75087

DRAPER CASEY & LINDSAY JUNE
1215 GIDEON WAY
ROCKWALL, TX 75087

CURTIS JEREL & NATALIE LANEER
1302 MIDDLETON DRIVE
ROCKWALL, TX 75087

GAGA TEFAYE &
ZEWDNESH SINKE
1303 MIDDLETON DR
ROCKWALL, TX 75087

GUMM BRIAN KEVIN AND PENNY DIANE
1304 GIDEON WAY
ROCKWALL, TX 75087

HUNTER MICHELLE ZERBE AND
TRACY GIL HUNTER
1304 KIRKWOOD ROAD
ROCKWALL, TX 75087

SAFAR JOHN A
1305 GIDEON WAY
ROCKWALL, TX 75087

MERZ ANDREW ALBERT AND AMANDA JAYNE
1306 MIDDLETON DRIVE
ROCKWALL, TX 75087

VIER DAVID
1307 MIDDLETON DRIVE
ROCKWALL, TX 75087

PONCE EDUARDO AND ODETT A
1308 GIDEON WAY
ROCKWALL, TX 75087

VALENCIA BRANDON AND AMANDA
1308 KIRKWOOD ROAD
ROCKWALL, TX 75087

MOSCHELLA ANTHONY CHARLES AND ASHLEY
EASLEY
1309 GIDEON WAY
ROCKWALL, TX 75087

SMITH SAMUEL CURTIS & CHRISTEN
SWEARENGIN
1309 KIRKWOOD RD
ROCKWALL, TX 75087

GOOCH GARY QUINN AND DANIELLE M
1310 MIDDLETON DRIVE
ROCKWALL, TX 75087

ABU BAKR BILAL & NADIA BILAL
1311 MIDDLETON DRIVE
ROCKWALL, TX 75087

ADAMSON KEVIN E AND BECKY B
1312 GIDEON WAY
ROCKWALL, TX 75087

DURAN KATIE LANE & MARCO ANTONIO
1312 KIRKWOOD RD
ROCKWALL, TX 75087

SHIRLEY CHAD & CINDY
1313 GIDEON WAY
ROCKWALL, TX 75087

WOLFGRAM FAMILY LIVING TRUST
MARK WOLFGRAM AND TIFFANY WOLFGRAM -
TRUSTEES
1313 KIRKWOOD ROAD
ROCKWALL, TX 75087

ROBERTS MICAH D
1314 MIDDLETON DR
ROCKWALL, TX 75087

STOCK EDWARD J AND KAREN G
1315 MIDDLETON DRIVE
ROCKWALL, TX 75087

IBRAHIM SUHA AND
BRANDON PHILLIP ALBUS
1316 GIDEON WAY
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT AND ANDREA
KRISTINA
1316 KIRKWOOD RD
ROCKWALL, TX 75087

UZAMERE IJEOMA AND EFOSA
1317 GIDEON WAY
ROCKWALL, TX 75087

PETTY STEPHEN E AND SHIRLENE L
1317 KIRKWOOD ROAD
ROCKWALL, TX 75087

RYAN RICKIE B II AND TAMARA D
1318 MIDDLETON DRIVE
ROCKWALL, TX 75087

FARRELL SALLY A AND JOHN T
1319 MIDDLETON DRIVE
ROCKWALL, TX 75087

GROVE JOSEPH ROBERT & SUSAN
1320 GIDEON WAY
ROCKWALL, TX 75087

FARRELL ERIN ELIZABETH AND TIMOTHY DANIEL
1320 KIRKWOOD ROAD
ROCKWALL, TX 75087

STAGGERS ENID AND ALVIN
1321 GIDEON WAY
ROCKWALL, TX 75087

RUTTER KENT DOUGLAS AND MARIA ELENA
1321 KIRKWOOD ROAD
ROCKWALL, TX 75087

ANDERSON DAVID WILLIAM AND NANETTE
LOUISE
1322 MIDDLETON DRIVE
ROCKWALL, TX 75087

JORDAN RAYSHAWN AND LANDRIA
1323 MIDDLETON DRIVE
ROCKWALL, TX 75087

ARMSTRONG JAMES BRYAN & LAUREN MYKEL
1324 GIDEON WAY
ROCKWALL, TX 75087

BOLES GEORGE AND JANET
1324 KIRKWOOD ROAD
ROCKWALL, TX 75087

CLINGER KEVIN AND CRYSTAL
1325 GIDEON WAY
ROCKWALL, TX 75087

KANDIMALLA RAHUL
1325 KIRKWOOD
ROCKWALL, TX 75087

KURIAN PAMELA AND CHERIAN
1326 MIDDLETON DRIVE
ROCKWALL, TX 75087

SMALLWOOD GENE R AND SHIRLEY J
1327 MIDDLETON DR
ROCKWALL, TX 75087

COMER DAVID W AND GWENDOLYN L
1328 GIDEON WAY
ROCKWALL, TX 75087

LAMPI MATTHEW OLAVI AND LISA CHARMAGNE
1328 KIRKWOOD RD
ROCKWALL, TX 75087

SCHULTZ THOMAS & LORI
1330 MIDDLETON DRIVE
ROCKWALL, TX 75087

APPIAH-OWUSA NANA AND
BERNICE KUSI
14400 THE LAKES BLVD BUILDING C SUITE 200
PFLUGERVILLE, TX 78660

PATEL ANAM & AANCHAL MALHOTRA
2005 EVERT WAY
ROCKWALL, TX 75087

SCHAR ROY
2008 GROVER LANE
ROCKWALL, TX 75087

FLORES ADRIAN JR AND GABRIELA S
2009 EVERT WAY
ROCKWALL, TX 75087

DEAPEN RICHARD AND ALICIA
2010 BAILEY DRIVE
ROCKWALL, TX 75087

APPIAH-OWUSA NANA AND
2012 GROVER LANE
ROCKWALL, TX 75087

MORICO JOSEPH EMILIO JR AND JENNIFER M
2013 EVERT WAY
ROCKWALL, TX 75087

HARRIS ALBERT G AND JENNIFER O
2014 BAILEY DRIVE
ROCKWALL, TX 75087

WIMPEE JAKE M AND REBECCA K
2018 BAILEY DRIVE
ROCKWALL, TX 75087

DONHAM SCOTT C & KRISTEN
2104 BAILEY DRIVE
ROCKWALL, TX 75087

SUNANTA BURKE REVOCABLE TRUST
2108 BAILEY DR
ROCKWALL, TX 75087

MURPHY MICHAEL AND JENNISE
2112 BAILEY DRIVE
ROCKWALL, TX 75087

HANSEN MILES & REBECCA
2116 BAILEY DRIVE
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-052: Specific Use Permit for a Private Sports Court

Hold a public hearing to discuss and consider a request by Chad and Cindy Shirley for the approval of a *Specific Use Permit (SUP)* for a *Private Sports Court with Standalone or Dedicated Lighting* on a 0.3444-acre parcel of land identified as Lot 6, Block 2, Gideon Grove Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1313 Gideon Way, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 12, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 18, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 18, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-052: Specific Use Permit for a Private Sports Court

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

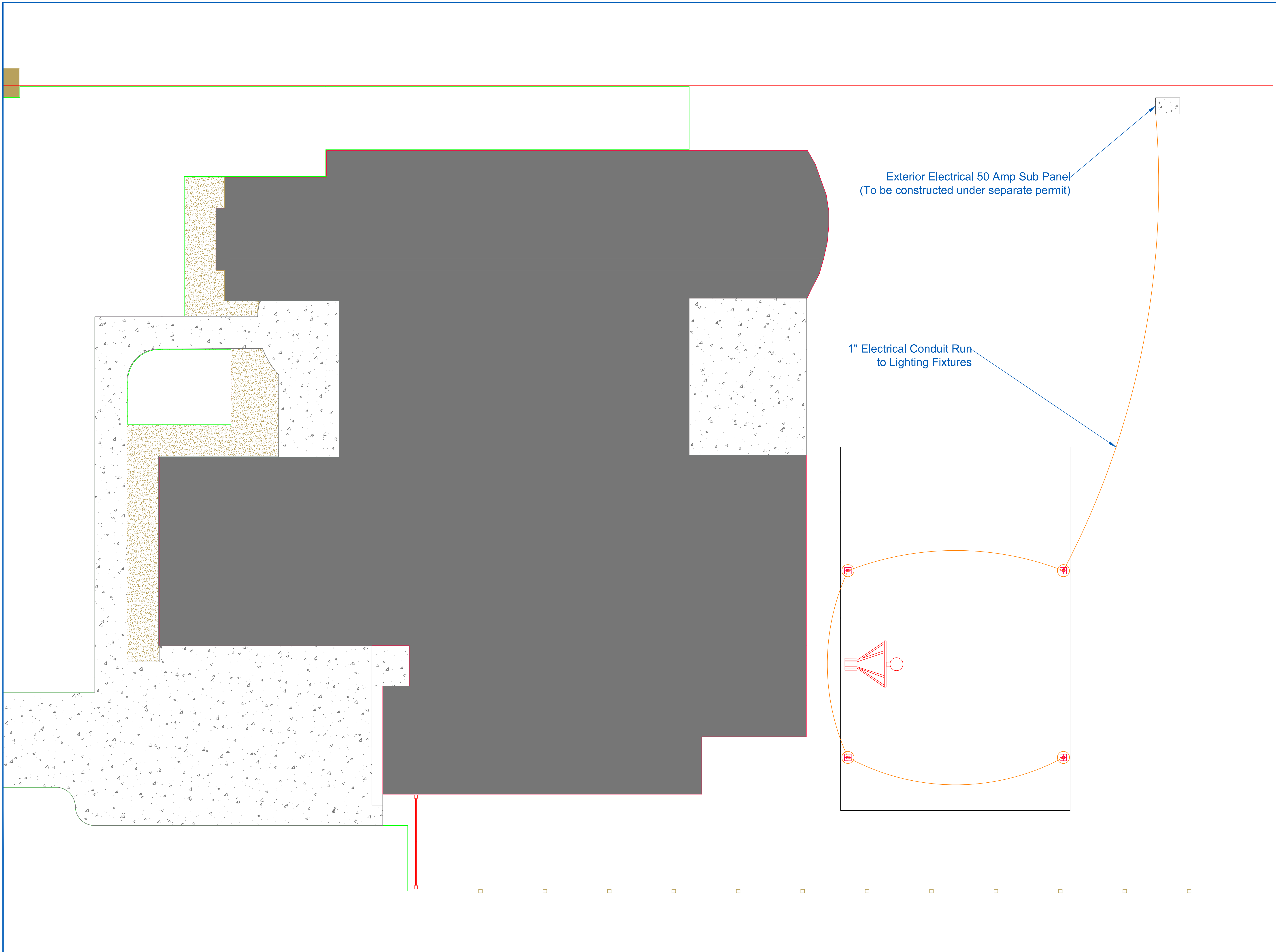
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Notes:



REV:	DESCRIPTION:	BY:	DATE:
STATUS:			

CLIENT: Owner Builder
Chad & Cindy Shirley

SITE: Chad & Cindy Shirley Residence
1313 Gideon Way Rockwall, TX 75087
Subdivision: Gideon Grove North - Bock 2 - Lot 6

TITLE: Electrical Location Plan

SCALE AT A1: $\frac{3}{16}'' = 1'$	DATE: 10/18/2024	DRAWN:	CHECKED:
PROJECT NO:	DRAWING NO: A-0.03	REVISION:	



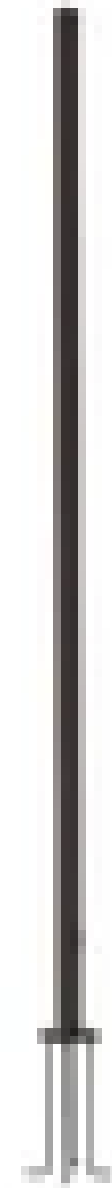
Mega Slam XL – Basketball Hoop
Maximum Backboard Height: 12.8 ft
Powder Coat Finish - Mat Black
Backboard: Glass



Standard Grey Concrete - Broom Finish



Light Fixture to be Mat Black to Match
Light Pole & Basketball Hoop



4" x 4" x 18' Light Pole
Powder Coat Finish - Mat Black

Chad & Cindy Shirley
1313 Gideon Way Rockwall, TX 75087
469-215-6171
chad@shirleymasonry.com

Project Name:

Case #



Product Details

SKU: MLLG-LED-SBHO2-150-50 **Web ID:** 1762

150 Watt shoebox - parking lot fixture produces 24000 lumens at 160 lumens/watt and has durable die-cast aluminum housing that is powder coated with strong anti-corrosion performance for years of maintenance-free lighting.

Available in both Type 3 and Type 5 these are perfect for use in a parking lot. Our 150w LED parking lot light has an optional photocell sensor that allows for further energy savings. It comes with a No dimmable driver at 100V-277V or 277V-480V Optional Voltage LED Driver Color Temperature is: 4000K or 5000K. The fixture comes equipped with built-in 10 kVa surge protection for the power supply. The fixture comes in a dark bronze finish.

This shoebox fixture can be pole post or wall mounted using the following brackets: Wall or Yoke or Arm or Slip Fitter. All brackets are sold separately. It is also IP65 Wet location rated high impact rating of IK08 and can operate in temperatures ranging from -22 F to 113 F.

Options

4000K Color Temperature (Special Order)

277-480V Driver (Special Order)

Product Specifications

Watts:	150	Beam Angle:	Type 5 Standard, Type 3 Optional
Lumens:	24000	Optics:	Polycarbonate Lens
Lumens/Watt:	160	Frequency:	50-60Hz
Replaces:	400 Watt Metal Halide	Power Factor:	> .92
Color Temp:	4000K 5000K	THD:	< 15%
CRI:	70+	Housing:	Die-Cast Aluminum
IP Rating:	IP65	Fixture Color:	Bronze
IK Rating:	IK08	Mount:	Wall Yoke Arm Slip Fitter
Voltage:	100V-277V 277V-480V Optional	EPA Rating:	1.52
Surge Protection:	6kV line-line, 10kV line-earth	Dimensions:	15.63 in L X 11.25 in W X 3.22 in H
Operating Temp:	-22 degF to +113 degF	Cord Length:	5 Feet
Rated Life:	244,000 (L70) hours	Weight:	9.48 lbs
Dimmable:	No	Warranty:	10 years (100-277V) - 5 years (277-480V)

Product Options

Mounting Select an Option Straight Arm Slip Fitter Yoke-Wall	Photocell Photocell Kit	Motion Sensor Motion Sensor (dims to 10%)	Controller Remote Control
---	-----------------------------------	---	-------------------------------------



547092

18 Foot Square Steel Light Pole,
4 Inch Wide, 11 Gauge



Job: _____
 Job Site: _____ State: _____ Client Name: _____
 Notes: _____ Approvals: _____ Date: _____

Pole Top Options: A removable pole cap is provided if the pole is drilled for attaching light fixtures. The drill pattern and drill orientation needs to be provided by the customer unless Energy Light fixtures are used for the project. If tenon option is selected, a steel tenon will be provided.

A 2 3/8 inch diameter tenon with 4 inch length is standard; however, the customer needs to confirm the appropriate tenon size required for the project.

Pole Shaft: 4 inch square 11 gauge commercial grade steel with minimum yield strength of 50,000 psi.

Handhole: 3" X 5" size reinforced handhole is located at 18 inches from the base. A ground lug with set screw is located near the handhole opening for proper grounding of the pole.

Finish: Commercial grade, super durable powder coat finish. Dark Bronze is standard color. Black, White, Gray colors are available with additional surcharge.

Anchor Bolts: A set of 4 galvanized steel anchor bolts is provided with each pole assembly. Each anchor bolt includes 2 nuts and 2 washers. Top portion of the anchor bolt is threaded for securing and leveling the pole with the provided nuts and washers. An actual size paper anchor bolt template is provided.

Bolt Circle: 8-1/2" (Bolt Circle Range 8"-11")

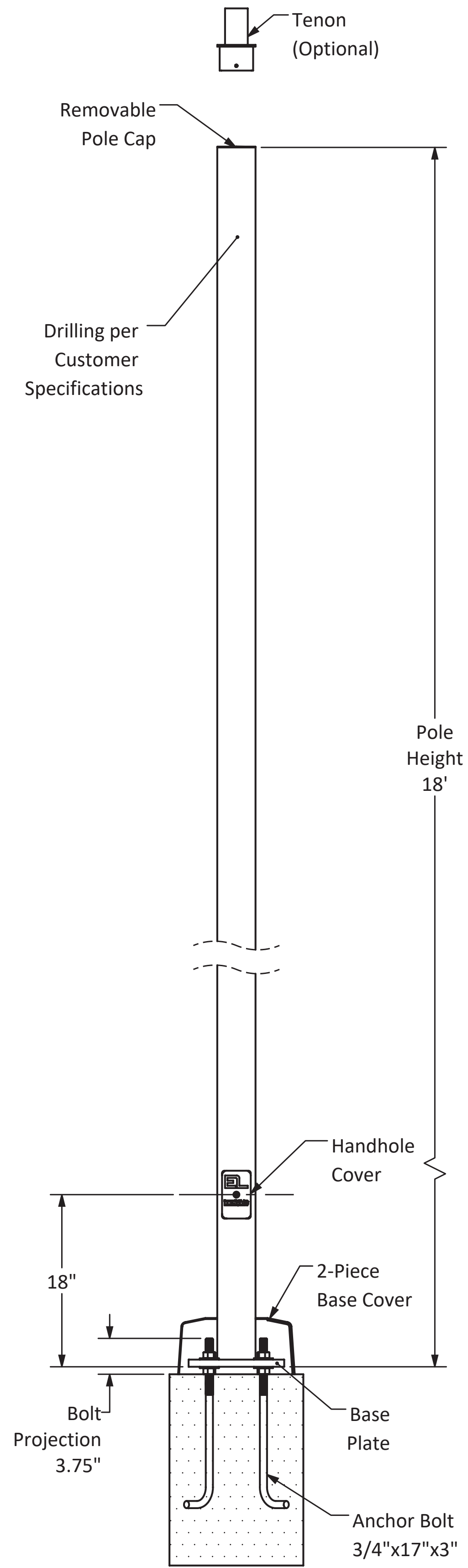
Base Cover: Two-piece ABS plastic base cover is provided.

Other Options: The following options are available:

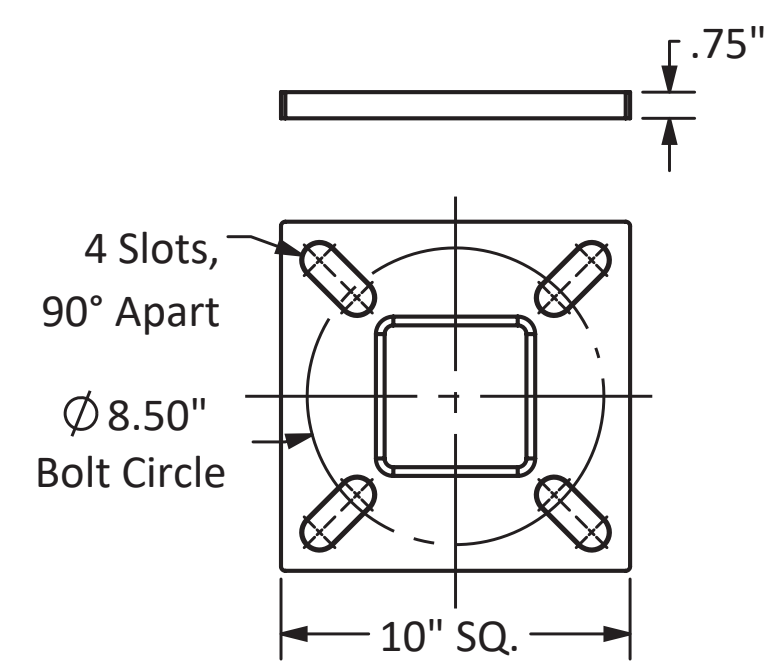
Vibration dampener, custom tenon sizes, custom colors, custom pole heights, additional handholes.

Warranty: 1 Year.

Foundation design: Foundation should be designed by an engineer familiar with local soil and wind conditions as well as local code where the pole(s) will be installed.



Maximum EPA with 1.3 Gust Factor (ft ²)					Pole Weight (lbs)
110 mph	120 mph	130 mph	140 mph	150 mph	
7.9	5.7	4.0	2.4	1.3	125



Base Plate

Disclaimer: All dimensions and specifications are subject to change without any notice. Energy Light, Inc. is not responsible for any claims arising from improper loading (what is attached to the light pole), improper use, incorrect foundation design and/or installation.

Mega Slam XL – Basketball Hoop

DIMENSIONS

Maximum System Height (top of backboard):
12.8 ft
Adjustable Rim Height: 5.5 ft - 10 ft
Total System Weight: 875 lbs
Total Width: 72"
Depth (overhang) at 10 ft: 60"
Depth (overhang) at 7.5 ft: 71"
Depth (overhang) at 5 ft: 70"

Anchor Kit and Padding are Included

PLAYABILITY

BackBoard

72" x 42"
72"-wide regulation pro-style backboard
½-inch regulation pro-style tempered glass
Clear-view backboard design (clearer than competition H-frame style)

180° PRO RIM™

Directional Flex® Technology in full 180° (comes standard)
18" Diameter
25.3" Depth (from backboard)
1100 lbs of Torque

ADJUSTABILITY

Adjustable Height

Adjusts to any height between 5.5 ft -10 ft

Overhang Distance

At 10 ft = 60"
At 7.5ft = 71"
At 5 ft = 70"

Lift Assist

2 double spring loaded cylinders

Adjustable Crank

Easy-turn handle is removable

RIGIDITY

5-Gauge Steel

Thickest in industry

12" X 8" main pole

Monster-sized for every game

Direct-connect rim

Attaches directly to lower extension arm

Total Weight

875 lbs

Support gussets

14

DURABILITY

Duplex Coating System

Hot dip zinc galvanization + powder coated steel.

Stainless Steel Hardware

Rust protection on nuts and bolts (anchor bolts are galvanized).

Advanced Arm Assembly

Support bolt fits in reinforced main pole.

Perimeter Backboard Support

2" steel perimeter frame

Glass Protection Frame

2" diecast aluminum backboard frame

SAFETY

180 Pro Rim™

Directional Flex® Technology flexes any direction 180° with player

HideAway Net®

Recessed net attachment system to rim

Stop Pin

Insert stop pin to limit height to 7.5 feet

2" Thick Padding

Custom-fitted for pole and base

1" Backboard Pad

Protects heads for play underneath



Shirley Residence | Outdoor: Basketball

1313 Gideon Way Rockwall, TX 75087

Date: 9/27/2024



DRK Enterprises LLC / LED Lighting Supply
1 Chestnut Street, 4M
Nashua, NH 03060
(888) 423-3191
www.ledlightingsupply.com

This Lighting Plan Analysis ("Lighting Design") provided by the DRK Enterprises LLC / LED Lighting Supply ("DRK") represent an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by DRK and therefore actual measured results may vary from the actual field conditions. DRK recommends that design parameters and other information be field verified to reduce variation. DRK neither warranties, either implied or stated with regard to actual measured light levels as compared to those illustrated by the Lighting Design. DRK neither warranties, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by DRK. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package. Replacing fixtures in this lighting design with other fixtures voids the results provided within the lighting plan. This lighting plan represents the photometric output of the fixtures specified within this plan.

The bottom left of the lighting plan is position (x,y) of 0,0

For each fixture:

x represents the distance on the horizontal axis from this bottom left corner. The more right you go, the higher the number.

y represents the distance on the vertical axis from the bottom left corner. The higher you go, the larger the number. z represents mounting height, or the distance above the ground.

Tilt represents the angle down, towards the surface. Orientation is the angle relative to the mounting position.

Once a fixture is mounted on the pole at height z, the installer will rotate the fixture to a location on the field (orientation) and then tilt the fixture so the beam of light lights up a specific location on that field.

Ref No:

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	LLF	Total Lamp Lumens
•	4	MLLG-LED-SBHO2-150-5-T3-BS	Single	1.000	14763

Luminaire Location Summary		
Label	Z	Tilt
MLLG-LED-SBHO2-150-5-T3-BS	18'	0
MLLG-LED-SBHO2-150-5-T3-BS	18'	0
MLLG-LED-SBHO2-150-5-T3-BS	18'	0
MLLG-LED-SBHO2-150-5-T3-BS	18'	0

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Court_Planar	Fc	22.00	26.2	14.3	1.54	1.83

LED LIGHTING SUPPLY
150 Watt LED Shoebox Area Light | 24000 Lumens | 10 Year Warranty | 5000K

[View Product Page](#)



Product Details

SKU: MLLG-LED-SBHO2-150-50 Web ID: 1762

150 Watt shoebox - parking lot fixture produces 24000 lumens at 160 lumens/watt and has durable die-cast aluminum housing that is powder coated with strong anti-corrosion performance for years of maintenance-free lighting.

Available in both Type 3 and Type 5 these are perfect for use in a parking lot. Our 150w LED parking lot light has an optional photocell sensor that allows for further energy savings. It comes with a No dimmable driver at 100V-277V or 277V-480V Optional Voltage LED Driver Color Temperature is: 4000K or 5000K. The fixture comes equipped with built-in 10 kVa surge protection for the power supply. The fixture comes in a dark bronze finish.

This shoebox fixture can be pole post or wall mounted using the following brackets: Wall or Yoke or Arm or Slip Fitter. All brackets are sold separately. It is also IP65 Wet location rated high impact rating of IK08 and can operate in temperatures ranging from -22 F to 113 F.

Options

- 4000K Color Temperature (Special Order)
- 277-480V Driver (Special Order)

Product Specifications

Watts:	150	Beam Angle:	Type 5 Standard, Type 3 Optional
Lumens:	24000	Optics:	Polycarbonate Lens
Lumens/Watt:	160	Frequency:	50-60Hz
Replaces:	400 Watt Metal Halide	Power Factor:	> .92
Color Temp:	4000K 5000K	THD:	< 15%
CRi:	70+	Housing:	Die-Cast Aluminum
IP Rating:	IP65	Fixture Color:	Bronze
IK Rating:	IK08	Mount:	Wall Yoke Arm Slip Fitter
Voltage:	100V-277V 277V-480V Optional	EPA Rating:	1.52
Surge Protection:	6kV line-line, 10kV line-earth	Dimensions:	15.63 in L X 11.25 in W X 3.22 in H
Operating Temp:	-22°F to +113°F	Cord Length:	5 Feet
Rated Life:	244,000 (L70) hours	Weight:	9.48 lbs
Dimmable:	No	Warranty:	10 years (100-277V) - 5 years (277-480V)



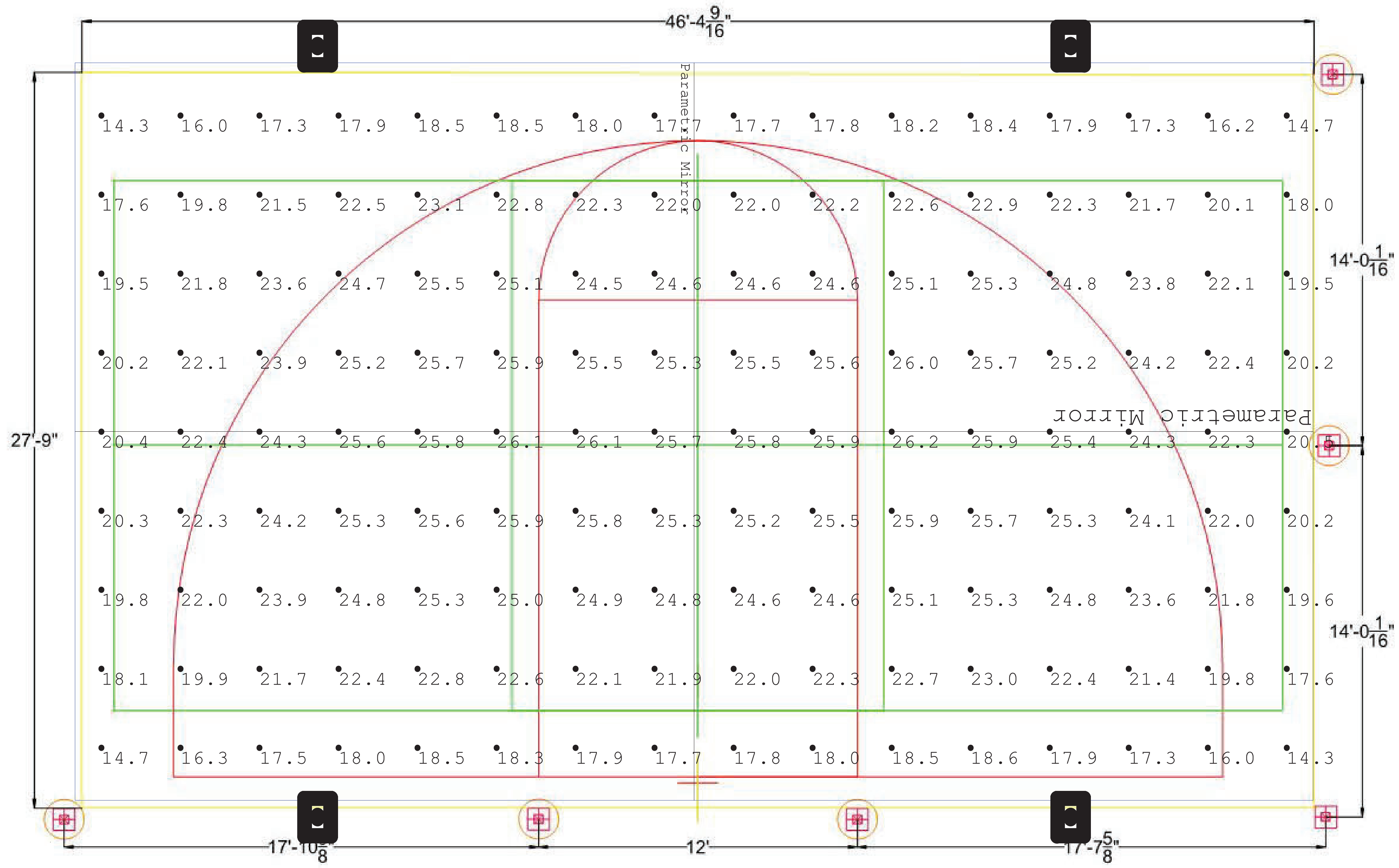
Aram Maranian
Lighting Specialist

978-788-8073

amaranian@ledlightingsupply.com

ledlightingsupply.com

[Get A Lighting Plan Or Quote](#)



REV.	DESCRIPTION
PL	

CLIENT:

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 77 (PD-77) [ORDINANCE NO. 15-20] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A PRIVATE SPORTS COURT WITH STANDALONE OR DEDICATED LIGHTING ON A 0.3444-ACRE PARCEL OF LAND IDENTIFIED AS LOT 6, BLOCK 2, GIDEON GROVE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Chad and Cindy Shirley for the approval of a Specific Use Permit (SUP) for a Private Sports Court with Standalone or Dedicated Lighting on a 0.3444-acre parcel of land identified as Lot 6, Block 2, Gideon Grove Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1313 Gideon Way, and more fully described and depicted in Exhibit 'A' of this ordinance, which hereinafter shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 77 (PD-77) [Ordinance No. 15-20] and the Unified Development Code (UDC) [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 77 (PD-77) [Ordinance No. 15-20] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a Private Sports Court with Standalone or Dedicated Lighting in a Single Family 10 (SF-10) District as stipulated by, Article 04, Permissible Uses, and Article 05, District Development Standards, of the Unified Development Code [Ordinance No. 20-02] on the Subject Property; and

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Private Sports Court with Standalone or Dedicated Lighting* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The *Private Sports Court with Standalone or Dedicated Lighting* shall maintain conformance to the approved site plan depicted in *Exhibits 'B'* of this ordinance.
- (2) Exterior lights placed or erected on the *Private Sports Court with Standalone or Dedicated Lighting* shall not exceed a maximum height of 18-feet, the lights shall be directed downward, and shall not exceed a measured light intensity of 0.2 of one foot-candle at any property line. In addition, the lights shall be of the shielded type luminaries and installed so as to not produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.
- (3) The light standards shall be directed downward, and shall be partially or fully cut-off at the light source.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of

the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF DECEMBER, 2024.**

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 18, 2024

2nd Reading: December 2, 2024

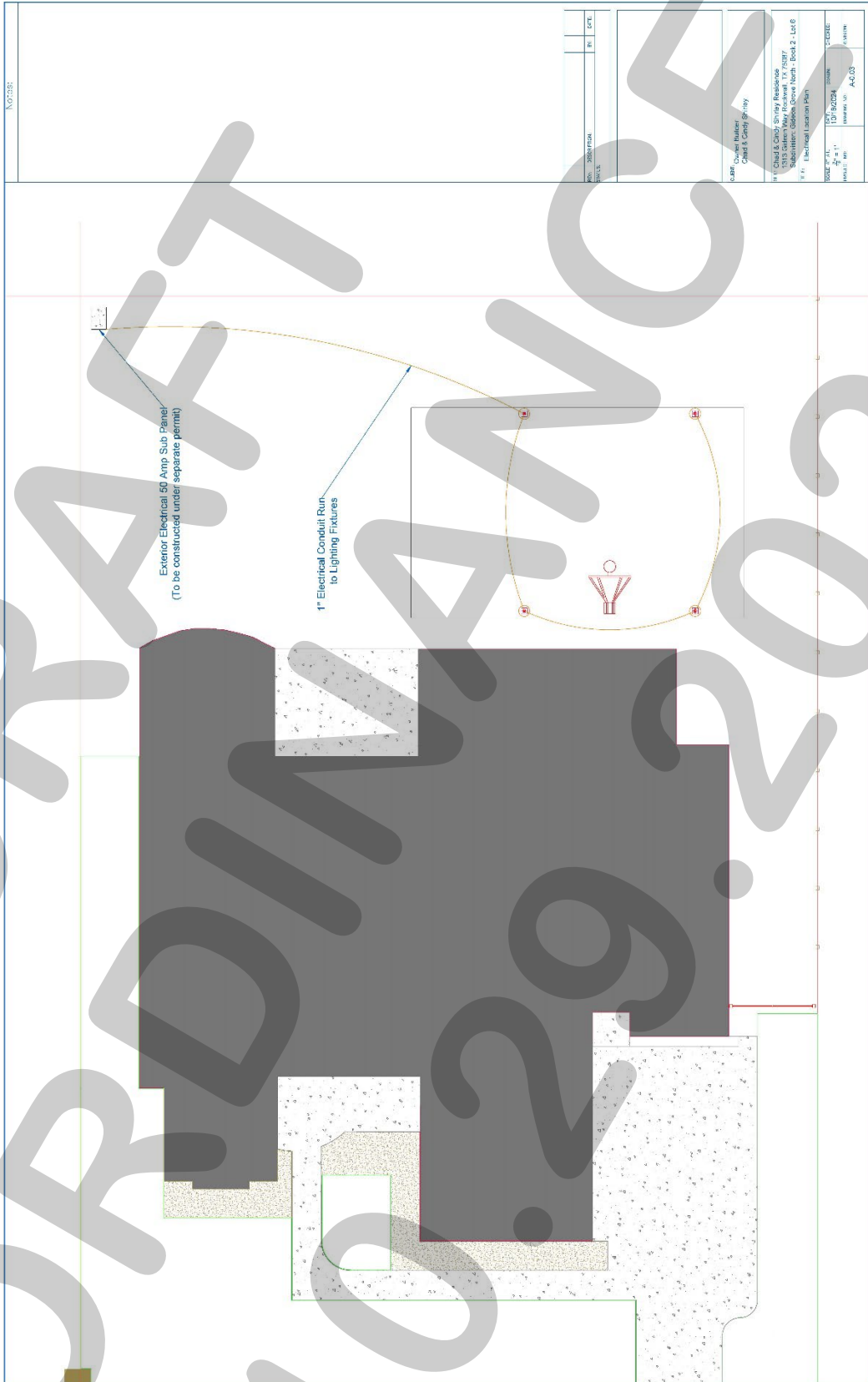
Exhibit 'A'
Location Map

Address: 1313 Gideon Way

Legal Description: Lot 6, Block 2, Gideon Grove Addition



Exhibit 'B'
Site Plan



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: SP2024-042
PROJECT NAME: Amended Site Plan for 1010 Ridge Road
SITE ADDRESS/LOCATIONS: 1010 RIDGE RD

CASE CAPTION: Discuss and consider a request by Joanne Vuckovic on behalf of the Pregnancy Resource Center of Lake Ray Hubbard for the approval of an Amended Site Plan for an existing Medical Office Building on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	10/24/2024	Approved w/ Comments

10/24/2024: SP2024-042; Amended Site Plan for 1010 Ridge Road (Pregnancy Resource Center)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an existing Medical Office Building on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (SP2024-042) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans (i.e. Site Plan and Building Elevations). (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Please provide a Site Data Table listing the following: square footage of the building, building height, and the parking requirements).

M.6 Site Plan

- 1) Please indicate the distance between the building and the side property lines to ensure conformance with the side setbacks. (Subsection 03.04, B. of Article 11)
- 2) All ground mounted utility equipment shall be screened with 5-gallon evergreen shrubs. (Subsection 01.05, C. of Article 05)
- 3) All shrubs shall be a 5-gallon minimum. (Appendix C)
- 4) The landscape buffer must have 2, 4-inch caliper, canopy trees and 4, 4-foot accent trees per 100-linear feet. In this case, there must be 2 canopy and 3 accent trees. (Subsection 05.01, of Article 08)

M.7 Building Elevations

- 1) Please indicate the proposed building materials on the proposed building. (Subsection 04.01, of Article 05)
- 2) Please indicate the roof pitch. In this case, the minimum roof pitch for commercial buildings is 6:12.
- 3) Please indicate the roof material and color being used on the building. The building elevations indicate a standing seam roof. Please specify if this is the case.
- 4) Please indicate the building height. (Subsection 07.03, of Article 05)

M.8 Please provide a Material Sample Board if walls are being removed.

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on November 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2024 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 29, 2024.
- 2) Planning & Zoning Meeting/Public Hearing meeting will be held on November 12, 2024.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). Please note that a representative(s) is required to be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	10/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved w/ Comments

- 10/22/2024: 1. Please provide landscape / tree scape plan
2. Please provide tree mitigation showing mitigation for the tree removals



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1010 Ridge Rd.

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Pregnancy Resource Center of Lake Ray Hubbard

APPLICANT

CONTACT PERSON

Joanne Vuckovic

CONTACT PERSON

ADDRESS

1010 Ridge Rd.

ADDRESS

CITY, STATE & ZIP

Rockwall Tx 75087

CITY, STATE & ZIP

PHONE

972-772-8292

PHONE

E-MAIL

joanne@yourpre.org

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Joanne Vuckovic [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF October, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

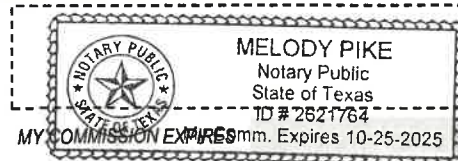
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2024.

OWNER'S SIGNATURE

Joanne Vuckovic

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Melody Pike



0 15 30 60 90 120 Feet

SP2024-042: Amended Site Plan for Pregnancy Resource Center at 1010 Ridge Road



SF-10

PD-53

RIDGE RD

740

PD-1

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



ISSUES

NO.	DATE	DESCRIPTION
A	10/30/23	ISSUE FOR PERMIT

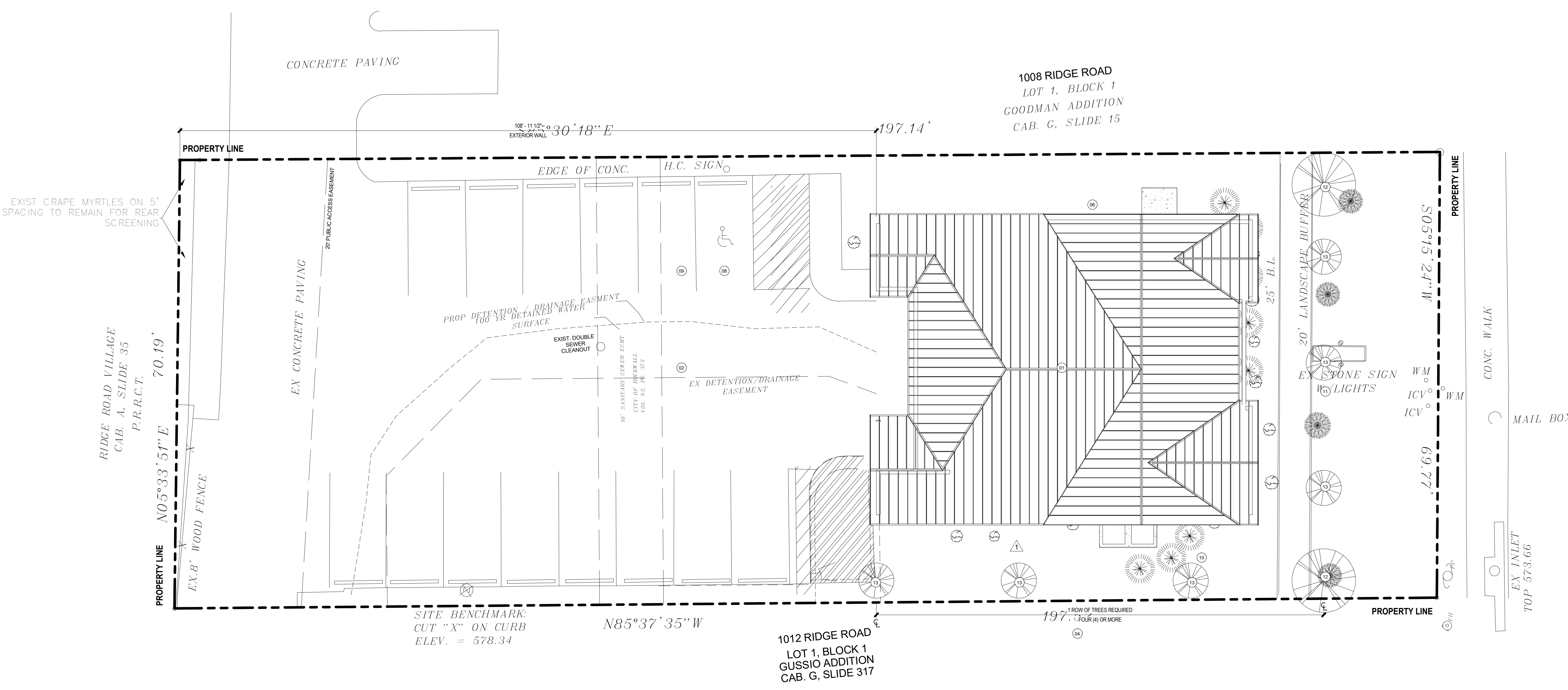
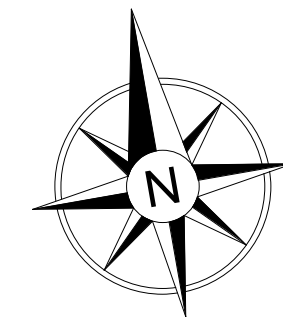
REVISION

NO.	DATE	DESCRIPTION
1	06/04/24	ADDENDUM 01

This Document was produced by or under the direct supervision of **Registered Architect BLAKE AARON**. This document is incomplete and may not be used for regulatory approval, permit or construction. Date of issue: 06/04/2024

RPRC ADDITION

1010 RIDGE ROAD
ROCKWALL, TEXAS 75087



01 SITE PLAN - PROPOSED
1/8" = 1'-0"

- GENERAL NOTES**
- A. REF: G0-SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS
 - B. REF: A0-SERIES FOR TYPICAL DEVICE MOUNTING LOCATIONS AND TYPICAL ACCESSIBILITY DIAGRAMS
 - C. REF: A6-SERIES FOR DOOR, WINDOW, FINISH, FIXTURE AND EQUIPMENT SCHEDULES
 - D. REF: G-SERIES FOR PROJECT RELATED GENERAL NOTES

- SHEET NOTES**
- 01 EXISTING BUILDING TO BE RENOVATED; REFER TO ARCHITECTURAL DRAWINGS FOR SCOPE OF WORK
 - 02 EXISTING PARKING AREA; REFER TO CIVIL DRAWINGS FOR SCOPE OF WORK
 - 04 REQUIRED LANDSCAPE PER THE CITY OF ROCKWALL SCENIC OVERLAY DISTRICT; REFER ARTICLE
 - 06 PROPOSED OUTDOOR PAVERS; REFER ARCHITECTURAL DRAWINGS
 - 08 PROPOSED ADA PARKING LOCATION; REFER CIVIL DRAWINGS
 - 09 PROPOSED TYPICAL PARKING STALL; REFER CIVIL DRAWINGS

- 10 PROPOSED LANDSCAPE SCREEN PER AHJ REQUIREMENTS; LANDSCAPE BY OWNER
- 11 REQUIRED LANDSCAPE BUFFER PER CITY OF ROCKWALL; REFER TO APPENDIX C
- 12 REQUIRED CANOPY TREE PER CITY OF ROCKWALL; REFER TO SUBSECTION 05.01 OF ARTICLE 08
- 13 REQUIRED ACCENT TREE PER CITY OF ROCKWALL; REFER TO SUBSECTION 05.01 OF ARTICLE 08

LEGEND

[Symbol]	[Description]
----------	---------------

SITE PLAN

JOB 23.014

DATE 06/04/2024

G1.000

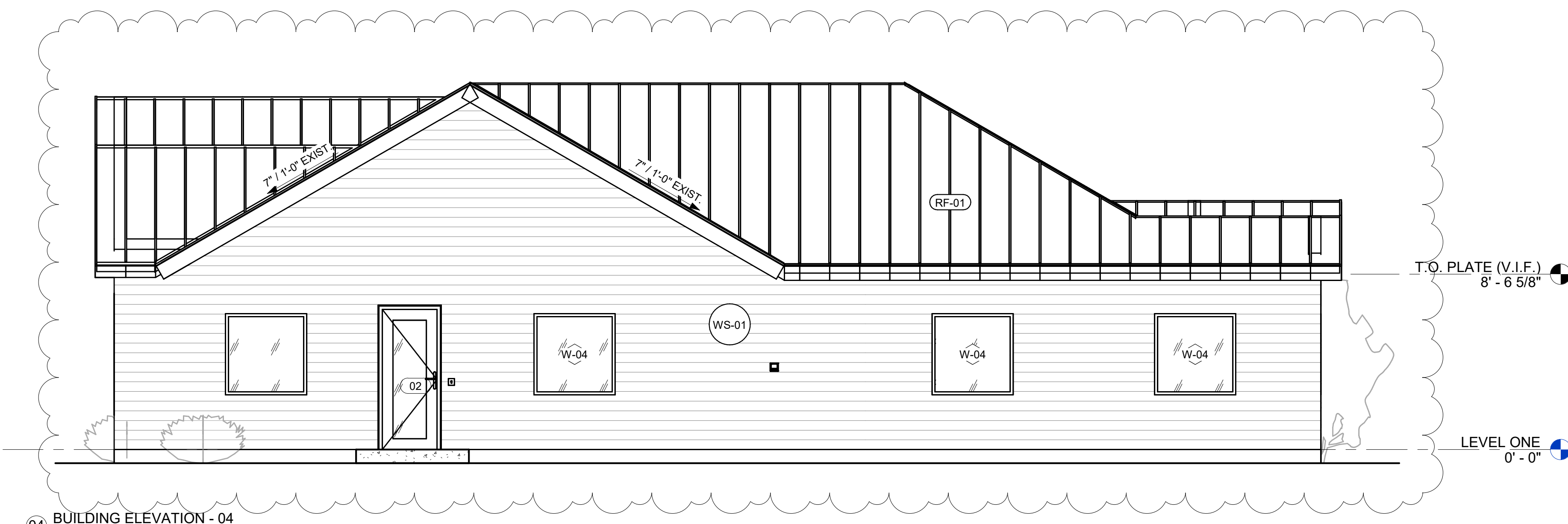
ISSUES

NO.	DATE	DESCRIPTION
A	10/30/23	ISSUE FOR PERMIT

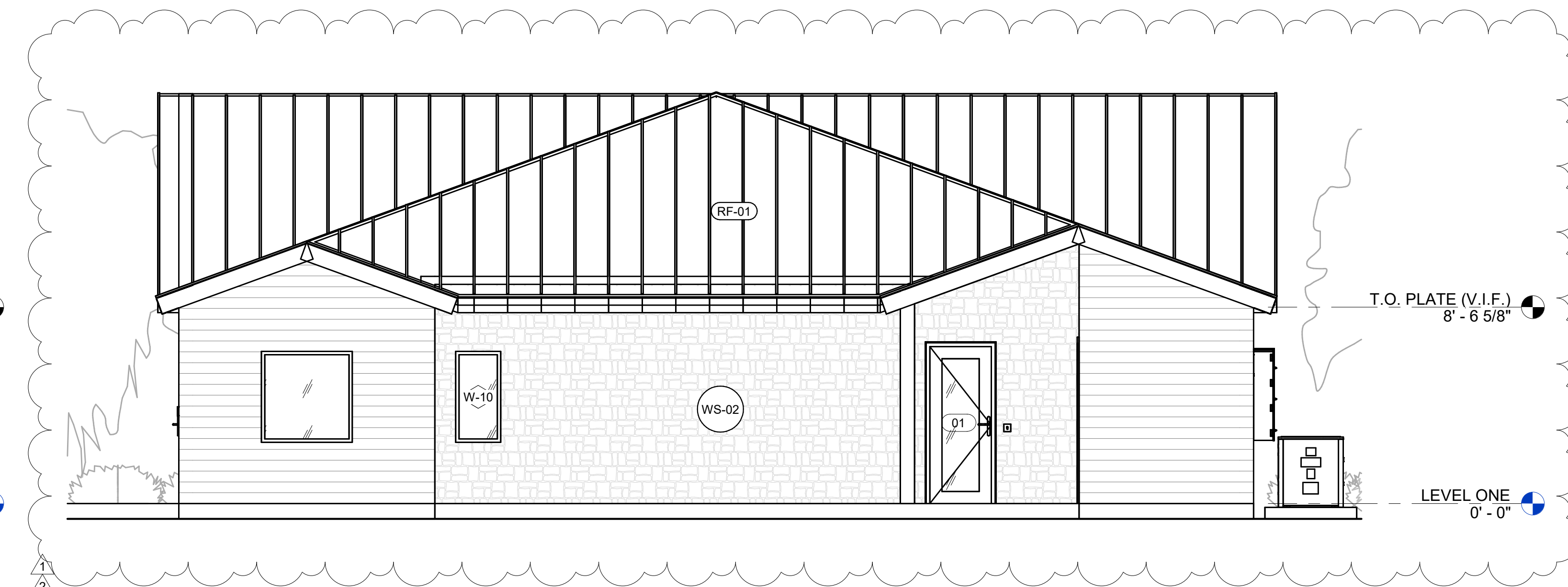
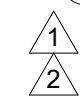
REVISION

NO.	DATE	DESCRIPTION
1	06/04/24	ADDENDUM 01
2	TBD	ISSUE FOR CONSTRUCTION

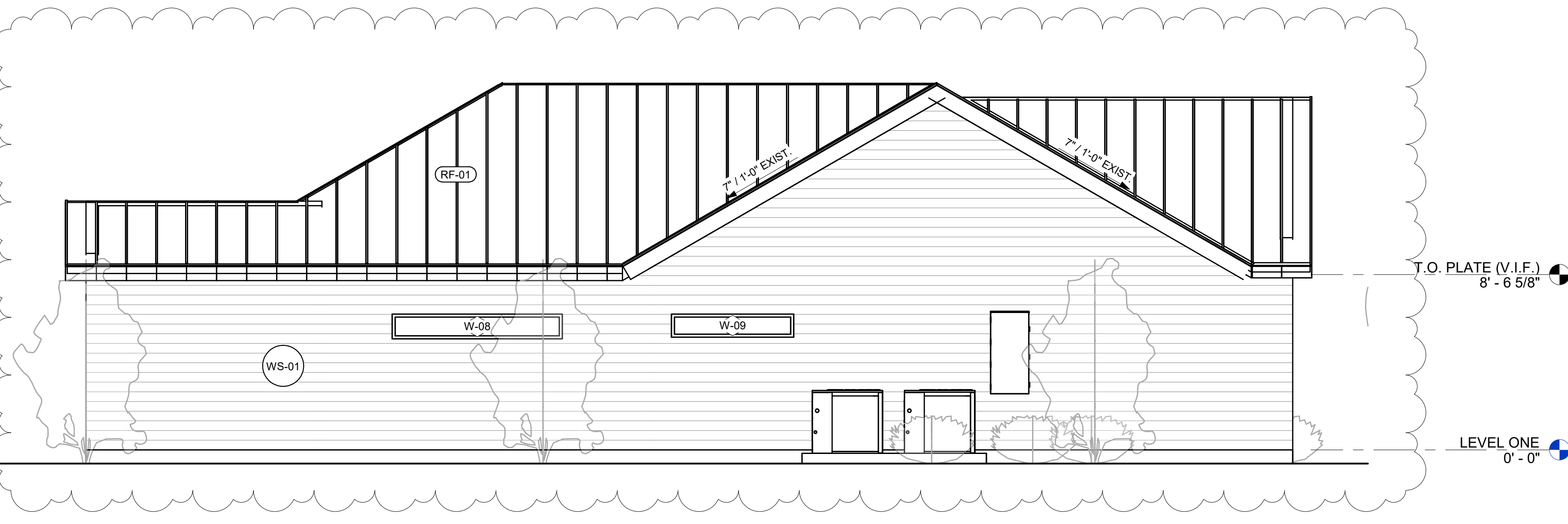
This Document was produced by or under the direct supervision of **Registered Architect BLAKE AARON**. This document is incomplete and may not be used for regulatory approval, permit or construction. Date of issue: 06/04/2024



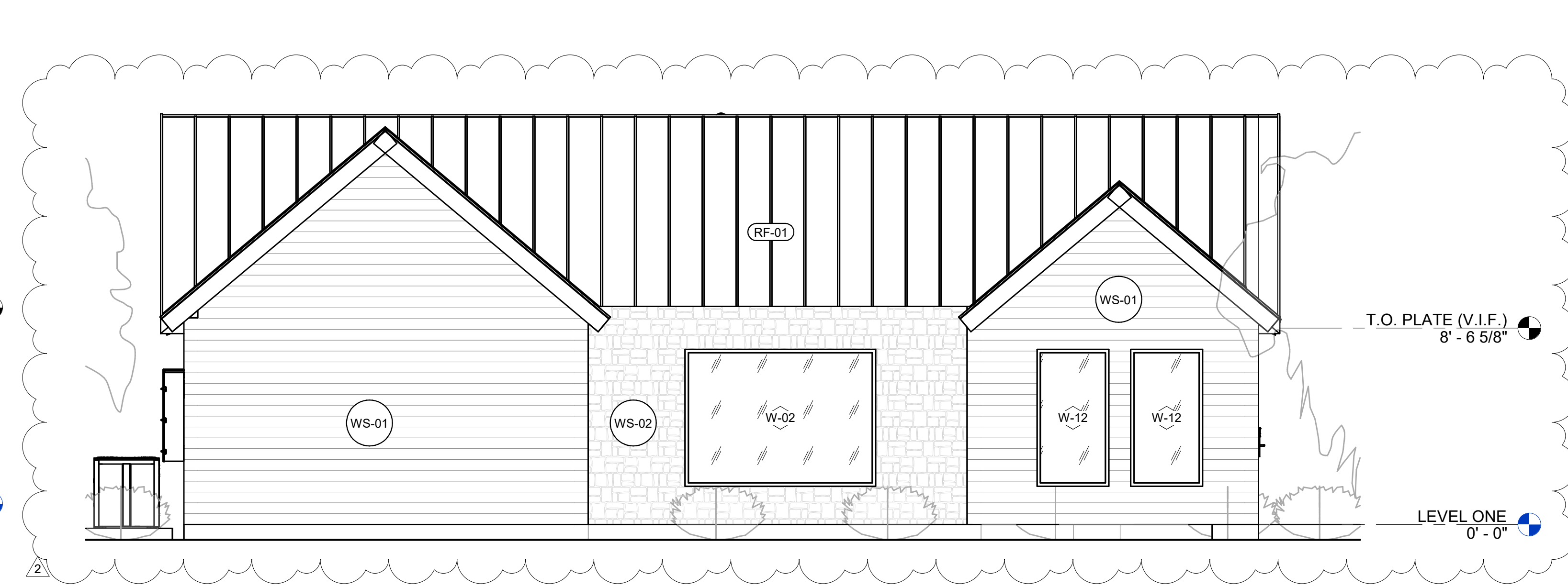
04 BUILDING ELEVATION - 04
1/4" = 1'-0"



02 BUILDING ELEVATION - 02
1/4" = 1'-0"



03 BUILDING ELEVATION 03
1/4" = 1'-0"



01 BUILDING ELEVATION - 01
1/4" = 1'-0"



GENERAL NOTES

- A. REF: G0-SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS
- B. REF: A0-SERIES FOR TYPICAL DEVICE MOUNTING LOCATIONS AND TYPICAL ACCESSIBILITY DIAGRAM
- C. REF: A6-SERIES FOR DOOR, WINDOW, FINISH, FIXTURE AND EQUIPMENT SCHEDULES
- D. REF: G SERIES FOR PROJECT RELATED GENERAL NOTES

SHEET NOTES

LEGEND

- EXISTING
- NEW CONSTRUCTION

BUILDING ELEVATIONS

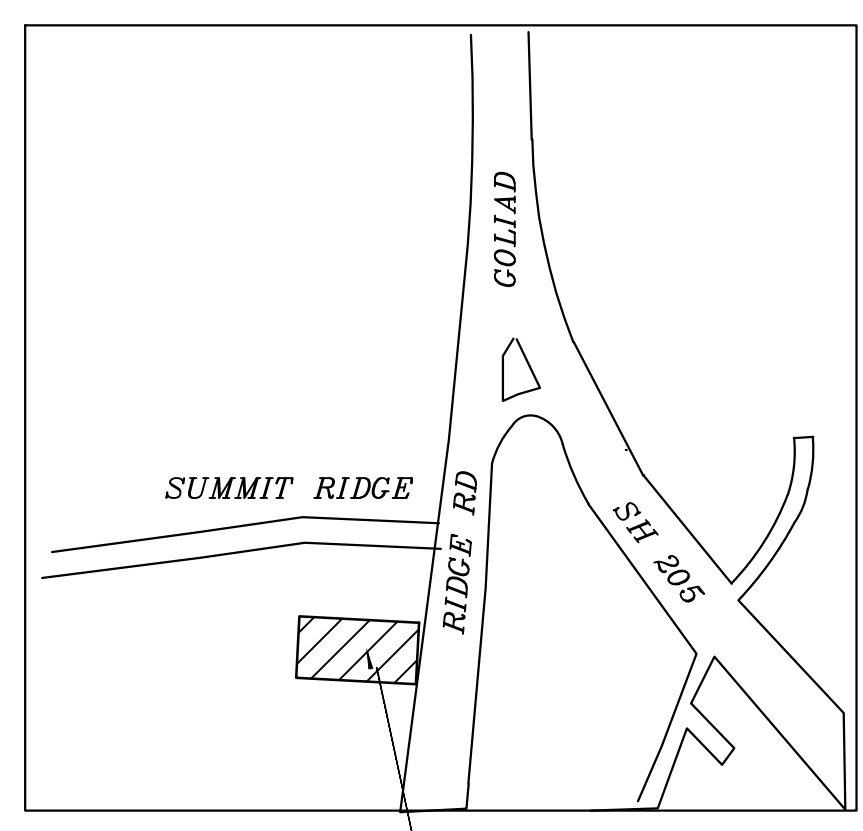
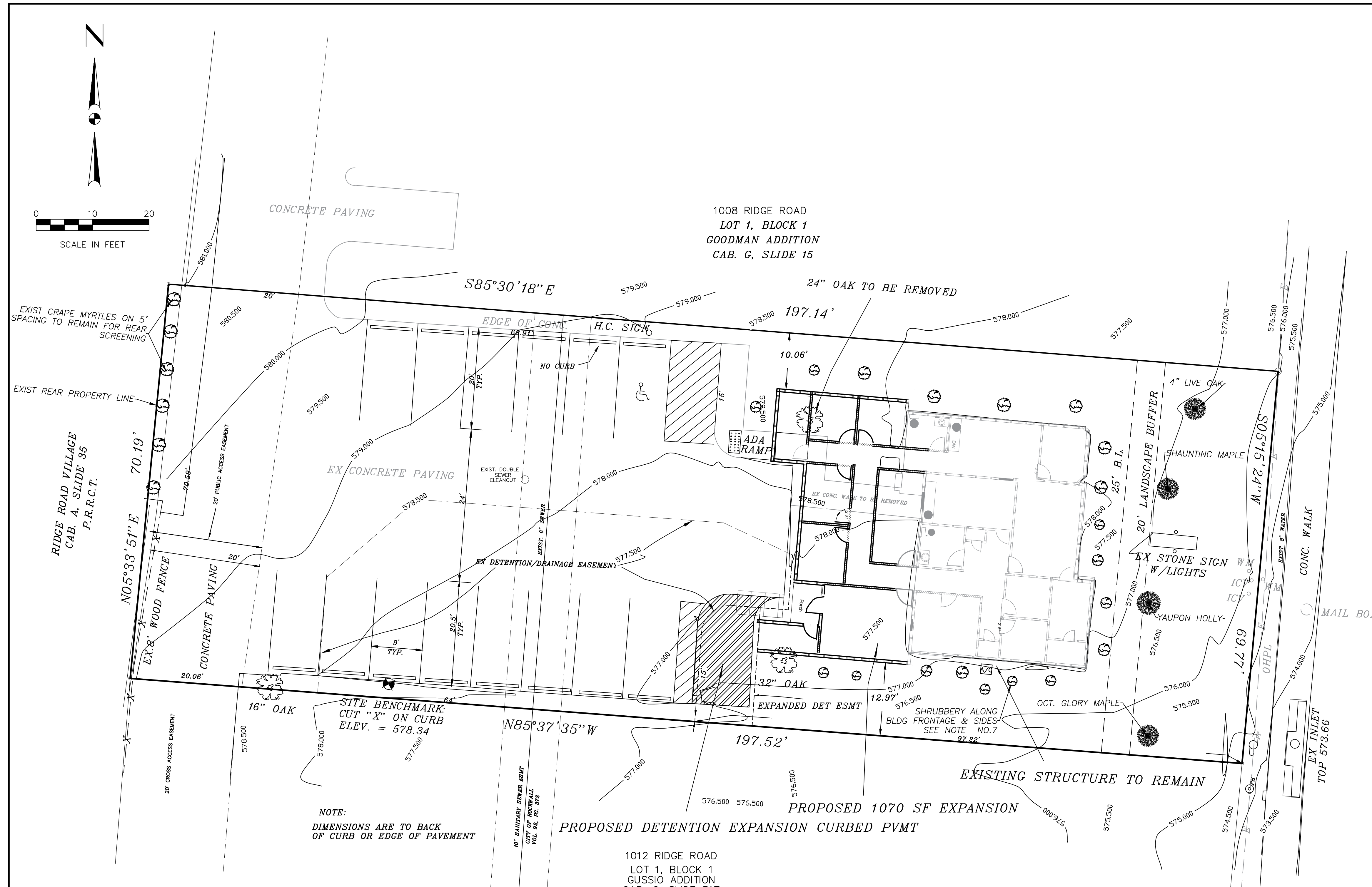
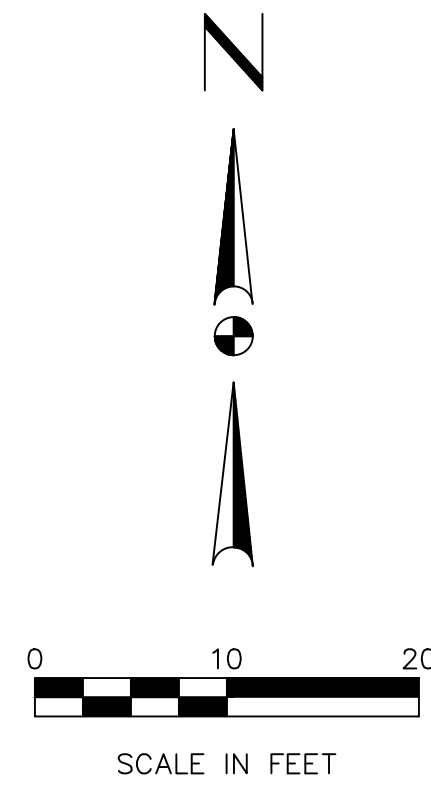
JOB 23.014

DATE 06/04/2024

A2.101

RPRC ADDITION

1010 RIDGE ROAD
ROCKWALL, TEXAS 75087



PROJECT LOCATION
LOCATION MAP
NTS

RIDGE ROAD
F.M. HWY. 740
VARIABLE WIDTH R.O.W.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN
FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL
ON THE _____ DAY OF _____
WITNESS OUR HANDS, THIS _____ DAY OF _____

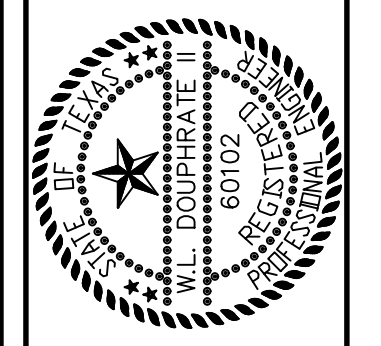
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING
CASE NO. SP2020-009

OWNER
PREGNANCY RESOURCE CENTER
1010 RIDGE RD
ROCKWALL, TX 75087
972-722-8292

- NOTES:
1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
 3. THE EXISTING CRAPE MYRTLES LOCATED ALONG THE WEST PROPERTY LINE ARE TO BE PRESERVED FOR RESIDENT SCREENING
 4. SCREEN PARKING FRONTAGE WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LICUSTRUM BUSHES
 5. LANDSCAPE BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
 6. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN
 7. ALL SHRUBS SHALL BE A 5 GAL MINIMUM IN SIZE.
 8. 2 CANOPY TREES TO BE PLANTED WITHIN THE 20' LANDSCAPE BUFFER
1-4" LIVE OAK, 1-4" OCTOBER GLORY MAPLE
 9. 2 ACCENT TREES TO BE PLANTD WITHIN THE 20' LANDSCAPE BUFFER
1-SHAUNTING MAPLE & 1- YAUPON HOLLY

SITE DATA SUMMARY:
NAME OF FINAL PLAT: PREGNANCY RESOURCE CENTER LOT 1 BLOCK A BEING A REPLAT OF LOT 3 R.S. LOFLAND SUBD
ZONING: RO (RESIDENTIAL OFFICE DISTRICT) PD-53
PROPOSED USE: BUSINESS OFFICE
EXIST BUILDING SQUARE FOOTAGE: 1200 SF
PROPOSED BUILDING EXPANSION SQUARE FOOTAGE 1070 SF
TOTAL BUILDING FOOTPRINT: 2270 SF
BUILDING HEIGHT: 28 FT
LOT COVERAGE: 16.44%
PARKING SPACES REQUIRED: 1 SPACE/300 SF= 8
HANDICAP PARKING REQUIRED: 1
TOTAL PARKING SPACES PROVIDED: 14
HANDICAP PARKING PROVIDED: 1
INTERIOR LANDSCAPING REQUIRED: 30%
INTERIOR LANDSCAPING PROVIDED: 30% 4150 SF
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE=9314 SF

1012 RIDGE ROAD
LOT 1, BLOCK 1
GUSSIO ADDITION
CAB. G, SLIDE 317



THE SEAL APPEARING ON THIS DOCUMENT IS AUTHORIZED BY THE BOARD OF SURVEYORS, TEXAS, P.L.E. NO. 60102, F-886, ON DATE: FEBRUARY 15, 2023

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN BUILDING EXPANSION & LANDSCAPING
PREGNANCY RESOURCE CENTER
1010 RIDGE ROAD
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	WLD.
CHECKED	
DRAWN	GCW.
SCALE	1"=10' H 1"=10' V
DATE	JUNE 16, 2015
PROJECT	22029
	1







PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/24/2024

PROJECT NUMBER: SP2024-043
PROJECT NAME: Site Plan for Rockwall Medical Building
SITE ADDRESS/LOCATIONS: 2651 S GOLIAD ST, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brochette of Vue Real Estate for the approval of a Site Plan for a Medical Office Building on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	10/23/2024	Approved w/ Comments

10/23/2024: SP2024-043; Site Plan for a Medical Office Building

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jake Hodges of Kimley-Horn on behalf of Jeff Brochette of Vue Real Estate for the approval of a Site Plan for a Medical Office Building on a 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2024-043) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Provide a physical Material Sample Board with samples of the material used on the building before the Architecture Review Board (ARB) meeting on October 29, 2024. (Subsection 03.04.A, Article 11, UDC)

M.6 Site Plan

- 1) All parking spaces shall be 9'x20'. (Engineering Standards of Design and Construction)
- 2) All overhead utilities shall be placed underground. (Subsection 06.02.H, Article 05, UDC)
- 3) A five (5)-foot sidewalk will be required along S Goliad and SH-276. (Subsection 03.04.B, of Article 11, UDC)
- 4) The building setback along S. Goliad is 25 feet. (Subsection 06.02.D.1(d), Article 05, UDC)
- 5) Please show the City of Heath water line located on the north side of the property for reference. (03.041.A, Article 11, UDC)
- 6) Indicate the fire lanes. (Subsection 03.04.A, Article 11, UDC)
- 7) Indicate the location of all existing and proposed fire hydrants. (Subsection 03.04.A, Article 11, UDC)

M.7 Landscape Plan

- 1) All landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway. (Subsection 06.02.E, Article 05, UDC)
- 2) Provide the actual impervious area vs. landscape area. (Subsection 01.01.B, of Article 05, UDC) Currently the landscape plan shows 100% pervious which is not correct. The maximum allowable impervious surface is 85%.
- 3) The generators will need to be screened. The screening must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers. (Subsection 01.05.E, Article 05, UDC)
- 4) Residential Adjacency screening is required along the east property line. Where the property immediately abuts a residential zoning district or residentially used property a minimum 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF in area. (Subsection 04.01.E(4), Article 05, UDC) In this case, a 25-foot wide landscape buffer is required on the east property line. In addition, any non-residential land use that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees) along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers. (Subsection 05.02.B, Article 08, UDC)
- 5) Detention area is required to have 1 canopy tree per 750 SF and one (1) accent per 1,500 SF of detention. Please show this on the landscape plan. (Subsection 05.03.D, Article 08, UDC)
- 6) The Dumpster and generators shall be screened with evergreen shrubs. (Subsection 01.05.B, Article 05, UDC)
- 7) Please indicate Decomposed Gravel (DG) on the landscape plan index. Is the DG contained in some way (i.e. glue, concrete edging, etc.)?

M.8 Treescap Plan

- 1) Any Cedar tree less than eight (8)-foot in height are not protected. Any Cedar tree more than eight (8)-foot in height is required four (4) inches of mitigation. (Subsection 05, Article 09, UDC) If the chittamwood is in declining health -- less than a two (2) on a five (5)-point scale, the mitigation required would be zero (0). Please update the provided table to reflect the heights and updated mitigation as shown in the example table below:

M.9 Building Elevations

- 1) Building does not meet four (4)-sided architecture requirements. Specifically, the minimum length of the secondary element and primary entryway is not met on the elevations. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C.5, of Article 05, UDC)
- 2) Dash in the Roof Mounted Mechanical Equipment on the building elevations to ensure these will be screened from view. (Subsection 01.05.C, Article 05, UDC)
- 3) Parapets shall be extended back and finished on the backside, same as front. (Subsection 05.01.A.2, Article 05, UDC)
- 4) Provide a note indicating a self-latching gate on the dumpster. (Subsection 01.05.B, of Article 05, UDC)
- 5) Building materials do not meet the 90% masonry requirement. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C, of Article 05, UDC)
- 6) Building materials do not meet the 20% stone requirement. This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C, of Article 05, UDC)

M.10 Staff has identified the following variance(s) associated with the proposed request: [1] Four (4)-sided Architecture, [2] Primary Articulation, [3] 20% stone, [4] 90% masonry, [5] excess of 10% secondary materials, and [6] natural stone. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2)

compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on November 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on October 29, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on November 12, 2024.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	10/23/2024	Approved w/ Comments

- 10/23/2024:
1. There is no existing storm drainage pipes to outfall to. Will you outfall via sheet flow?
 2. City of Rockwall Public Park
 3. You need to extend your sidewalk all the way across your frontage.
 4. Sanitary sewer must be in a easement with a minimum of 10' on either side of main.
 5. Inlets cannot be on the side of parking stalls. Needs to be at the end.
 6. Maximum length of a dead end water line is 50'. Must connect to a looped system.
 7. Access easement from ROW to this point required.
 8. 16" water
 9. All parking spaces must be min 20'x9'.
 10. 10' Utility easement along all roadway frontages
 11. 12" water line stub
 12. This connection will need to be made by dry bore and steel encased. Cannot open cut S. Goliad St.
 13. Show ROW line in this area.
 14. This connection will need to be made by dry bore and steel encased. Cannot open cut SH 276.
 15. 16" water

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines will need to be placed underground.

- A TIA is required. Review fees apply. TIA must be approved before engineering permit may be issued. Improvements identified within TIA must be constructed.
- Tree Mitigation will be required for the removal of trees on site.
- City driveway spacing and TXDOT driveway spacing requirements must be met.
- Additional comments may be provided at time of Engineering.

Drainage Items:

- Detention is required. Drainage calculations based on property zoning, not land area use. Must detain to pre-developed flows.
- Existing flow patterns must be maintained.
- Detention ponds must be in a drainage easement located at the 2' freeboard elevation.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- An emergency spillway is required for the detention pond.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to detention pond. Minimum 2' above 100-year WSEL.
- All dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- \$432.47/acre sewer pro-rata
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Any utility connects across existing roadways must be completed by dry bore. Open cutting will not be allowed.
- Any utility work or driveway connections within TXDOT ROW will require a TXDOT permit. City shall submit TxDOT permit.
- Must install a 16" water main along S. Goliad St frontage and a 16" water main along SH 276 per City master plans. Dedicate easements.
- Commercial sanitary sewer service line size is minimum 6" and must connect to a manhole.
- Water to be 10' separated from storm and sewer lines.
- Must install all water and sanitary sewer per Master Water and Wastewater Master Plan that is within or adjacent to property.
- Sanitary sewer must connect to City mains at a manhole.

Roadway Paving Items:

- All new paving to be steel reinforced concrete.
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking allowed without a city approved turn around. - Parking to be 20'x9' min. All drive aisles to be a minimum of 24' in width.
- Sidewalk required along public and TXDOT roadways.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- TXDOT driveway spacing requirements and City driveway spacing requirements must be met.
- TxDOT permit will be submitted by the City.
- Must comply with the results of the TIA, once completed.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

BUILDING	Craig Foshee	10/24/2024	Approved
----------	--------------	------------	----------

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/22/2024	Needs Review

10/22/2024: Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Where approved by the fire code official, buildings of Type IA, Type IB, or Type IIA construction equipped throughout with an automatic sprinkler system and having firefighter access through an enclosed stairway with a Class I standpipe from the lowest level of fire department vehicle access to all roof surfaces is exempt. One or more of the required access routes meeting this condition shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2024	Approved w/ Comments

10/21/2024: Assigned Address will be 2651 S GOLIAD ST, ROCKWALL, TX 75032

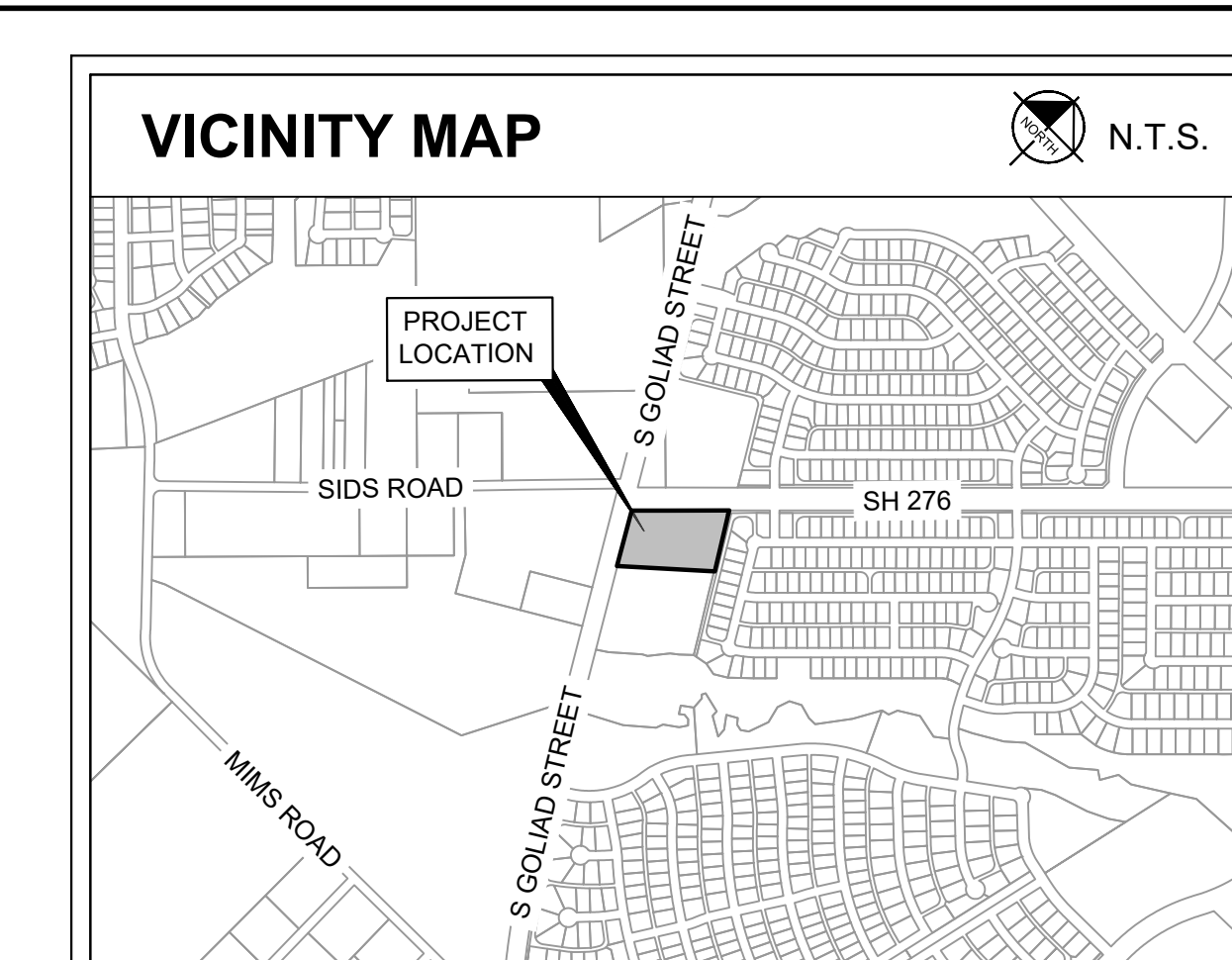
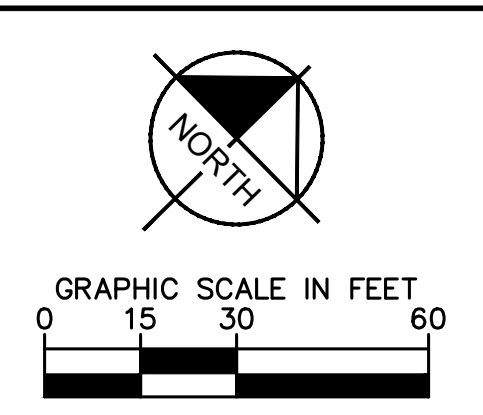
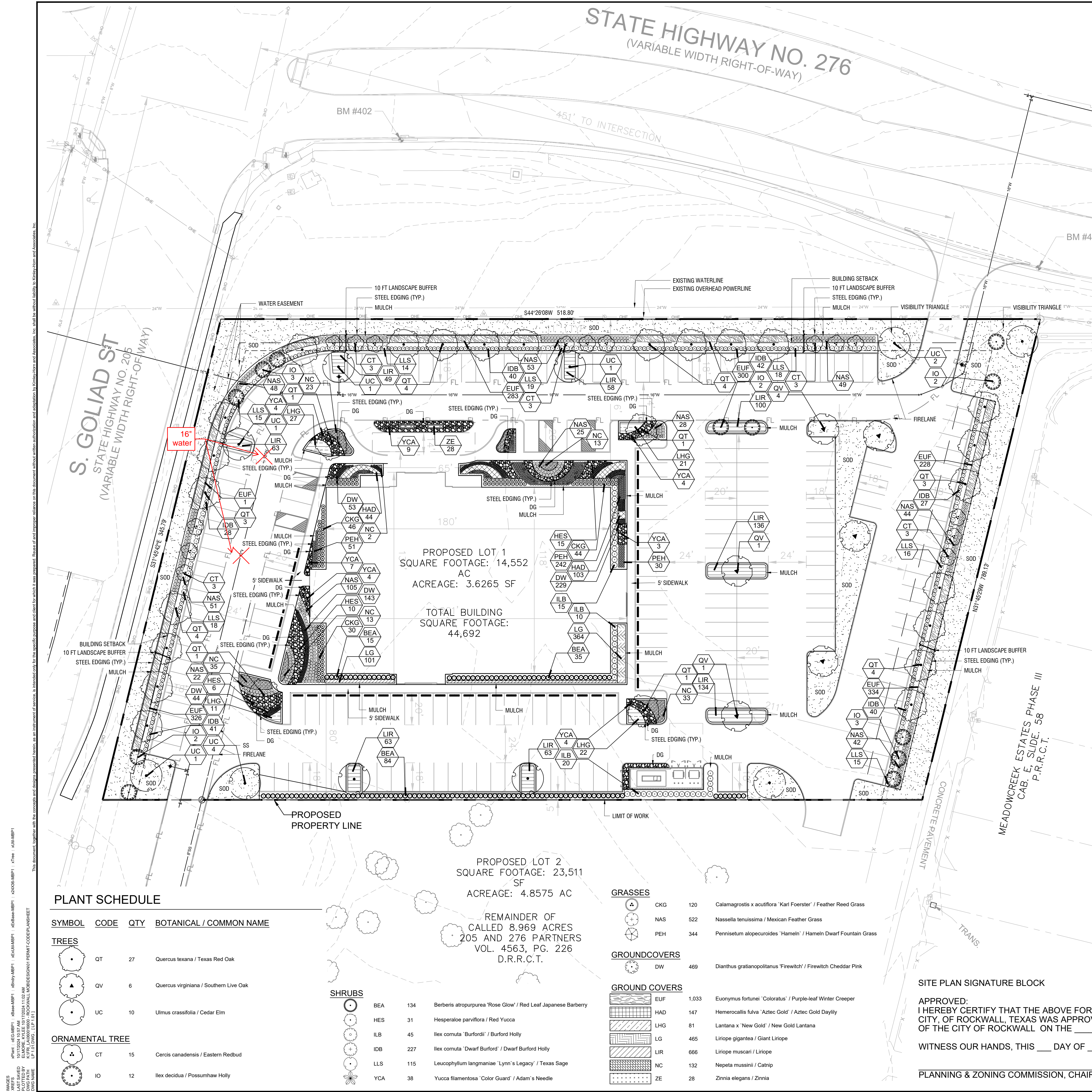
Future suite numbers shall follow our addressing standards: <https://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	10/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/22/2024	Approved w/ Comments

10/22/2024: 1. There are better varieties of Bermudagrass available such as Tif Tuf and Tahoma 31 that are more drought, cold, wear and shade tolerant than common.



CITY OF ROCKWALL LANDSCAPE REQUIREMENTS

REQUIREMENT	REQUIRED	PROVIDED
LANDSCAPE MATERIAL (SECTION 4.A.) Canopy Trees shall be a minimum of 4" caliper Accent Trees shall be a minimum of 4 ft in total height Shrubs shall be a minimum of 3 gallons in size	Yes	Yes
LANDSCAPE BUFFERS (SECTION 5.B.) 10 ft wide landscape buffer along the entire length of any non-residential lot that abuts a public right-of-way (collector street, arterial roadway, or alleyway) or residentially zoned that is located directly across a public street. 1 Canopy Tree and 1 Accent Tree / 50 LF	10 ft	10 ft
<i>S Goliad St.</i> : 314 LF / 50 LF = 7 Canopy trees and 7 Accent Trees	7 Canopy Trees 7 Accent Trees	7 Canopy Trees 7 Accent Trees
<i>State Highway No. 276</i> : 519 LF / 50 LF = 11 Canopy trees and 11 Accent Trees	11 Canopy Trees 11 Accent Trees	11 Canopy Trees 11 Accent Trees
<i>20' Alleyway</i> : 314 LF / 50 LF = 7 Canopy trees and 7 Accent Trees	7 Canopy Trees 7 Accent Trees	7 Canopy Trees 7 Accent Trees
All landscape buffers adjacent to a public right of way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30 inches.	30 in	30 in
LANDSCAPE REQUIREMENTS (SECTION 5.03.) Zoning District: Commercial (C) District 20% required landscaping areas 20% x 157,972 sf = 31,595 sf	31,595 sf (20%)	43,923 sf (27.8%)
A minimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. 50% x 31,595 sf = 15,797 sf	15,797 sf (50%)	*15,797 sf (50%)
PARKING LOT LANDSCAPING (SECTION 5.03.E.) Parking lots with more than two rows of parking spaces shall have a minimum of 200 sf of landscaping.	200 sf	200 sf
No parking spaces may be located more than 80-feet from the trunk of a canopy tree.	80 ft	80 ft

Pervious	Impervious
100%	0%
(157,972 sf)	(0 sf)

Total Mitigation Required: 214.1 in
Total Mitigation Provided: 280 in
*Refer to Tree Mitigation Plan

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
TREES			
QT	27	Quercus texana / Texas Red Oak	
QV	6	Quercus virginiana / Southern Live Oak	
UC	10	Ulmus crassifolia / Cedar Elm	
ORNAMENTAL TREE			
CT	15	Cercis canadensis / Eastern Redbud	
IO	12	Ilex decidua / Possumhaw Holly	
SHRUBS			
BEA	134	Berberis atropurpurea 'Rose Glow' / Red Leaf Japanese Barberry	
HES	31	Hesperaloe parviflora / Red Yucca	
ILB	45	Ilex cornuta 'Burfordii' / Burford Holly	
IDB	227	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly	
LLS	115	Leucophyllum langianmea 'Lynn's Legacy' / Texas Sage	
YCA	38	Yucca filamentosa 'Color Guard' / Adam's Needle	
GRASSES			
CKG	120	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	
NAS	522	Nassella tenuissima / Mexican Feather Grass	
PEH	344	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	
GROUNDCOVERS			
DW	469	Dianthus gratianopolitanus 'Firewitch' / Firewitch Cheddar Pink	
GROUND COVERS			
EUF	1,033	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper	
HAD	147	Hemerocallis fulva 'Aztec Gold' / Aztec Gold Daylily	
LHG	61	Lantana x 'New Gold' / New Gold Lantana	
LG	485	Liriope gigantea / Giant Liriope	
LIR	666	Liriope muscari / Liriope	
NC	132	Nepeta mussini / Catnip	
ZE	28	Zinnia elegans / Zinnia	

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, 2024.

WITNESS OUR HANDS, THIS ___ DAY OF ___, 2024.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2024-XXX

LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

OCTOBER 18, 2024

ENGINEER / SURVEYOR KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 (972) 588-4263 PHONE: CONTACT: MATT LUCAS, P.E.	OWNER VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 (972) 556-1700 CONTACT: JEFF BROCKETTE
APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 (855) 228-7440 PHONE: CONTACT: JEFF BROCKETTE	ARCHITECT BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 (855) 228-7440 PHONE: CONTACT: WARREN L. INCE

DATE: _____

REVISIONS: _____

BY: _____

13455 NOEL RD. TWO GALLERIA OFFICE TOWER
SUITE 700 DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.

ROCKWALL MEDICAL BUILDING

PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

LANDSCAPE PLAN

SHEET NUMBER
LP 1.01



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **E Corner of the intersection of S Goliad St and SH 276**

SUBDIVISION **Unplatted - W.H. Barnes Survey, Abstract No. 26** LOT **N/A** BLOCK **N/A**

GENERAL LOCATION **E Corner of the intersection of S Goliad St and SH 276**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-10**

CURRENT USE **Undeveloped**

PROPOSED ZONING **PD-10**

PROPOSED USE **Medical Office**

ACREAGE **8.4841**

LOTS [CURRENT] **N/A**

LOTS [PROPOSED] **2**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Vue Real Estate**

APPLICANT **Kimley-Horn**

CONTACT PERSON **Jeff Brockette**

CONTACT PERSON **Jake Hodges**

ADDRESS **9600 N Central Expressway
Suite 100**

ADDRESS **203 W Nash St, Suite 100**

CITY, STATE & ZIP **Dallas, Texas 75231**

CITY, STATE & ZIP **Terrell, Texas 75160**

PHONE **Address**

PHONE **972-588-4263**

E-MAIL **Dani.carr@vuerealestate.com**

E-MAIL **Jake.Hodges@kimley-horn.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeffrey Brockette [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

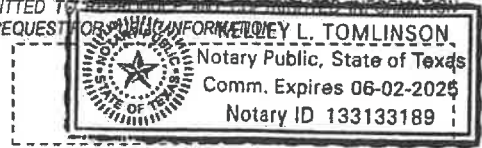
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE OR REPRODUCE INFORMATION CONTAINED HEREIN FOR THE CITY OF ROCKWALL. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2024

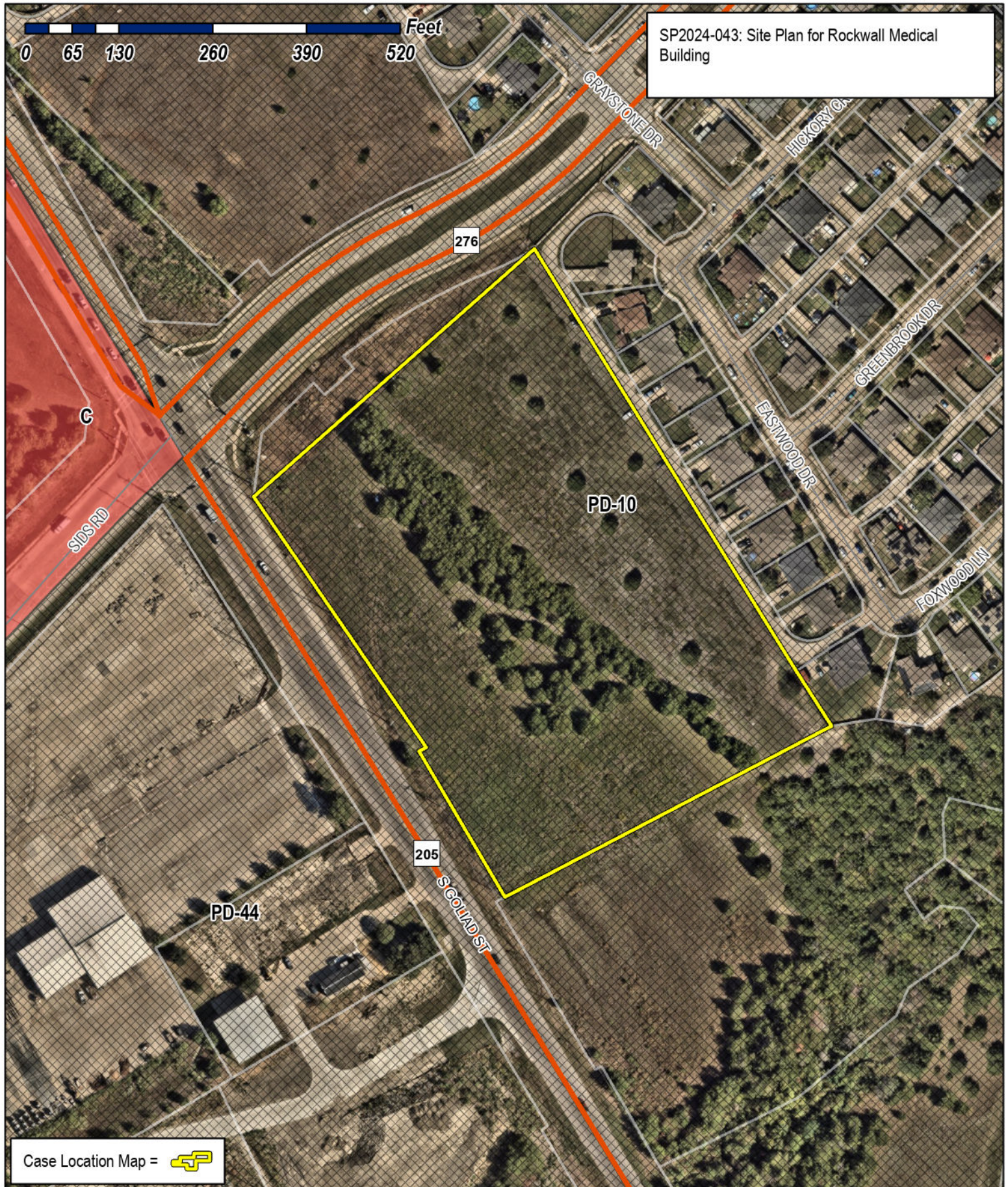
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jeffrey Brockette
Kelly K. Taylor



MY COMMISSION EXPIRES 6/2/2025



SP2024-043: Site Plan for Rockwall Medical Building

Case Location Map = 



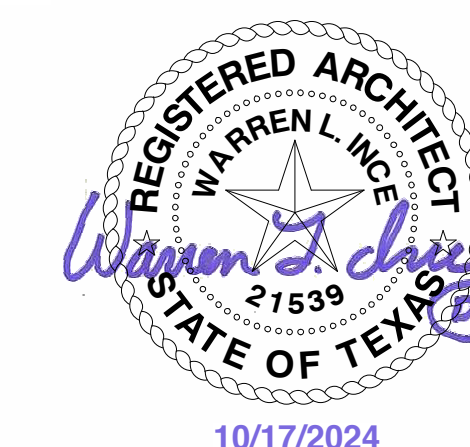
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SEAL:



BLUE FIN DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2024.10.17

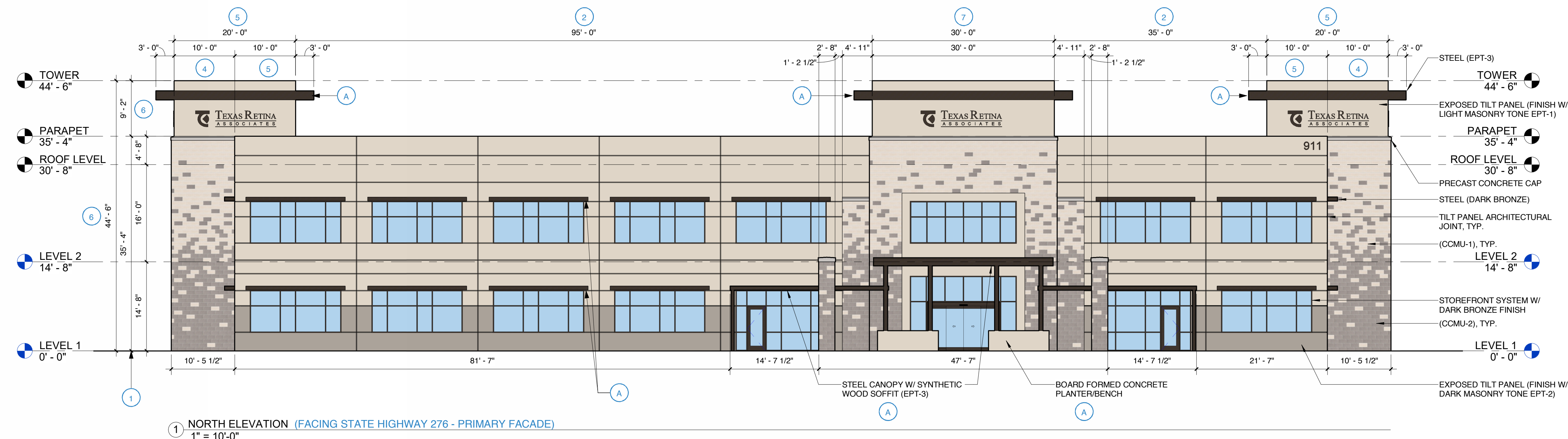
DRAWN BY: WLI

EXTERIOR
ELEVATIONS -
COLOR

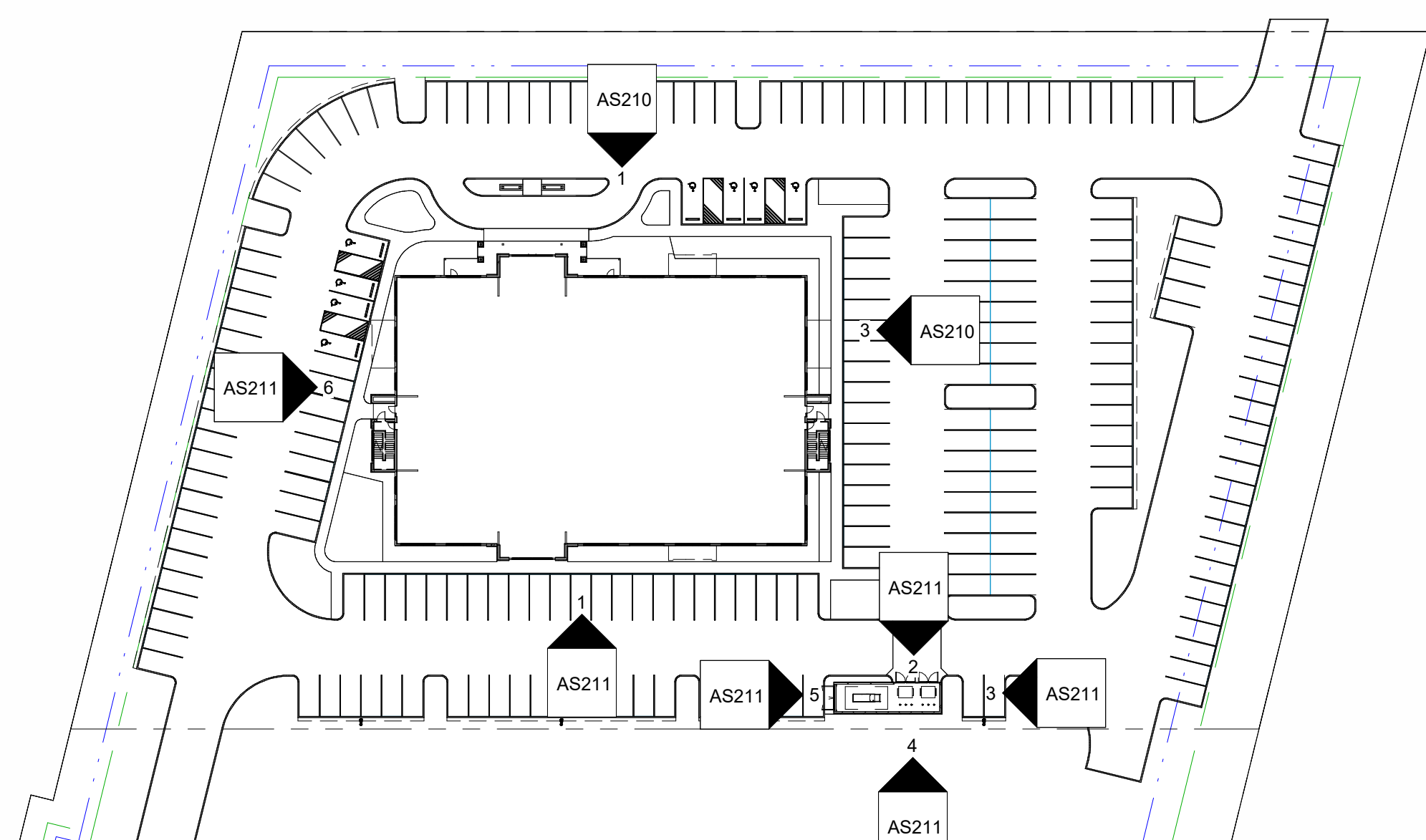
DRAWING NUMBER:

AS210

SCALE: AS INDICATED



1 NORTH ELEVATION (FACING STATE HIGHWAY 276 - PRIMARY FACADE)
1" = 10'-0"



2 ARCHITECTURAL ELEVATION LEGEND
1" = 60'-0"

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL EXPOSED TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
NORTH ELEVATION	7,741	1,900	5,841	4,228	1,613	24.5%	72%	28%
EAST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%
SOUTH ELEVATION	7,741	1,900	5,841	4,228	1,613	24.5%	72%	28%
WEST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%

PRIMARY FACADE ARTICULATION COMPLIANCE KEY NOTES:

- WALL HEIGHT. THE WALL HEIGHT SHALL BE MEASURED FROM GRADE TO THE TOP OF THE WALL.
PROPOSED WALL HEIGHT IS AT 35'-4" (REFER TO ELEVATIONS)
35'-4"(3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 105'-0".
- WALL LENGTH. THE MAXIMUM WALL LENGTH SHALL NOT EXCEED THREE (3) TIMES THE WALL HEIGHT (I.E. 3 X 1 ≥ 2).
35'-4"(3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 105'-0".
- SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE MINIMUM LENGTH OF THE SECONDARY ENTRYWAY OR PROJECTING ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL LENGTH (I.E. 25% X 2 ≤ 3).
NORTH/SOUTH: 105'-0"(25%) = 26'-3" (NO SECONDARY FEATURE SHOWN - NEED TO REQUEST VARIANCE)
(2) 26'-3" = 52'-6" (DOES NOT COMPLY) SHOWN AT 30'-0".
WEST/EAST: 52'-6"(25%) = 13' - 1 1/2" (NO SECONDARY FEATURE SHOWN - NEED TO REQUEST VARIANCE)
EAST AND WEST ARE PROPOSED AT 10'-0".
- WALL PROJECTION. THE MINIMUM WALL PROJECTION FOR A PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 ≤ 4).
35'-4"(25%) = 8'-10" (COMPLIES)
NORTH AND SOUTH ARE PROPOSED AT 9'-0".
EAST AND WEST ARE PROPOSED AT 10'-0".
- PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT WIDTH. THE MINIMUM WALL WIDTH OF THE PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL EXTEND TWICE THE REQUIRED WALL PROJECTION (I.E. 2 X 4 ≥ 5).
2(8'-10") = 17'-8" (COMPLIES) PROPOSED AT 18'-0".
- PROJECTION HEIGHT. THE PRIMARY AND SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT SHALL EXTEND A MINIMUM OF 25% OF THE WALL HEIGHT ABOVE THE TOP OF THE WALL (I.E. 25% X 1 ≤ 6).
35'-4"(25%) = 8'-10" OR 44'-2" TOTAL (COMPLIES) PROPOSED AT 9'-2" OR 44'-6" TOTAL.
- PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL MEET ALL OF THE SAME PROJECTIONS AS THE SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT, BUT SHALL EXTEND A MINIMUM OF TWICE THE LENGTH OF THE SECONDARY ELEMENT (I.E. 2 X 3 ≥ 7).
NORTH/SOUTH ELEVATION: (NEED TO REQUEST VARIANCE)
(2) 13'-1 1/2" = 26'-3" (COMPLIES) SHOWN AT 33'-1".
EASTWEST ELEVATION: (NEED TO REQUEST VARIANCE)
(2) 13'-1 1/2" = 26'-3" (COMPLIES) SHOWN AT 33'-1".

ADDITIONAL ARCHITECTURAL ELEMENT

ADDITIONAL NOTES:

- SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR EXPOSED CONCRETE TILT PANEL VS. MASONRY
- SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



3 EAST ELEVATION (FACING RESIDENTIAL - PRIMARY FACADE)
1" = 10'-0"

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____

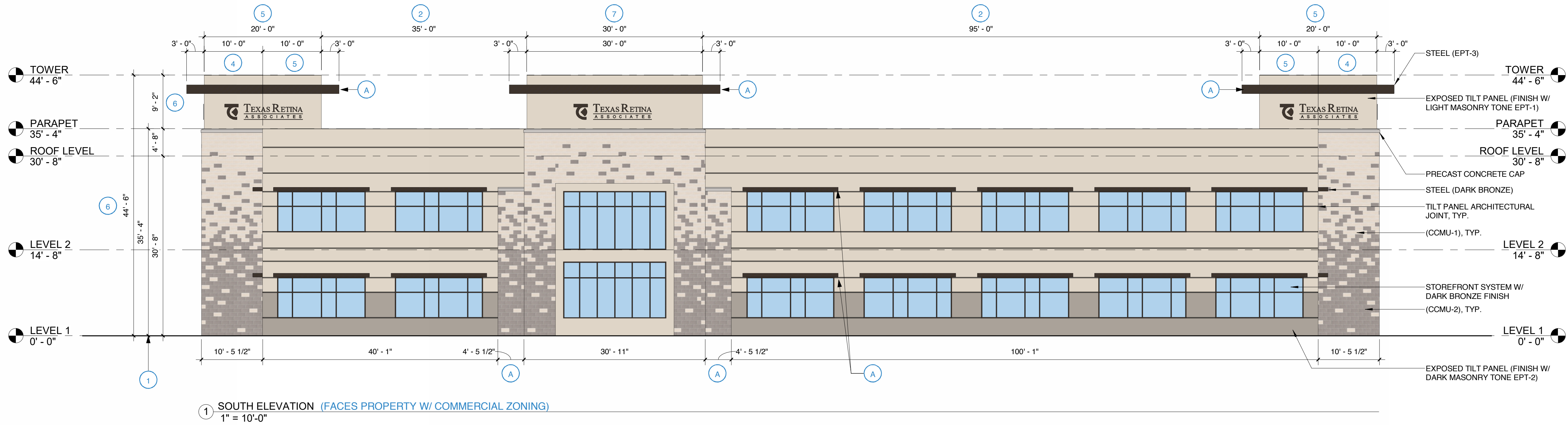
WITNESSED OUR HANDS, THIS ___ DAY OF _____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

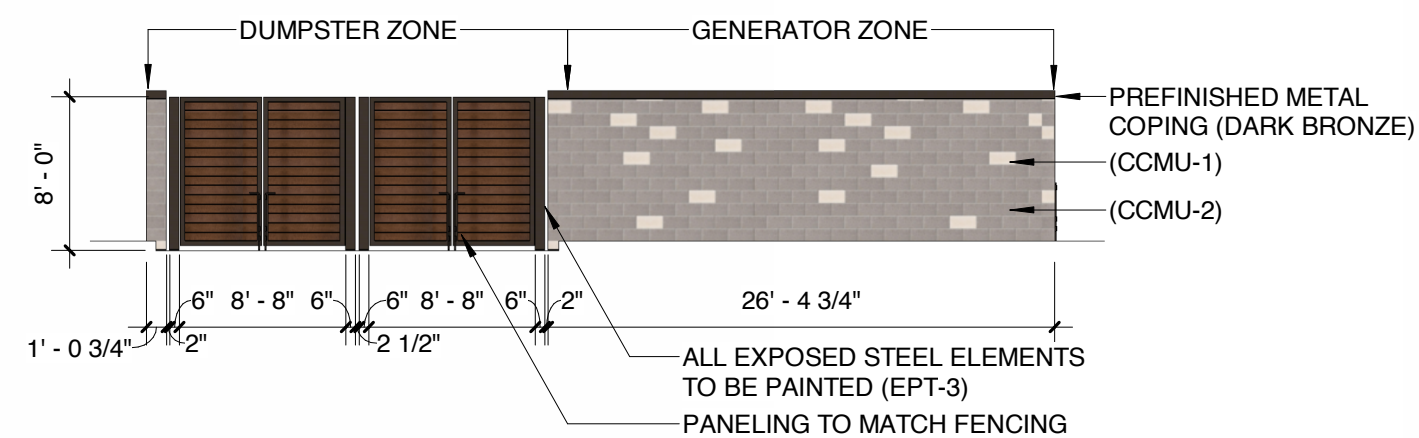
VUE REALTY GROUP, LLC.

ROCKWALL MOB

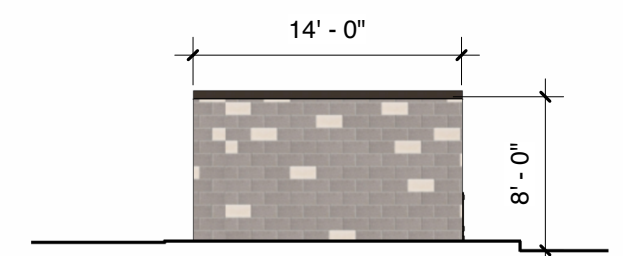
STATE HIGHWAY 205 AND STATE HIGHWAY 276 BYPASS
ROCKWALL, TEXAS



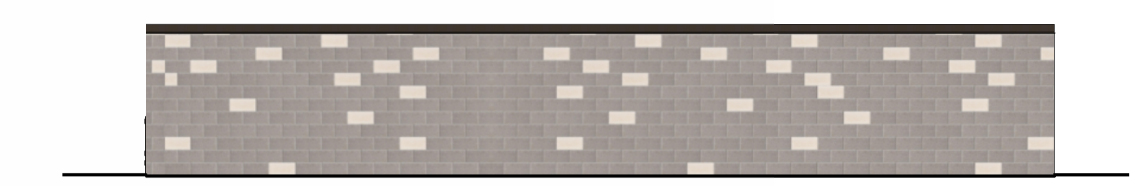
1 SOUTH ELEVATION (FACES PROPERTY W/ COMMERCIAL ZONING)
1" = 10'-0"



2 ENCLOSURE - NORTH ELEVATION
1" = 10'-0"



3 ENCLOSURE - EAST ELEVATION
1" = 10'-0"



4 ENCLOSURE - SOUTH ELEVATION
1" = 10'-0"



5 ENCLOSURE - WEST ELEVATION
1" = 10'-0"

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL EXPOSED TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
NORTH ELEVATION	7,741	1,900	5,841	4,228	1,613	24.5%	72%	28%
EAST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%
SOUTH ELEVATION	7,741	1,900	5,841	4,228	1,613	24.5%	72%	28%
WEST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%

PRIMARY FACADE ARTICULATION COMPLIANCE KEY NOTES:

- WALL HEIGHT. THE WALL HEIGHT SHALL BE MEASURED FROM GRADE TO THE TOP OF THE WALL.
PROPOSED WALL HEIGHT IS AT 35'-4" (REFER TO ELEVATIONS)
- WALL LENGTH. THE MAXIMUM WALL LENGTH SHALL NOT EXCEED THREE (3) TIMES THE WALL HEIGHT (I.E. 3 X 1 ≥ 2).
35'-4"(3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 105'-0".
- SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE MINIMUM LENGTH OF THE SECONDARY ENTRYWAY OR PROJECTING ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL LENGTH (I.E. 25% X 2 ≤ 3).
NORTH/SOUTH: 105'-0"(25%) = 26'-3" (NO SECONDARY FEATURE SHOWN - NEED TO REQUEST VARIANCE)
WEST/EAST: 52'-6"(25%) = 13' - 1 1/2" (NO SECONDARY FEATURE SHOWN - NEED TO REQUEST VARIANCE)
- WALL PROJECTION. THE MINIMUM WALL PROJECTION FOR A PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 ≤ 4).
35'-4"(25%) = 8'-10" (COMPLIES)
NORTH AND SOUTH ARE PROPOSED AT 9'-0".
EAST AND WEST ARE PROPOSED AT 10'-0".
- PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT WIDTH. THE MINIMUM WALL WIDTH OF THE PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL EXTEND TWICE THE REQUIRED WALL PROJECTION (I.E. 2 X 4 ≥ 5).
2(8'-10") = 17'-8" (COMPLIES) PROPOSED AT 18'-0"
- PROJECTION HEIGHT. THE PRIMARY AND SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT SHALL EXTEND A MINIMUM OF 25% OF THE WALL HEIGHT ABOVE THE TOP OF THE WALL (I.E. 25% X 1 ≤ 6).
35'-4"(25%) = 8'-10" OR 44'-2" TOTAL (COMPLIES) PROPOSED AT 9'-2" OR 44'-6" TOTAL.
- PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL MEET ALL OF THE SAME PROJECTIONS AS THE SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT, BUT SHALL EXTEND A MINIMUM OF TWICE THE LENGTH OF THE SECONDARY ELEMENT (I.E. 2 X 3 ≥ 7).
NORTH/SOUTH ELEVATION: (NEED TO REQUEST VARIANCE)
(2)26'-3" = 52'-6" (DOES NOT COMPLY) SHOWN AT 30'-0".
EAST/WEST ELEVATION: (NEED TO REQUEST VARIANCE)
(2)13'-1 1/2" = 26'-3" (COMPLIES) SHOWN AT 33'-1".

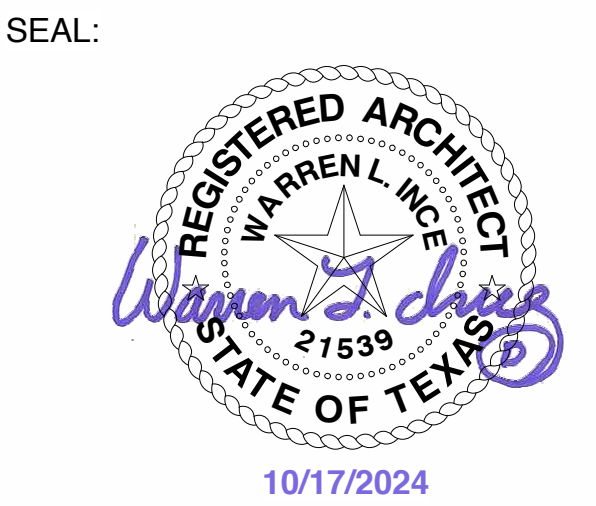
ADDITIONAL ARCHITECTURAL ELEMENT

ADDITIONAL NOTES:
SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR EXPOSED CONCRETE TILT PANEL VS. MASONRY
SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



6 WEST ELEVATION (FACING STATE HIGHWAY 205 - PRIMARY FACADE)
1" = 10'-0"

SITE PLAN SIGNATURE BLOCK
APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ____, 2024.
WITNESSED OUR HANDS, THIS ___ DAY OF ____, 2024.
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



BLUE FIN DESIGN, LLC
Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2024.10.17
DRAWN BY: WLI

EXTERIOR ELEVATIONS - COLOR

DRAWING NUMBER:
AS211

SCALE: AS INDICATED



NORTHWEST PERSPECTIVE/RENDERING - VIEW FROM STATE HIGHWAY 276

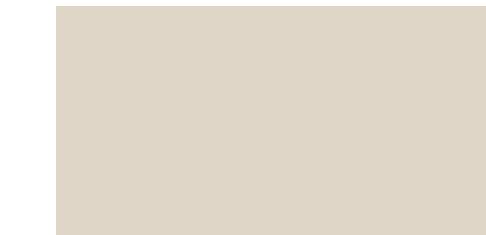


SOUTHWEST PERSPECTIVE/RENDERING - VIEW FROM STATE HIGHWAY 205

FINISH LEGEND - MATERIAL BOARD:



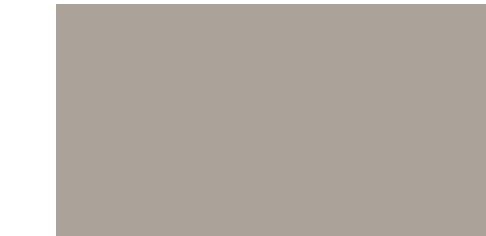
(CCMU-1):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: LIMESTONE
MORTAR: TBD



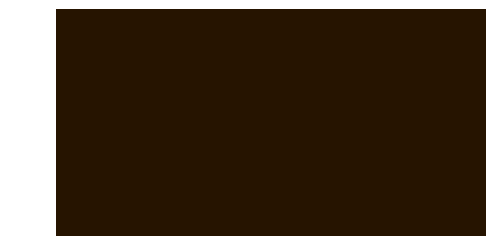
(EPT-1):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7516 KESTREL WHITE



(CCMU-2):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: GRAY
MORTAR: TBD



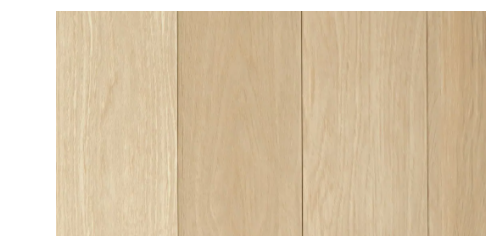
(EPT-2):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7024 FUNCTIONAL GRAY



STOREFRONT SYSTEM:
MFR: KAWNEER OR EQUAL
FINISH: DARK BRONZE ANODIZED



(EPT-3):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7048 - URBANE BRONZE



(SOFFIT):
SOFFIT MATERIAL
MFR: MAC METAL
COLLECTION: HARRYWOOD
FINISH: CORK

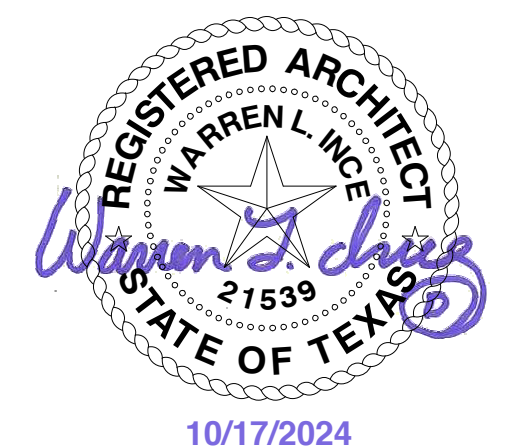


BFD #: 24115

VUE REALTY GROUP, LLC.
ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY 276
BYPASS
ROCKWALL, TEXAS

SEAL:



BLUE FIN DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2024.10.17

DRAWN BY: WLI

**BUILDING MATERIAL
SAMPLE BOARD &
COLOR RENDERINGS**

DRAWING NUMBER:

AS220

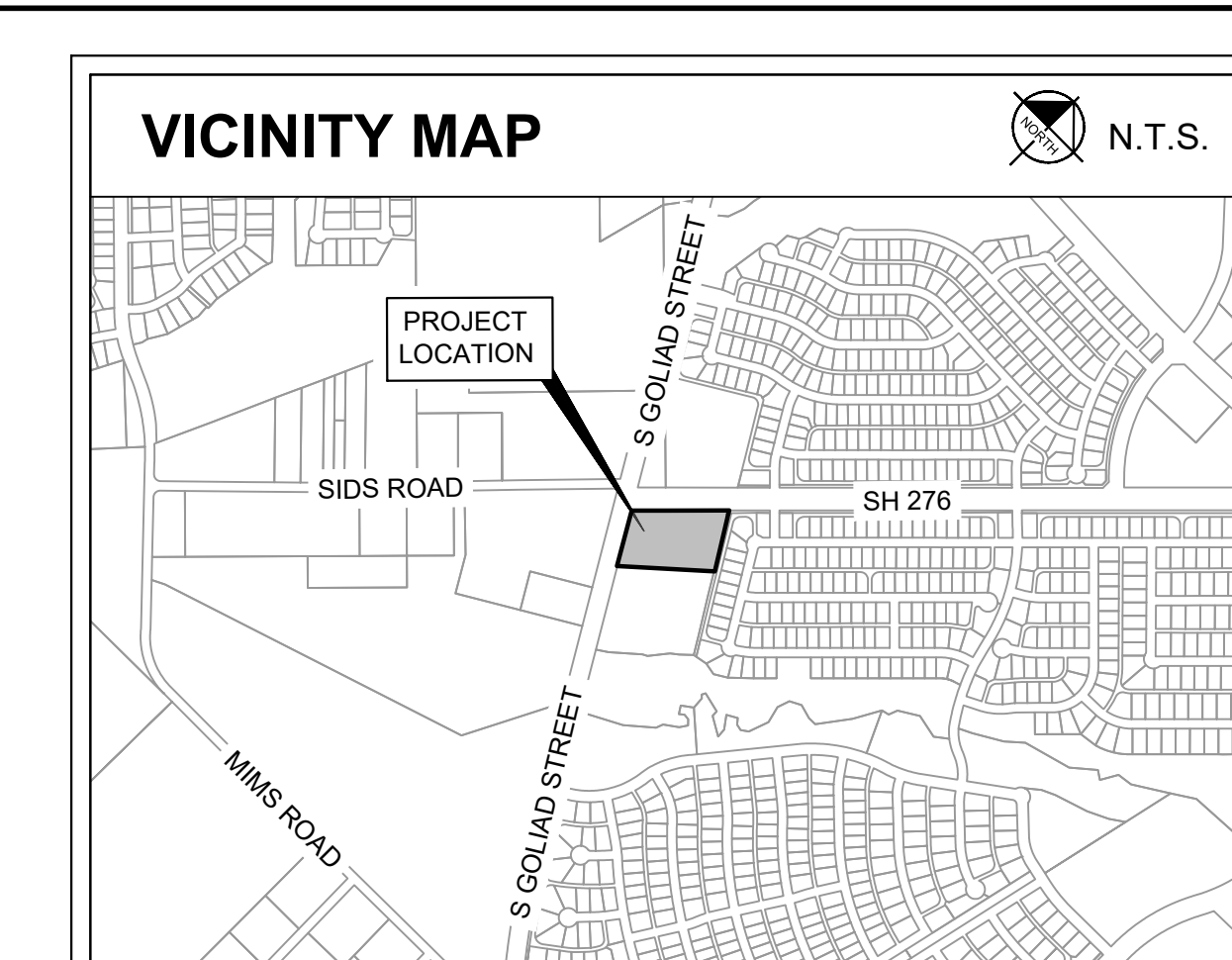
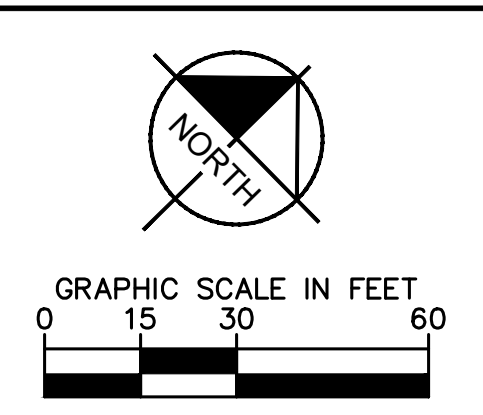
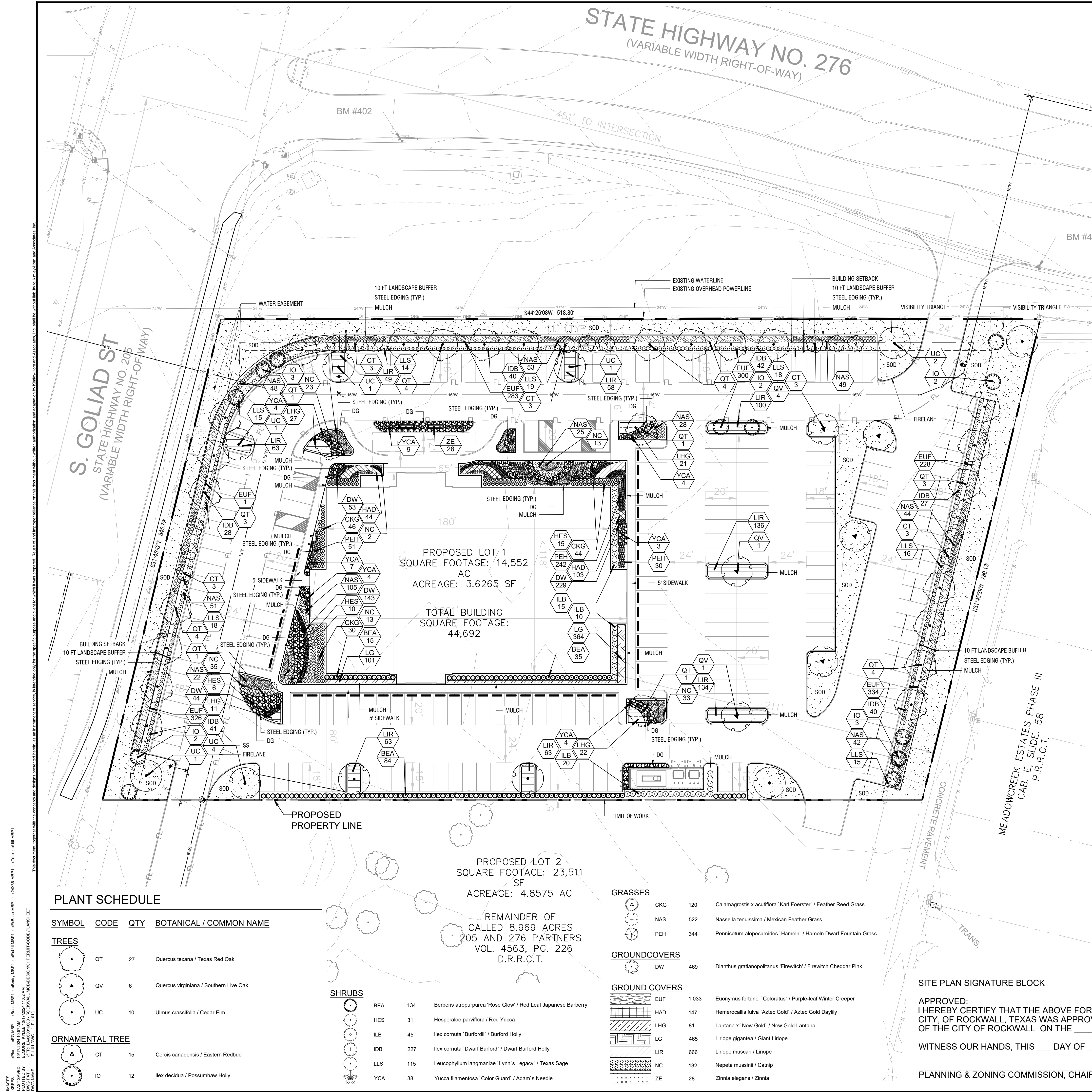
SCALE: AS INDICATED

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____, _____

WITNESSED OUR HANDS, THIS ___ DAY OF _____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



CITY OF ROCKWALL LANDSCAPE REQUIREMENTS

REQUIREMENTS	REQUIRED	PROVIDED
LANDSCAPE MATERIAL (SECTION 4.A.) Canopy Trees shall be a minimum of 4" caliper Accent Trees shall be a minimum of 4 ft in total height Shrubs shall be a minimum of 3 gallons in size	Yes	Yes
LANDSCAPE BUFFERS (SECTION 5.B.) 10 ft wide landscape buffer along the entire length of any non-residential lot that abuts a public right-of-way (collector street, arterial roadway, or alleyway) or residentially zoned that is located directly across a public street. 1 Canopy Tree and 1 Accent Tree / 50 LF	10 ft	10 ft
<i>S Goliad St.</i> : 314 LF / 50 LF = 7 Canopy trees and 7 Accent Trees	7 Canopy Trees 7 Accent Trees	7 Canopy Trees 7 Accent Trees
<i>State Highway No. 276</i> : 519 LF / 50 LF = 11 Canopy trees and 11 Accent Trees	11 Canopy Trees 11 Accent Trees	11 Canopy Trees 11 Accent Trees
<i>20' Alleyway</i> : 314 LF / 50 LF = 7 Canopy trees and 7 Accent Trees	7 Canopy Trees 7 Accent Trees	7 Canopy Trees 7 Accent Trees
All landscape buffers adjacent to a public right of way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30 inches.	30 in	30 in
LANDSCAPE REQUIREMENTS (SECTION 5.03.) Zoning District: Commercial (C) District 20% required landscaping areas 20% x 157,972 sf = 31,595 sf	31,595 sf (20%)	43,923 sf (27.8%)
A minimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. 50% x 31,595 sf = 15,797 sf	15,797 sf (50%)	*15,797 sf (50%)
PARKING LOT LANDSCAPING (SECTION 5.03.E.) Parking lots with more than two rows of parking spaces shall have a minimum of 200 sf of landscaping.	200 sf	200 sf
No parking spaces may be located more than 80-feet from the trunk of a canopy tree.	80 ft	80 ft

* Landscape square footage accounts for all planting on building pad, internal islands on the west side of the building and landscape on the southern portion of the commercial site.

Pervious	Impervious
100%	0%
(157,972 sf)	(0 sf)

Total Mitigation Required: 214.1 in
Total Mitigation Provided: 280 in
*Refer to Tree Mitigation Plan

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.
NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD. NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.
NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2024-XXX

LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

OCTOBER 18, 2024

ENGINEER / SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 203 WEST NASH ST, SUITE 100, TERRELL, TX 75160
PHONE: (972) 588-4263
CONTACT: MATT LUCAS, P.E.

OWNER: VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100, DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

APPLICANT: VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100, DALLAS, TX 75231
PHONE: (855) 228-7440
CONTACT: WARREN L. INCE

Kimley»Horn
13455 NOEL RD. TWO GALLERIA OFFICE TOWER
SUITE 700 DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.

REVISIONS

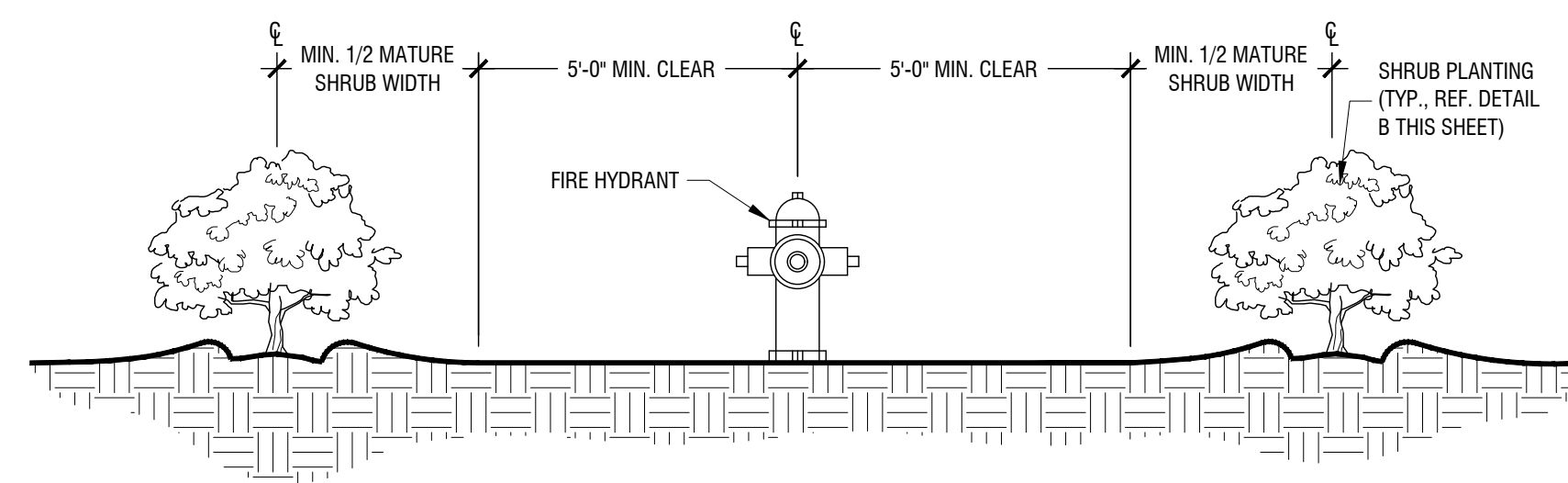
No.	DATE	BY

ROCKWALL MEDICAL BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

LANDSCAPE PLAN

SHEET NUMBER
LP 1.01

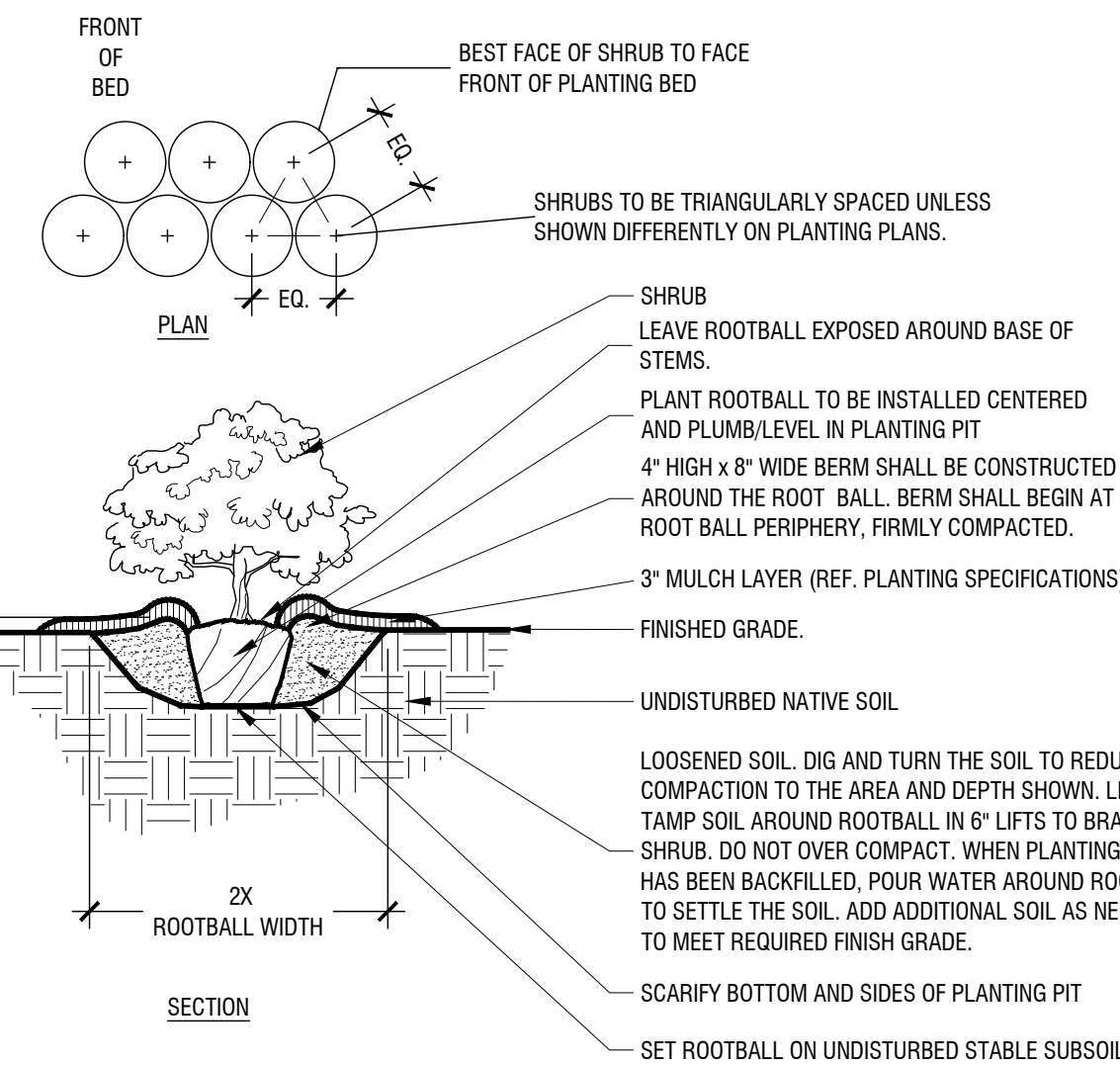
NOTES:
 1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



Shrub Planting at Fire Hydrant

Scale: NTS

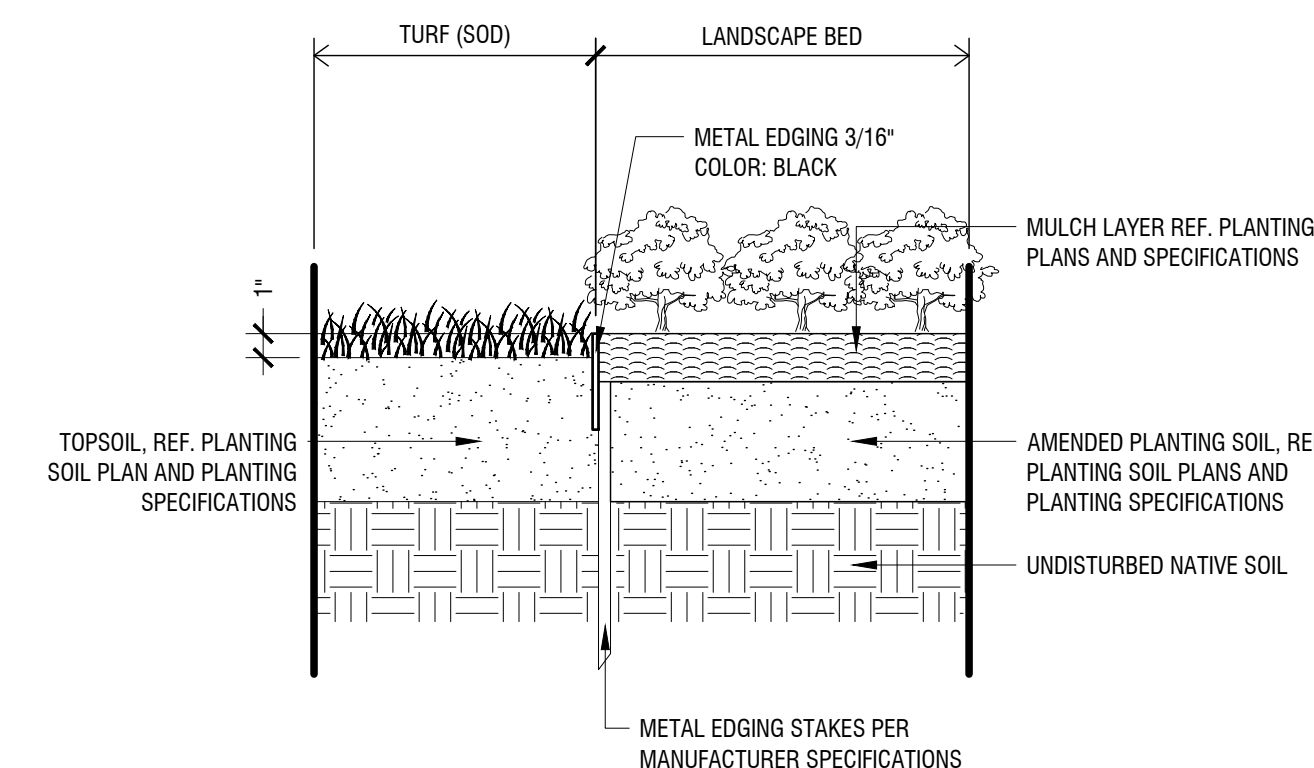
E



Typical Shrub Planting

Scale: NTS

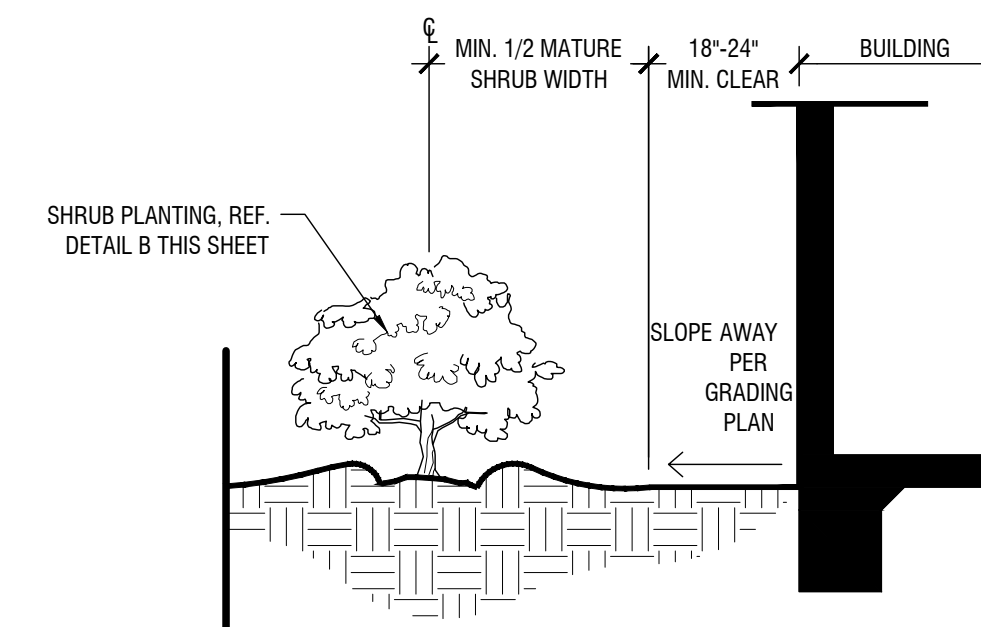
B



METAL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2" = 1'-0"

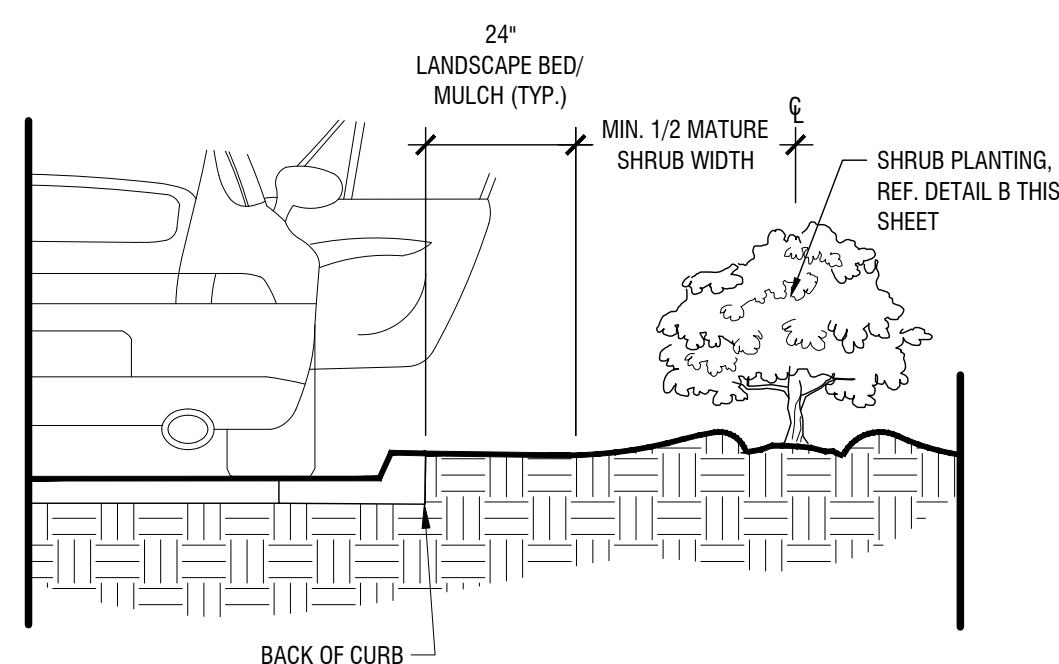
H



Shrub Planting at Building Edge

Scale: NTS

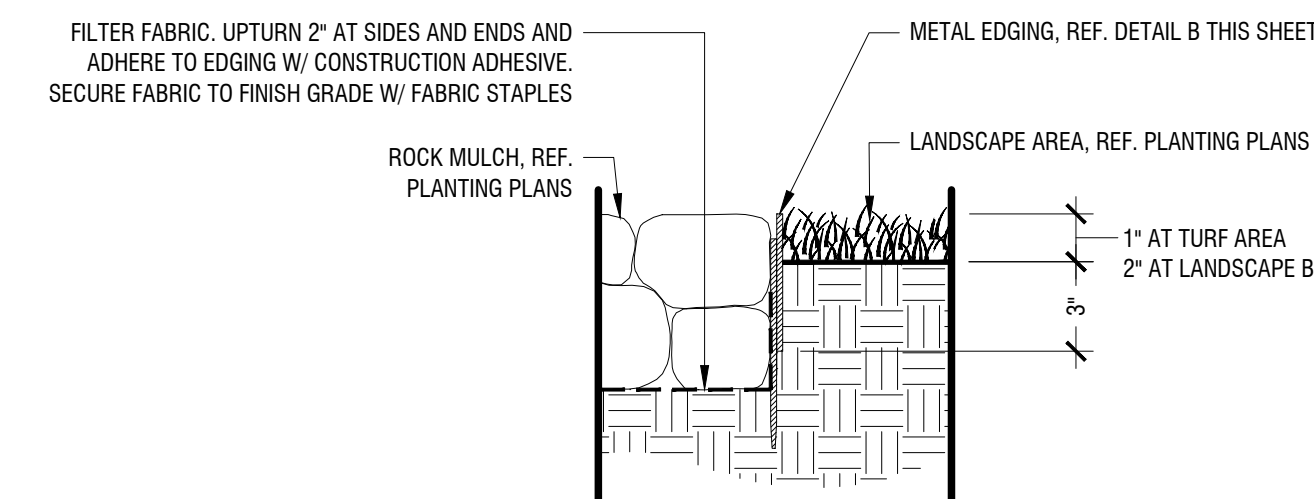
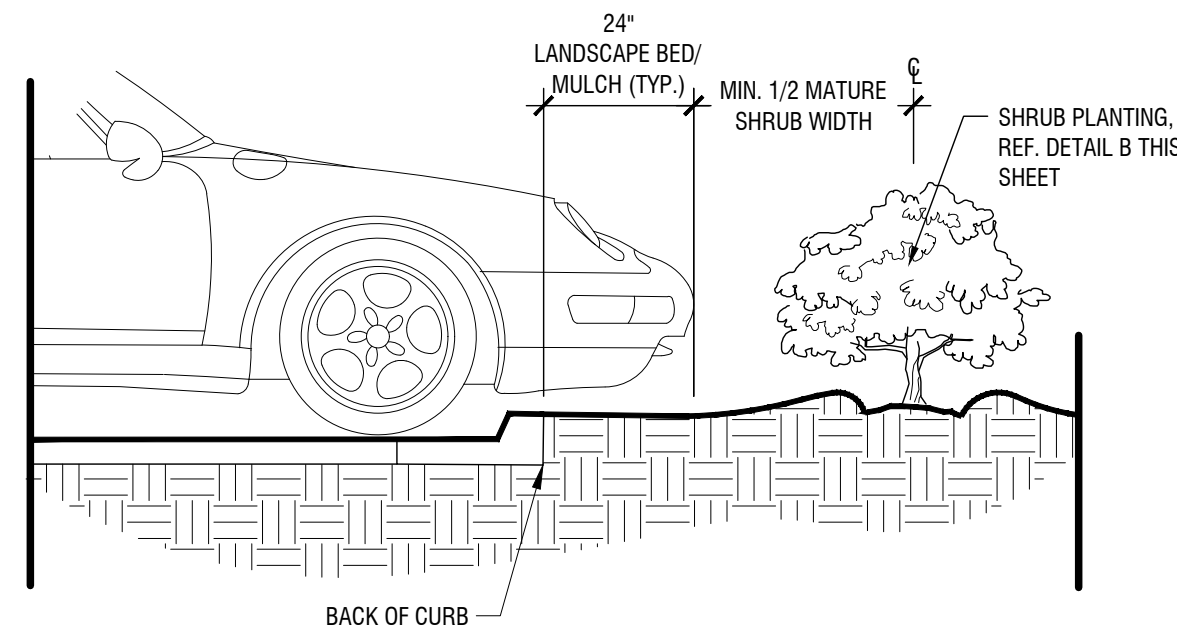
D



Shrub Planting at Curb

Scale: NTS

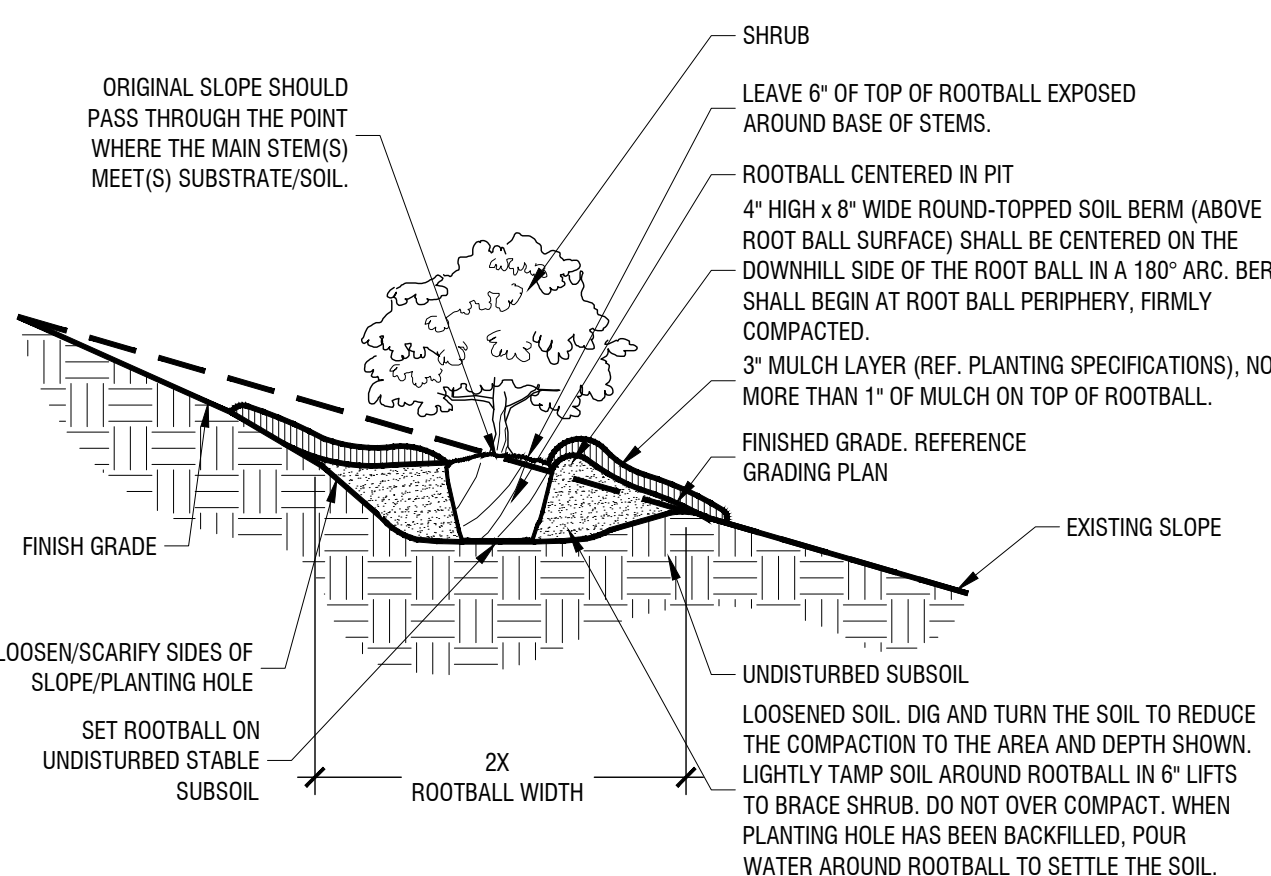
J



METAL EDGING (AT ROCK COBBLE BED)

Scale: 1 1/2" = 1'-0"

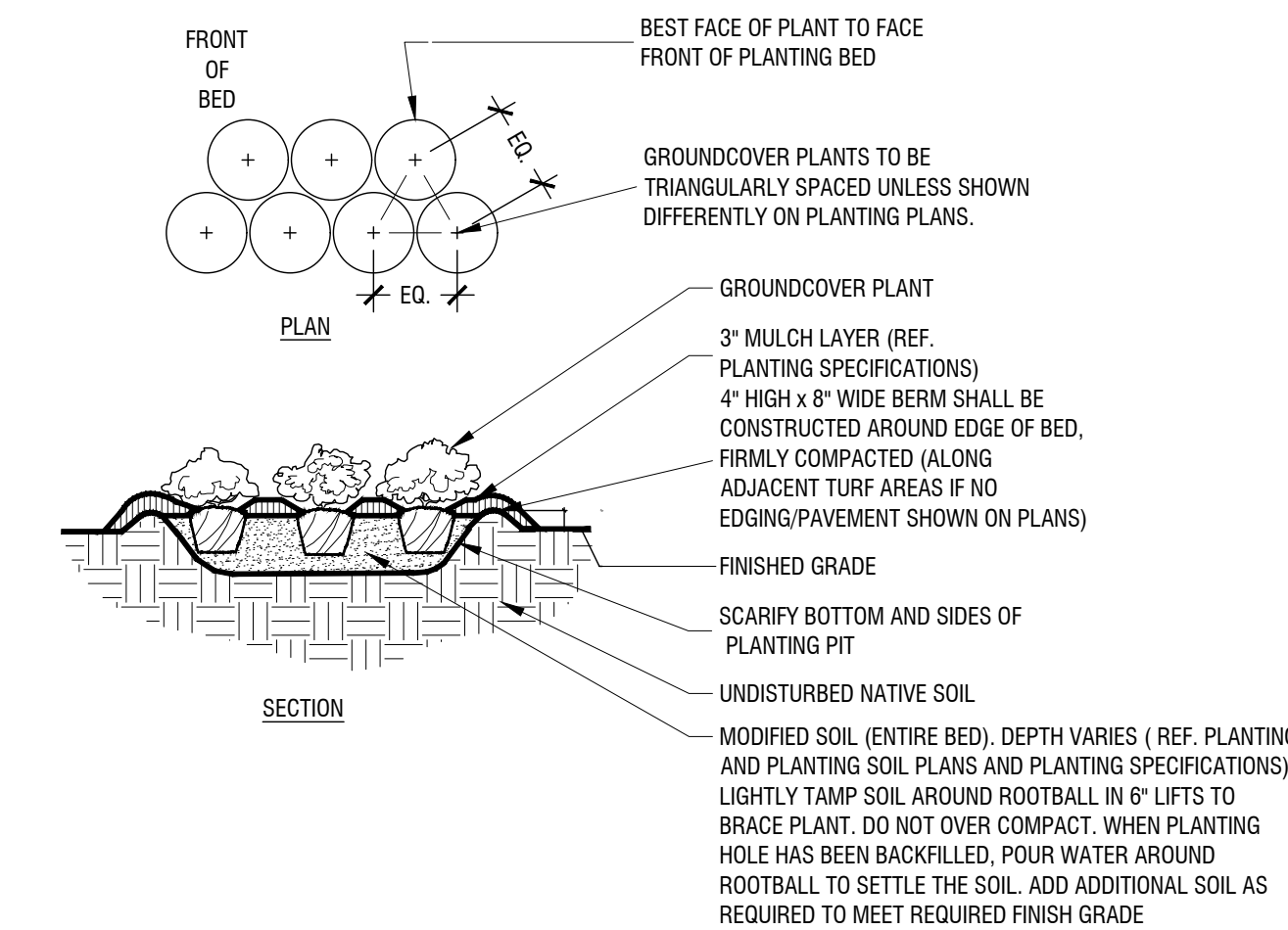
G



Shrub Planting on 5-50% (20:1 TO 2:1) Slope

Scale: NTS

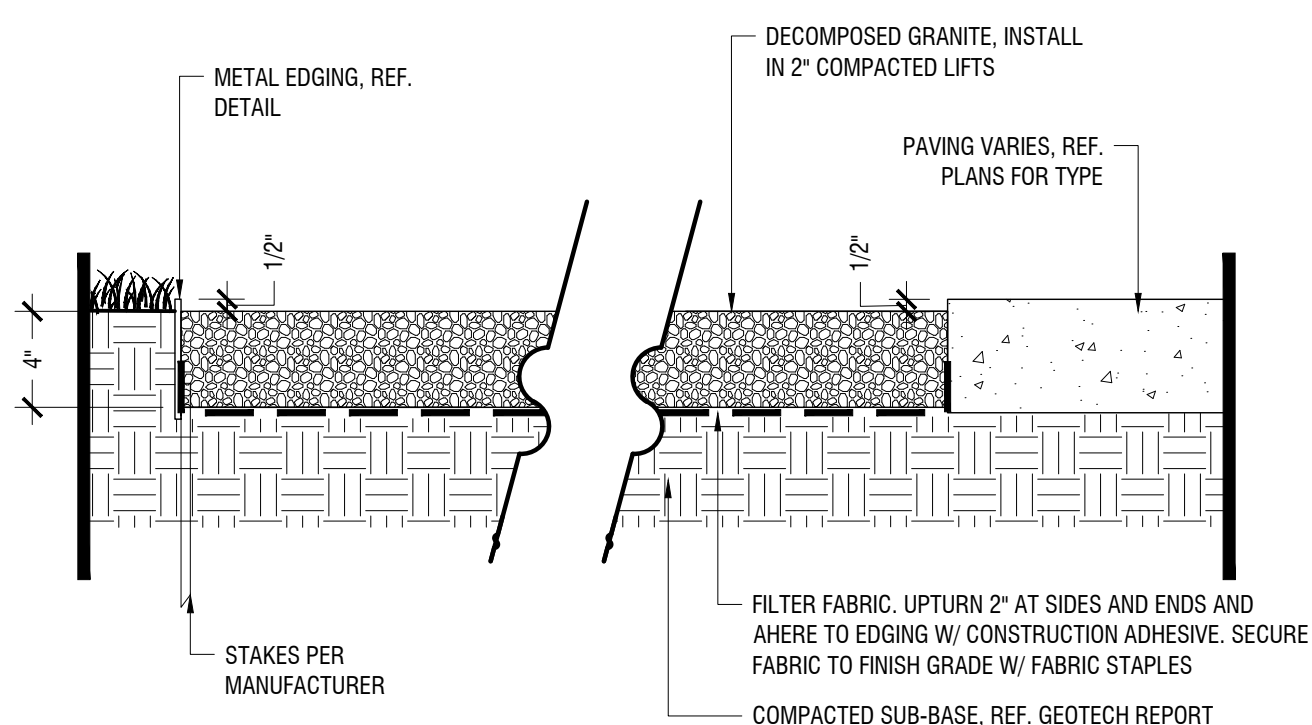
C



Typical Groundcover Planting

Scale: NTS

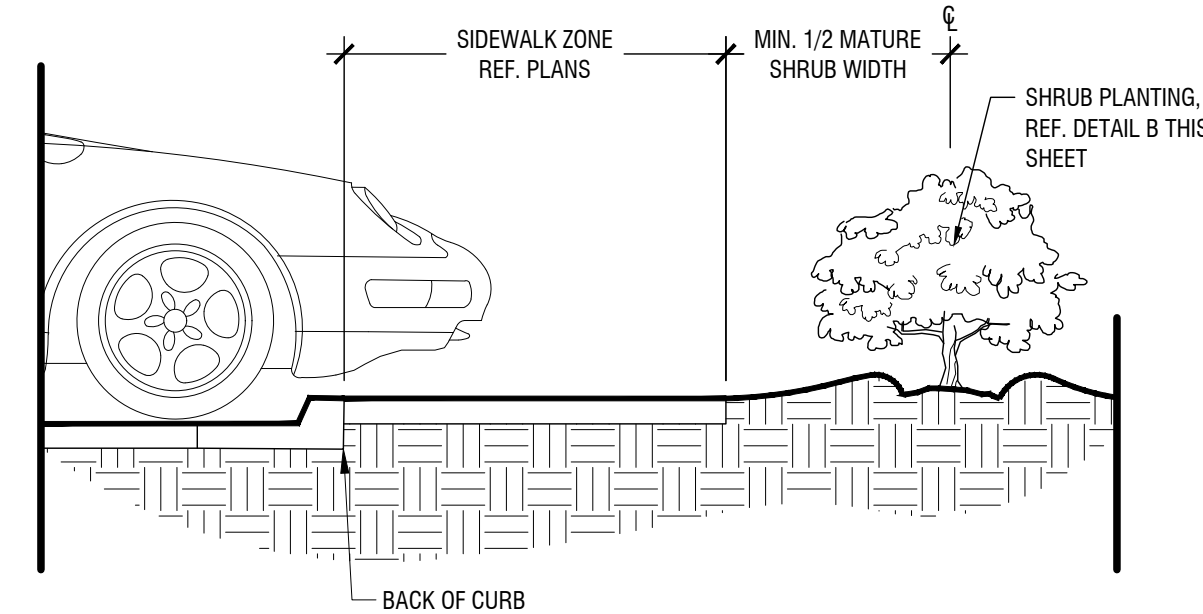
A



Decomposed Granite

Scale: 1 1/2" = 1'-0"

I



Shrub Planting at Sidewalk

Scale: NTS

F

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2024-XXX

LANDSCAPE DETAILS FOR ROCKWALL MEDICAL BUILDING
 8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CURRENT ZONING: PD-10
 PROPOSED LAND USE: MEDICAL BUILDING

OCTOBER 18, 2024

ENGINEER / SURVEYOR
 KIMLEY-HORN AND ASSOCIATES, INC.
 ADDRESS: 203 WEST NASH ST, SUITE 100
 TERRELL, TX 75160
 DALLAS, TX 75251
 PHONE: (972) 568-4263
 CONTACT: MATT LUCAS, P.E.

OWNER
 VUE REAL ESTATE
 ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
 DALLAS, TX 75251
 PHONE: (972) 556-1700
 CONTACT: JEFF BROCKETTE

APPLICANT
 VUE REAL ESTATE
 ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
 DALLAS, TX 75231
 PHONE: (972) 556-1700
 CONTACT: JEFF BROCKETTE

ARCHITECT
 BLUE FIN DESIGN
 ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B
 AUSTIN, TX 78728
 PHONE: (855) 228-7440
 CONTACT: WARREN L. INCE

NO.	REVISIONS	DATE	BY

Kimley-Horn
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER
 SUITE 700 DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY
 Not for construction or permit purposes.
Kimley-Horn
 P.L.A. NICHOLAS B. ADAMS
 L.A. No. 3454 Date: 10/17/2024

KHA PROJECT	060016600
DATE	10/17/2024
SCALE	AS SHOWN
DESIGNED BY	KAE
DRAWN BY	KAE
CHECKED BY	NBA

ROCKWALL MEDICAL BUILDING
 PREPARED FOR
 VUE REAL ESTATE
 CITY OF ROCKWALL, TX

LANDSCAPE DETAILS
 SHEET NUMBER
LP 3.02

IMAGES: © SHUTTERSTOCK/ANDREW HARRIS
 PLOTTED BY: ELIZABETH KYLE 10/17/2024 11:02 AM
 LAST SAVED: 10/17/2024 11:00 AM
 PLOT DATE: 10/17/2024 11:02 AM
 DWG NAME: LP 3.02
 This document, together with the concepts and design presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of any information contained herein without the written consent of Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PLANT SCHEDULE

Table with columns: SYMBOL, CODE, QTY, BOTANICAL / COMMON NAME, SPECIFICATIONS, REMARKS. Includes sections for TREES, ORNAMENTAL TREE, SHRUBS, GRASSES, GROUND COVERS, and MULCH.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES

- 1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT.
3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS.
4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED.
6. PLANTS MASSSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH.
9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE R.O.W.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE.
11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED.
13. ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS.
14. ALL SOD GRASSES TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION.
15. ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD.
16. ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- A. SCOPE OF WORK
1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
B. PROTECTION OF EXISTING STRUCTURES
ALL EXISTING BUILDINGS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED.
C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR TO BE PLANTED.
D. MATERIALS
1. GENERAL
SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER.
2. PLANT MATERIALS
A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS.
B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION.
C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE.
E. TOPSOIL
1. ASTM D2926, NATURAL, FRAGILE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH.
2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS.
3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED.
4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP.
6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS.
7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL.
8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
a. ORGANIC SOIL AMENDMENTS
1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS.
2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
b. INORGANIC SOIL AMENDMENTS
1. LIME: ASTM C262, CLASS 0 AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 50 PERCENT PASSING NO. 20 SIEVE.
2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT PASSING NO. 40 SIEVE.
4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.
c. PLANTING SOIL MIX
1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MIMICK MATERIALS OR APPROVED EQUAL.
2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL, MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND.
3. PLANTING DETAILS (12" MIN) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
d. SODDED AREA TOPSOIL
ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION.
e. SHRUBS AND TREES - MARGOLANTE, OR APPROVED EQUAL
1. SHRUBS AND TREES - MARGOLANTE - OSMOCOTE/SERRA BLEND 14-14-14
2. SODDED AREAS
f. FERTILIZERS
COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
g. MULCH
MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES.
h. WATER
WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MANMADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
i. WATER
WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MANMADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
j. COMMERCIAL FERTILIZERS
COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
k. MULCH
MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES.
l. WATER
WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MANMADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

L. DIGGING AND HANDLING

- 1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING.
2. BALLED AND BURLAPPED PLANTS (8&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS.
3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS.
4. PROTECTION OF PALMS (IF APPLICABLE): A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING.
5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDCAPE ELEMENTS.
6. CONTAINER GROWN PLANTS
1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOD.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPORTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.
3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.
4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.
7. COLLECTED STOCK
WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZE OF ROOTBALL SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.
8. NATIVE STOCK
PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A PERIOD OF FOUR (4) MONTHS.
9. MATERIALS LIST
QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS.
10. FINE GRADING
1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS.
2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
11. R. PLANTING PROCEDURES
1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS, LINES AND TANKS, WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE.
3. SURGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIKEROCK AND UNDERLAYER SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36".
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED.
5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS.
7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 289-1.
8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS.
10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE.
11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED.
12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS.
13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST.
14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE DRAWINGS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION.
15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT.
16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK.
17. INSPECTION AND ACCEPTANCE OF WORK: IF DIRECTED BY THE OWNER, "TOOK-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS.
18. IRRIGATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF AN IRRIGATION SYSTEM WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

SITE PLAN SIGNATURE BLOCK

I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2024-XXX

LANDSCAPE SPECIFICATIONS AND NOTES FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

OCTOBER 18, 2024

Table with columns: ENGINEER / SURVEYOR, OWNER, APPLICANT, ARCHITECT. Includes contact information for Kimley-Horn and Associates, Inc.

Kimley-Horn logo and contact information: 13455 NOEL RD. TWO GALLERIA OFFICE TOWER SUITE 700 DALLAS, TX 75240

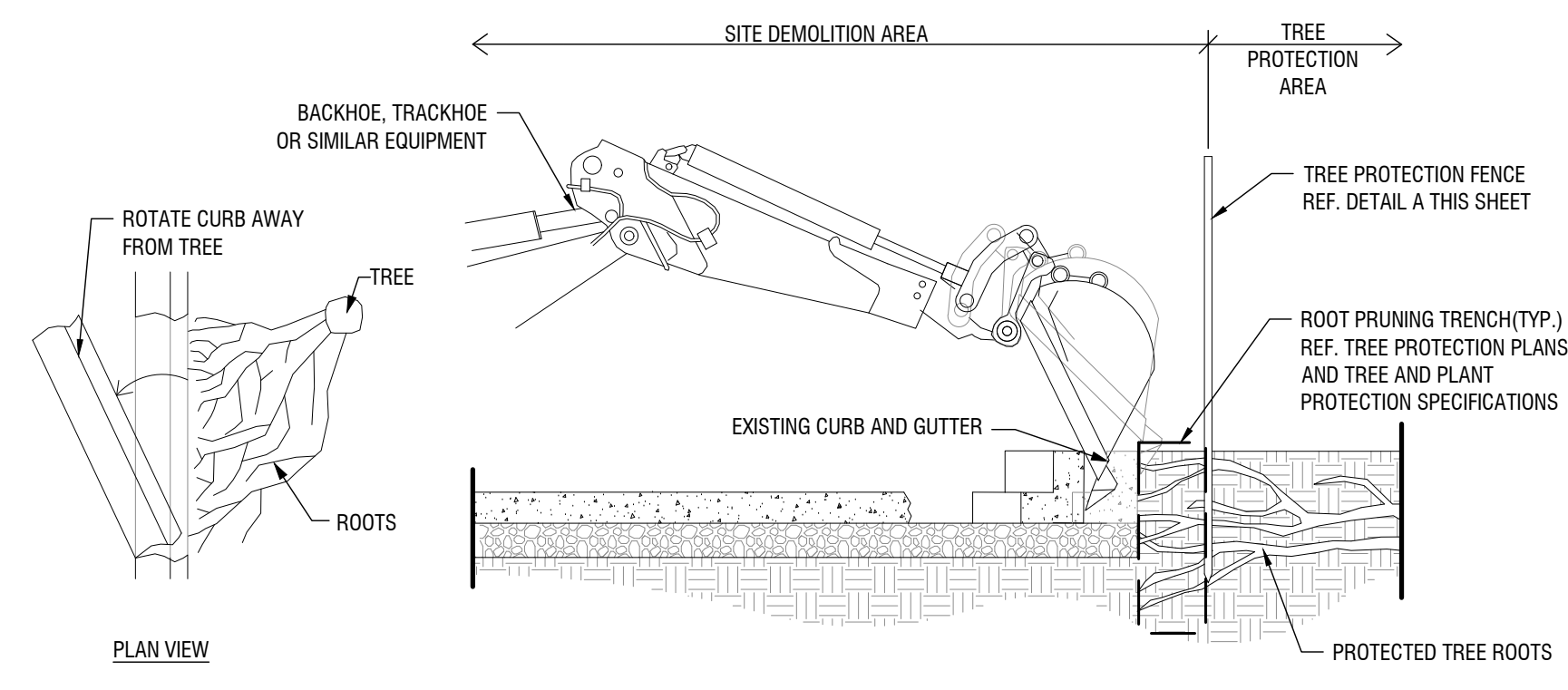
Rockwall Medical Building logo and project information: ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX

Vertical text on the right side: LANDSCAPE SPECIFICATIONS AND NOTES

IMAGES: © SHUTTERSTOCK.COM
 PLOTTED BY: J. L. BAYDOR
 DATE: 10/17/2024 11:01 AM
 FILE: LT 3.01.DWG (1:3.01)
 PROJECT: ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX
 DRAWN BY: MATT LUCAS, P.E.
 CHECKED BY: KAE
 DATE: 10/17/2024
 SCALE: AS SHOWN
 PROJECT: 060016600
 DATE: 10/17/2024
 KIMLEY-HORN AND ASSOCIATES, INC.

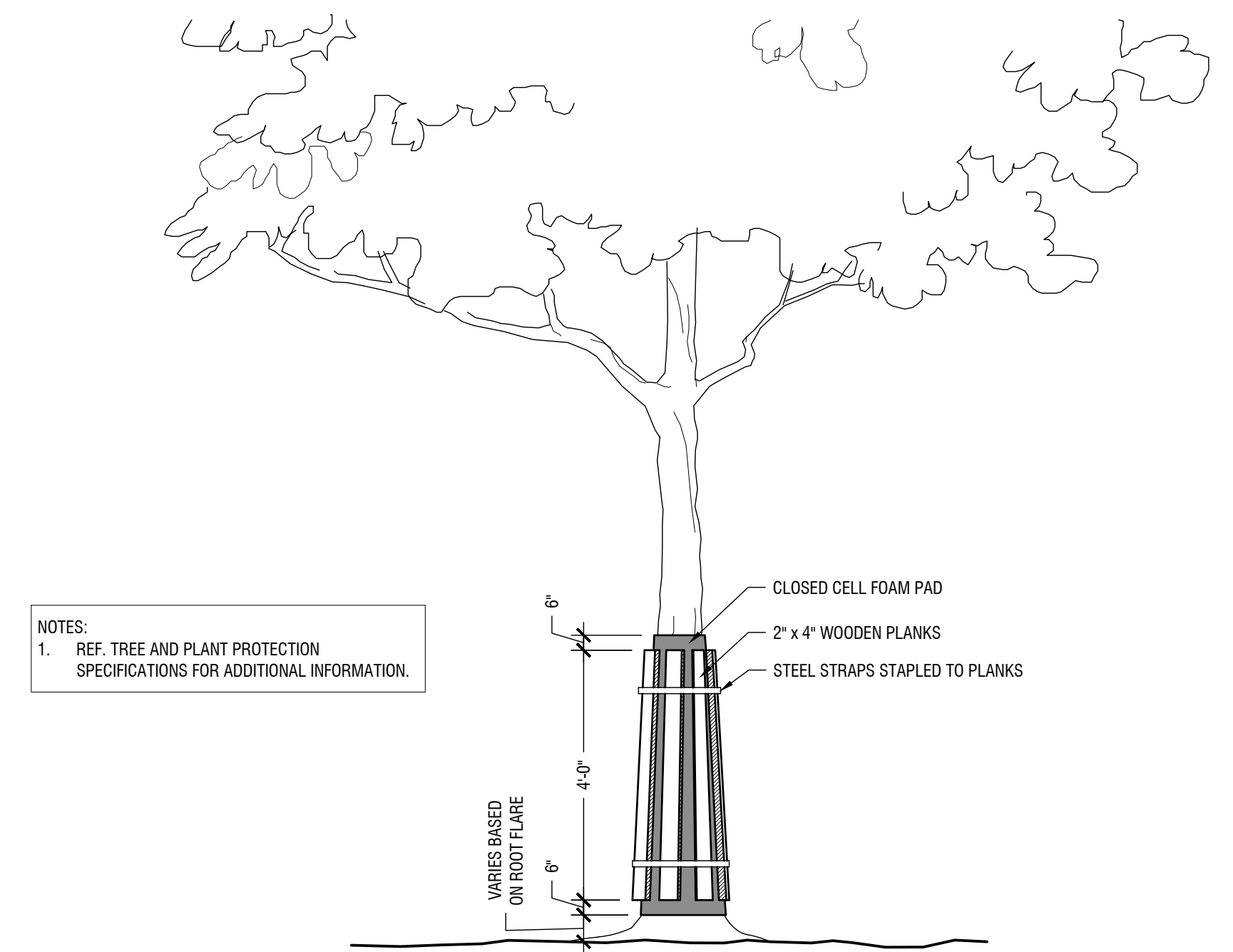
- DEMOLITION SEQUENCE:**
- PERFORM ANY ROOT PRUNING.
 - INSTALL TREE PROTECTION FENCING.
 - BREAK OR CUT 6" SECTIONS OF CURB.
 - CAREFULLY ROTATE CURB SECTIONS AWAY FROM ROOTS.
 - COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
- PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 - ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 - OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.



CURB DEMOLITION AROUND EXISTING TREE ROOTS

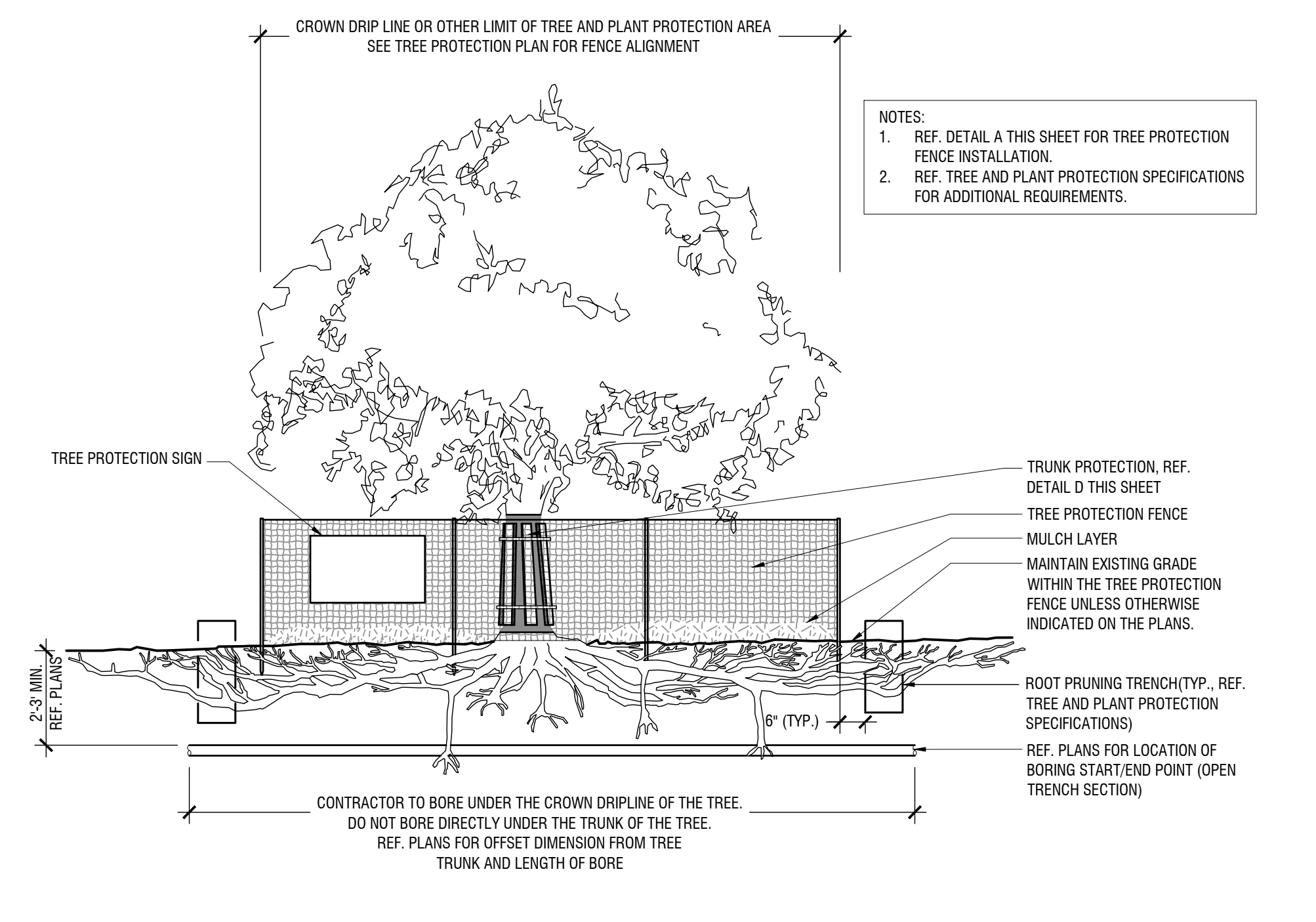
Scale: NTS



- NOTES:**
- REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL INFORMATION.

TRUNK PROTECTION

Scale: NTS



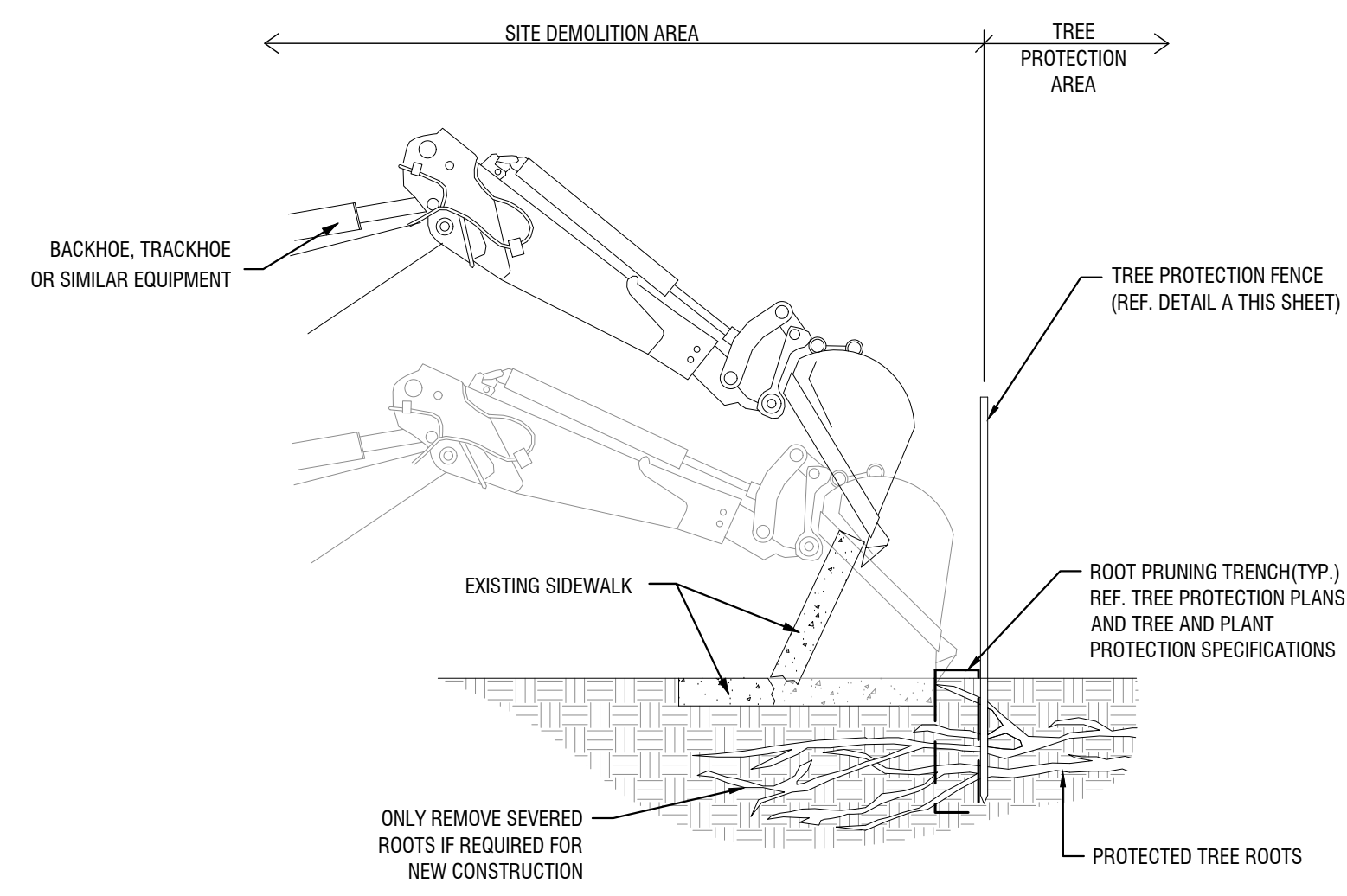
- NOTES:**
- REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
 - REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

TREE PROTECTION - UTILITY BORING UNDER CROWN DRIP LINE

Scale: NTS

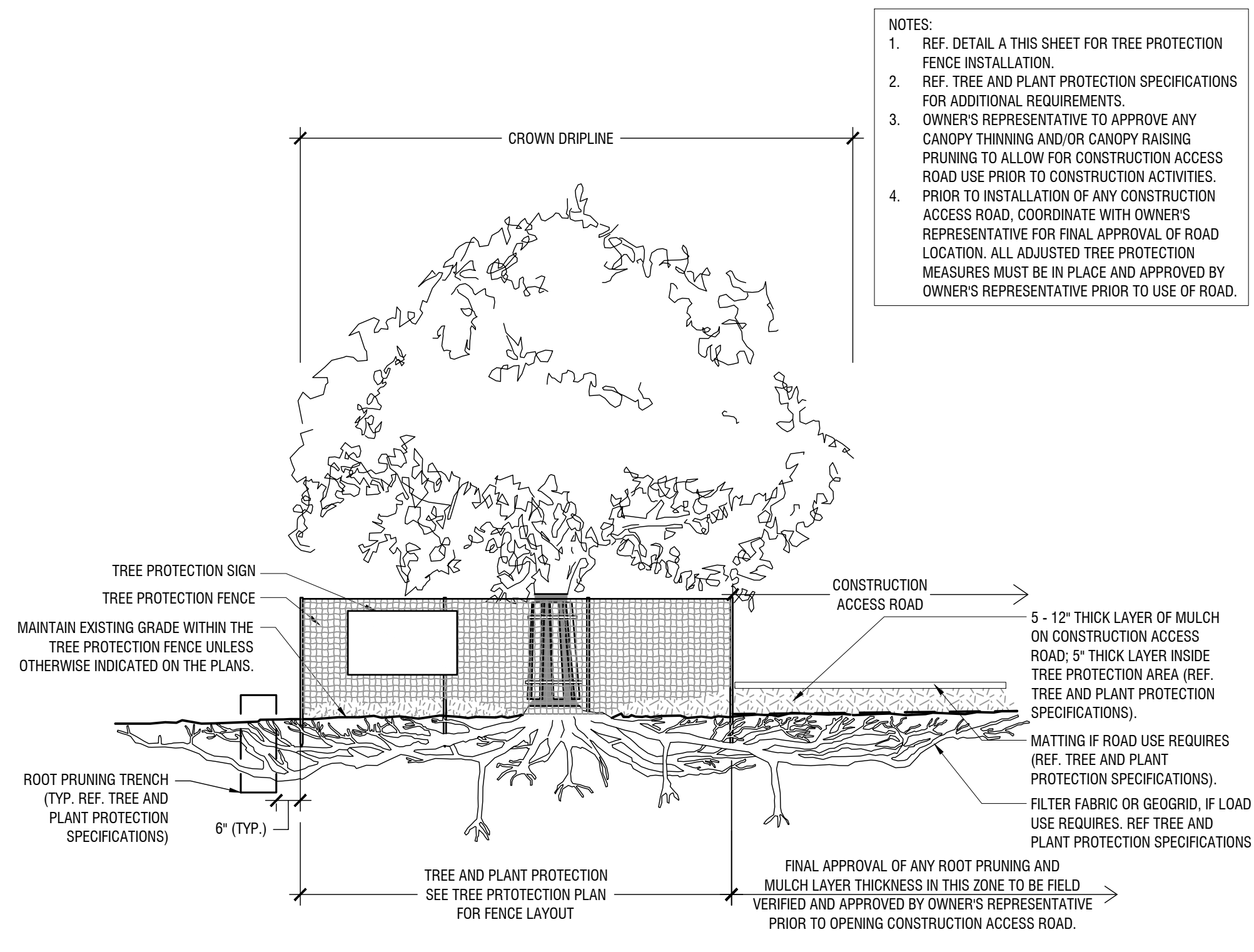
- DEMOLITION SEQUENCE**
- PERFORM ANY ROOT PRUNING.
 - INSTALL TREE PROTECTION FENCING.
 - CAREFULLY REMOVE SIDEWALK AND BASE MATERIAL, COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
- PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
 - ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
 - OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.



SIDEWALK DEMOLITION AROUND EXISTING TREE ROOTS

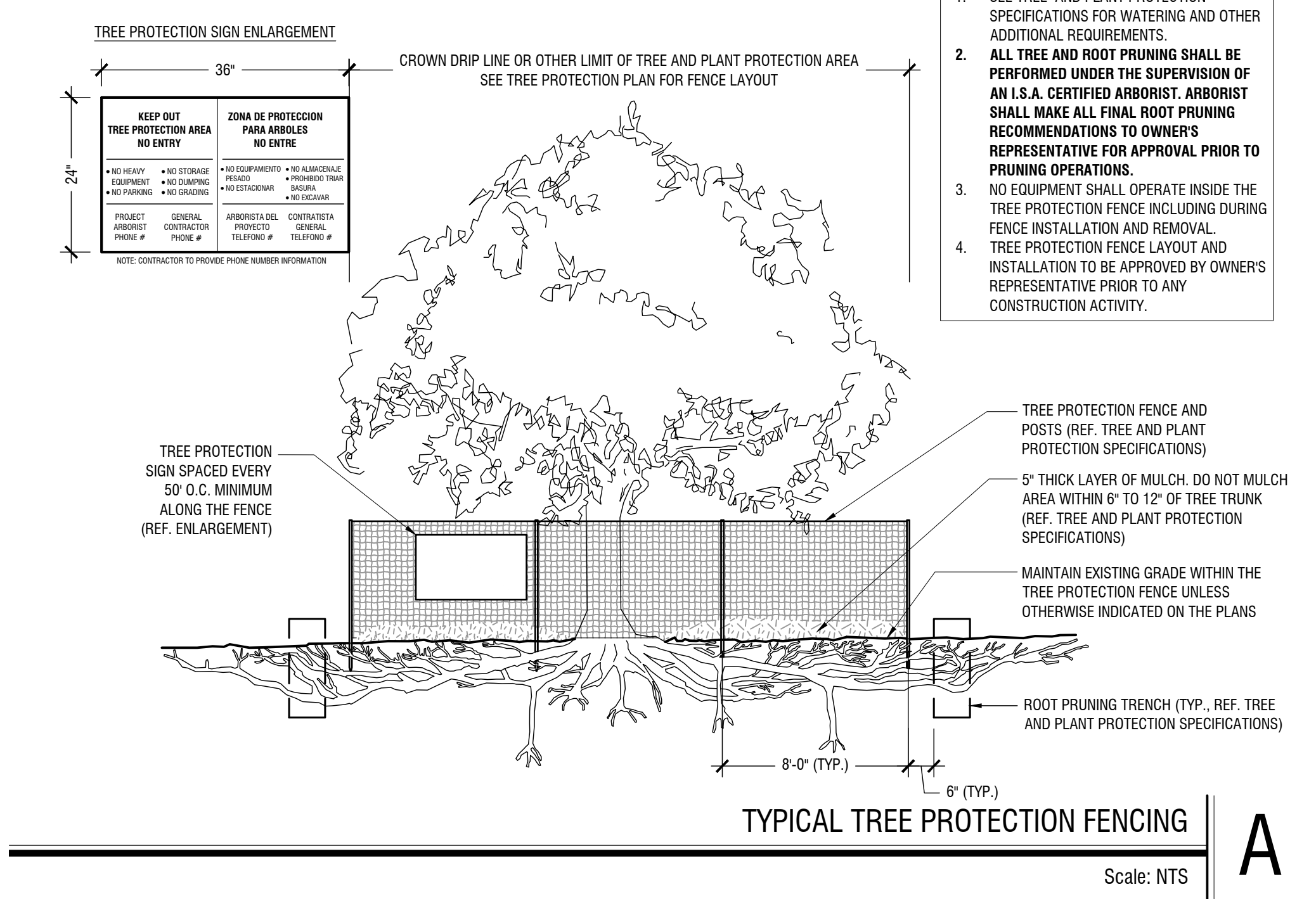
Scale: NTS



- NOTES:**
- REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
 - REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR CONSTRUCTION ACCESS ROAD USE PRIOR TO CONSTRUCTION ACTIVITIES.
 - PRIOR TO INSTALLATION OF ANY CONSTRUCTION ACCESS ROAD, COORDINATE WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL OF ROAD LOCATION. ALL ADJUSTED TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO USE OF ROAD.

TREE PROTECTION - CONSTRUCTION ACCESS ROAD

Scale: NTS



- NOTES:**
- SEE TREE AND PLANT PROTECTION SPECIFICATIONS FOR WATERING AND OTHER ADDITIONAL REQUIREMENTS.
 - ALL TREE AND ROOT PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF ALL U.S.A. CERTIFIED ARBORIST. ARBORIST SHALL MAKE ALL FINAL ROOT PRUNING RECOMMENDATIONS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PRUNING OPERATIONS.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE TREE PROTECTION FENCE INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - TREE PROTECTION FENCE LAYOUT AND INSTALLATION TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION ACTIVITY.

TYPICAL TREE PROTECTION FENCING

Scale: NTS

PROJECT NUMBER: SP2024-XXX

TREE DEMOLITION AND PROTECTION DETAILS FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CURRENT ZONING: PD-10
 PROPOSED LAND USE: MEDICAL BUILDING

OCTOBER 18, 2024

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

ENGINEER / SURVEYOR
 KIMLEY-HORN AND ASSOCIATES, INC.
 ADDRESS: 203 WEST NASH ST, SUITE 100
 TERRELL, TX 75160
 (972) 566-4263
 CONTACT: MATT LUCAS, P.E.

OWNER
 VUE REAL ESTATE
 ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
 DALLAS, TX 75231
 (972) 556-1700
 CONTACT: JEFF BROCKETTE

APPLICANT
 VUE REAL ESTATE
 ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
 DALLAS, TX 75231
 (855) 228-7440
 CONTACT: JEFF BROCKETTE

ARCHITECT
 BLUE FIN DESIGN
 ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B
 AUSTIN, TX 78728
 (855) 228-7440
 CONTACT: WARREN L. INCE

NO.	REVISIONS	DATE	BY

Kimley»Horn
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER
 SUITE 700 DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
KHA PROJECT 060016600	10/17/2024	AS SHOWN	KAE	KAE	NBA

ROCKWALL MEDICAL BUILDING
 PREPARED FOR
VUE REAL ESTATE
 CITY OF ROCKWALL, TX

TREE DEMOLITION AND PROTECTION DETAILS
 SHEET NUMBER
LT 3.01

GENERAL NOTES

1. THE SITE LIGHTING LAYOUT AND PHOTOMETRICS ARE FOR SITE DEVELOPMENT REVIEW ONLY AND NOT FOR BIDDING OR CONSTRUCTION.
2. PHOTOMETRICS AND SITE LIGHTING LAYOUT ARE SUBJECT TO CHANGE. FINAL BIDS HAVE NOT BEEN RECEIVED. LIGHTING MANUFACTURERS ARE SUBJECT TO CHANGE BASED ON THE BIDS RECEIVED. THE LIGHTING FIXTURES SPECIFIED ARE USED AS A BASIS OF DESIGN AND ARE SUBJECT TO CHANGE.
3. LIGHT SOURCES SHALL BE COMPLETELY CONCEALED WITHIN OPAQUE HOUSINGS AND SHALL NOT BE VISIBLE FROM ADJACENT STREETS OR PROPERTIES.
4. ALL EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT OFF.
5. LIGHTING FIXTURES SHALL BE MOUNTED IN SUCH A MANNER THAT THE CONE OF LIGHT IS CONTAINED ON SITE AND DOES NOT CROSS ANY PROPERTY LINE OF THE SITE.

**STATE HIGHWAY 276 BYPASS
(PRIMARY BUILDING FACADE ZONE)**



BFD # 24115

VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE
HIGHWAY 276 BYPASS
ROCKWALL, TEXAS

SEAL:

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF E.G. LOPEZ DEL CASTILLO, P.E., REG. #58483 ON 10/17/24. IT IS NOT TO BE USED FOR BIDDING, PERMIT OR CONSTRUCTION.

BLUE FIN DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2024.10.17

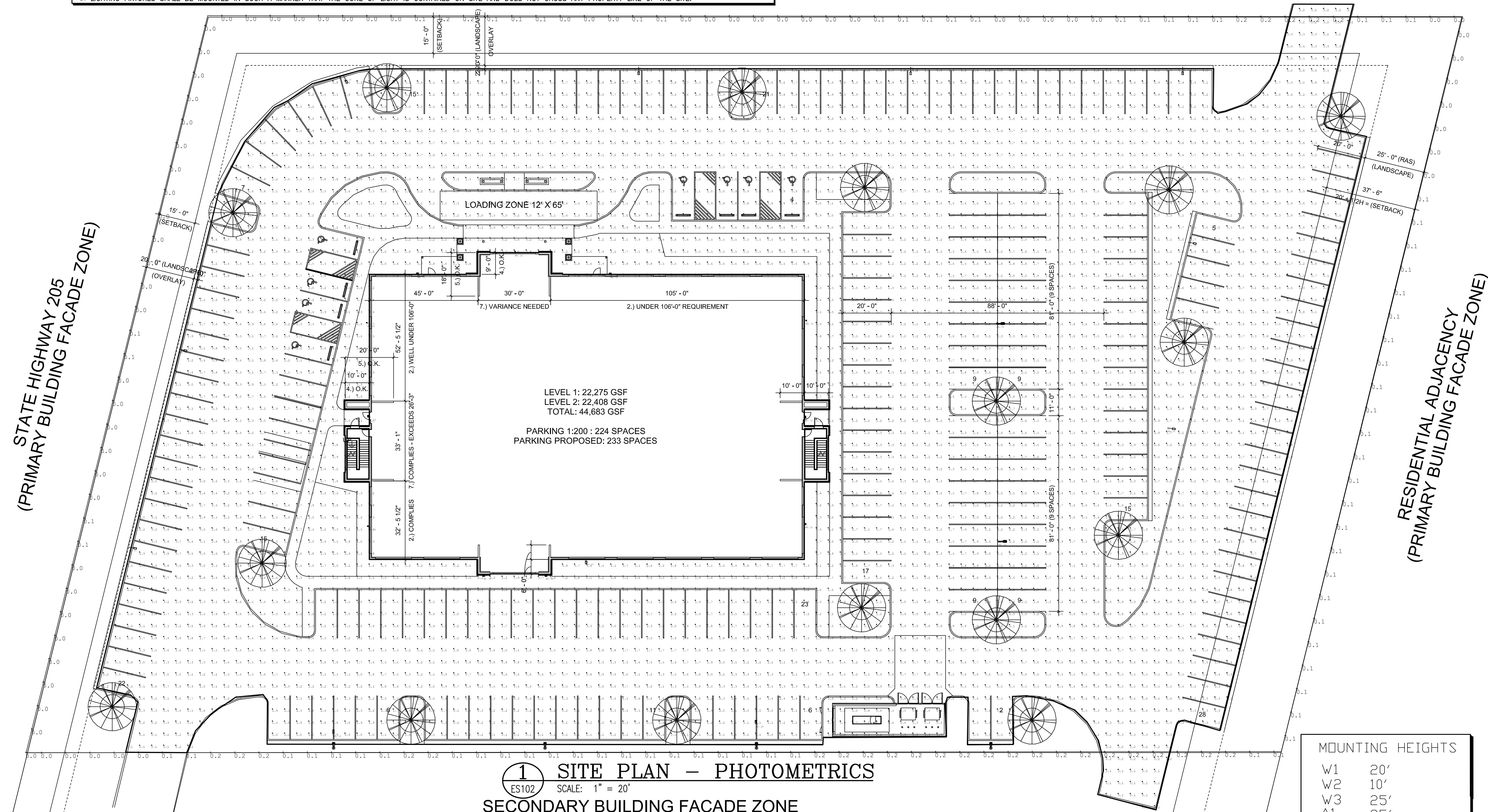
DRAWN BY: Author

**SITE PLAN -
PHOTOMETRICS**

DRAWING NUMBER:

ES102

SCALE: AS INDICATED



MOUNTING HEIGHTS

W1	20'
W2	10'
W3	25'
A1	25'
A2	25'
A3	25'
A4	25'

Luminaire Schedule

Symbol	Tag	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
[Symbol]	W2	6	7075-08-C13-35K	Single	7075-08-TW-C13-35K	0.950	1161	12.35	74.1
[Symbol]	A3	6	OPF-M-A11-830-BLC	Single	OPF-M-A11-830-BLC	0.950	13798	131	786
[Symbol]	W1	5	WFA-3 38W 4000K	Single		0.950	6030	36.68	183.4
[Symbol]	A2	2	OPF-M-A08-830-BLC	Single	OPF-M-A08-830-BLC	0.950	8023	74.41	148.82
[Symbol]	A1	2	OPF-M-A11-830-T2M	Single	OPF-M-A11-830-T2M	0.950	19790	131	262
[Symbol]	A4	2	OPF-M-A11-830-T5W	Single	OPF-M-A11-830-T5W	0.950	19606	131	262
[Symbol]	W3	1	OPF-M-A11-830-T2M 1	Single	OPF-M-A11-830-T2M	0.950	19790	131	131

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LIGHT TRESPASS	Illuminance	Fc	0.08	0.2	0.0	N.A.	N.A.
PARKING Planar	Illuminance	Fc	1.75	7.2	0.1	17.50	72.00

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING